

# PERMIT SET

## Zambezi Realty, LLC

# HOME TO DUPLEX RENOVATION

### 5405 Central Ave Pike Knoxville, TN 37912



**SCOPE OF WORK & BUILDING SIZE:**

EXISTING 1,500SF SINGLE FAMILY RESIDENTIAL HOME TO BE REMODELED & RENOVATED TO A DUPLEX W/ UPGRADED FINISHES. EXISTING FOUNDATION, EXTERIOR WALLS, & ROOF STRUCTURE TO REMAIN. 1-HR FIRE RATED WALL TO BE INSTALLED

**ZONING & REQUIREMENTS**

PARCEL ID: 068FC055  
 CLT MAP: 68 INSERT: F GROUP: C  
 PARCEL: 55 WARD: 39 CITY BLOCK: 39630  
 PLANNING SECTOR: NORTH CITY  
 ZONING: RN-1

**CLIMATIC & GEOGRAPHIC DESIGN CRITERIA**

CLIMATE ZONE = 4  
 WIND SPEED 90 MPH  
 SEISMIC DESIGN CATEGORY - C  
 WEATHERING - SEVERE  
 FROST LINE - 12 INCHES  
 TERMITE - MODERATE TO HEAVY

**APPLICABLE CODES**

2018 IRC - INTERNATIONAL RESIDENTIAL CODE

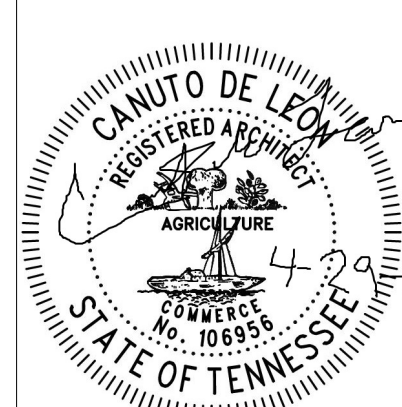
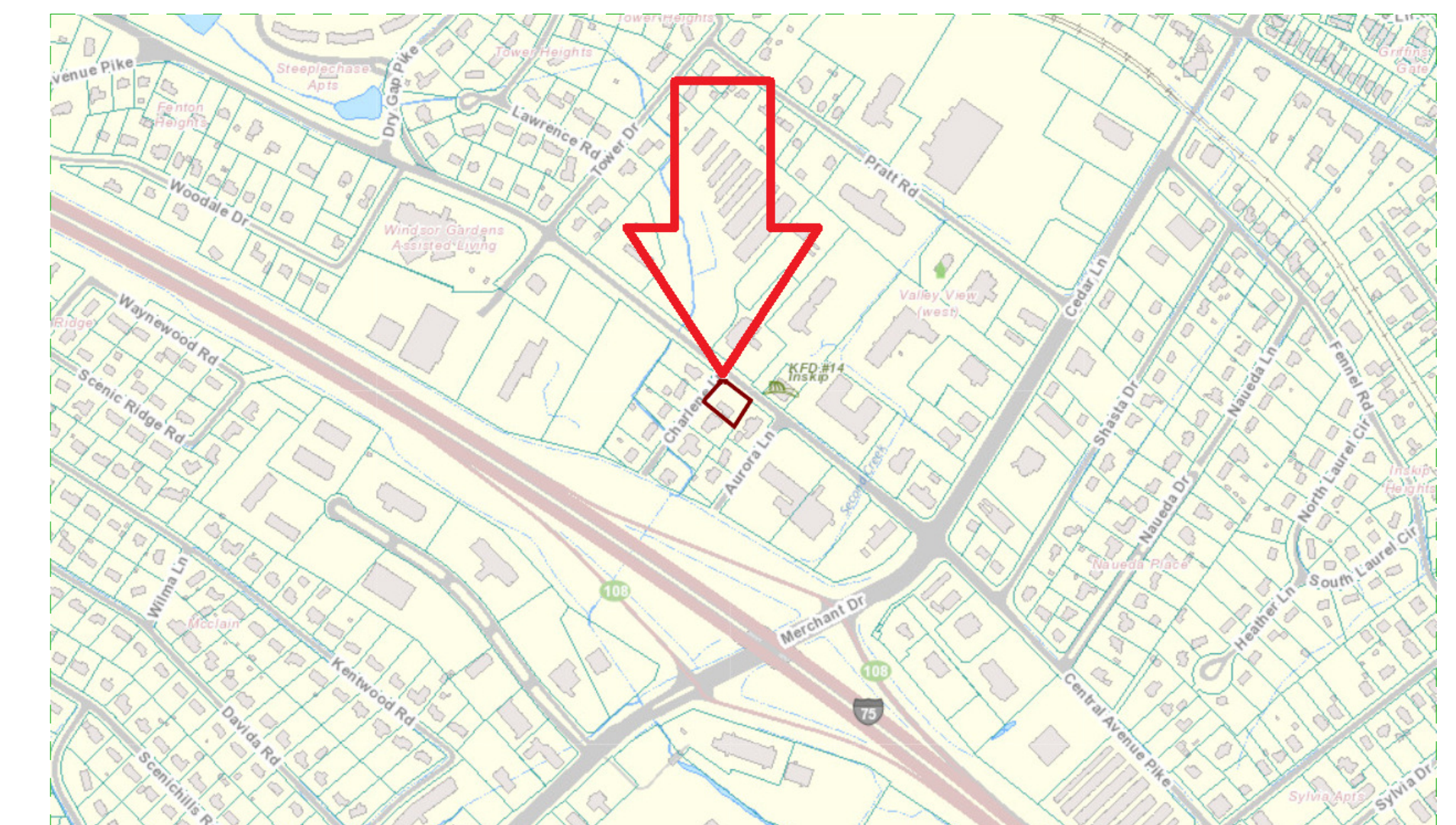
**DIMENSIONAL STANDARDS & SETBACKS**

	ZONE REQD	PROVIDED
MIN LOT SIZE	15,000sf	16,623sf ETR
MIN LOT WIDTH	75ft	118ft ETR
MAX BLDG HT	35ft	16ft ETR
MAX BLDG COVERAGE	30%	12.25%
MIN FRONT SETBACK	25ft	57'-5" ETR
MIN INT SIDE SETBACK	8ft	13'-9" ETR
MIN CORNER SIDE STBK	15ft	41'-3" ETR
MIN REAR SETBACK	25ft	15'-10" ETR

**SHEET LIST**

NO.	SHEET NAME	ISSUE DATE	CURRENT REV	REV DATE
<b>01 GENERAL</b>				
G100	COVER SHEET	05/18/2024	1	5-28-2024
G101	GENERAL NOTES	05/18/2024	1	5-28-2024
<b>02 CIVIL</b>				
C100	SITE PLAN	05/18/2024	1	5-28-2024
<b>04 ARCHITECTURAL</b>				
A100	EXISTING/DEMO FLOOR PLAN	05/18/2024	1	5-28-2024
A101	PROPOSED FLOOR PLAN	05/18/2024	1	5-28-2024
A200	BUILDING ELEVATIONS	05/18/2024	1	5-28-2024
A300	BUILDING SECTIONS	05/18/2024	1	5-28-2024
A301	BUILDING SECTIONS	05/18/2024	1	5-28-2024
A401	WALL SECTION & DETAILS	05/18/2024	1	5-28-2024

**LOCATION MAP**



KNOXVILLE | KNOX COUNTY PLANNING  
 400 MAIN ST, #403  
 KNOXVILLE, TN 37902  
 965-215-2500  
 FILE #: 6-E-24-SU

Consultant  
 Address  
 Address  
 Phone  
 Phone  
 Fax  
 Fax  
 e-mail  
 e-mail

No.	Description	Date
1	Revision 1	5-28-2024

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 Knoxville, TN 37912

**COVER SHEET**

Project number	224016
Date	05.25.2024
Drawn by	EKG
Checked by	CdL

**G100**

Scale

PERMIT SET

# PERMIT SET

## ABBREVIATIONS

°F	DEGREE FAHRENHEIT
#	POUND OR NUMBER
&	AND
@	AT
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
BD	BOARD
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DBL	DOUBLE
DIA	DIAMETER
DIM	DIMENSION
DIMS	DIMENSIONS
DWG	DRAWING
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FIXT	FIXTURE
FLR	FLOOR
GA	GAUGE
GALV	GALVANIZED
GF	GROUND FAULT CIRCUIT INT
GYP BD	GYPSPUM BOARD
HVAC	HEAT, VENT & AIR CONDITIONING
INSUL	INSULATED OR INSULATION
INT	INTERIOR
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
MMR	MOLD & MOISTURE RESISTANT
MTL	METAL
NO	NUMBER
OC	ON CENTER
PLUMB	PLUMBING
PT	PRESSURE TREATED
PTD	PAINTED
PVC	POLYVINYL CHLORIDE
RCP	REFLECTED CEILING PLAN
REQD	REQUIRED
RM	ROOM
SIM	SIMILAR
SPEC	SPECIFIED OR SPECIFICATION
SSTL	STAINLESS STEEL
STL	STEEL
STRUCT	STRUCTURE OR STRUCTURAL
T&G	TONGUE AND GROOVE
TEL	TELEPHONE
TLT	TOILET
TO	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W/	WITH
WD	WOOD

## ARCHITECT'S NOTES:

- SEPARATE LICENSED CONTRACTORS WHO ARE REGISTERED W/ THE CITY OF KNOXVILLE SHALL BE REQD TO PERFORM ELECTRICAL, PLUMBING, AND MECHANICAL WORK. THESE CONTRACTORS WILL NEED TO OBTAIN THEIR OWN PERMITS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE COMENCEMENT OF THE WORK.
- THE INTENT OF THESE DRAWINGS IS THAT ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO BUILDING CODES LISTED ON COVER SHEET AND ALL OTHER APLICABLE CODES GOVERNING WORK INDICATED ON DRAWINGS.
- GC TO VERIFY ALL WALL LOCATIONS, THICKNESS & DIMS W/ BUILDING PLANS PRIOR TO CONSTRUCTION.
- THE GC SHALL COORDINATE THE PLACEMENT OF FOOTINGS, COLUMNS, SLABS, WALLS, SHAFTS, ETC. W/ ALL SUB-CONTRACTORS INVOLVED.
- WALLS ARE REPRESENTED ON FLOOR PLANS AS 4" OR 6" FOR CLARITY & ARE TO BE BUILT W/ 3 1/2" & 5 1/2" STUDS W/ EITHER 1/2" GYP BD OR 1/2" SHEATHING DEPENDING ON LOCATION WITHIN PLAN.
- ROOF STRUCTURE (RIDGE BEAM & RAFTERS) TO BE DESIGNED PER BUILDING SUPPLY RECOMMENDATION.
- THE ARCHITECT HAS MADE EVERY EFFORT TO SET FORTH IN THE CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE GENERAL CONTRACTOR IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS & DISCREPANCIES IN THE DRAWINGS SHALL NOT EXCUSE THEM FROM PROVIDING A COMPLETED PROJECT TO THE OWNER'S SATISFACTION.
- THE GC SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILL AND ATTENTION. THEY SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. THE CONTRACTOR SHALL PROVIDE AT THE PROJECT SITE A FULL SET OF CONSTRUCTION DOCUMENTS ANNOTATED WITH THE LATEST REVISIONS AND CLARIFICATIONS FOR THE USE BY ALL.
- CGP COVERAGE, BONDS, COVENANTS, PLATS, DETENTION, SPAP, WATER QUALITY (FF), FLOODPLAIN DEVELOPMENT PERMIT, DOWNSTREAM STUDY, ETC, MAY BE REQUIRED AS PART OF THE PERMITTING FOR THIS SITE.

## MECHANICAL NOTES:

- THE MECHANICAL CONTRACTOR IS TO VERIFY COMPLICANCE OF ALL HVAC ENERGY REQUIREMENTS LISTED BELOW.
- SUPPLY AND RETURN DUCTS IN ATTICS INSULATED  $\geq$  R-8 WHERE DUCT IS  $\geq$  3" IN DIAMETER AND  $\geq$  R-6 WHERE  $<$  3". SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING INSULATED  $\geq$  R-6 FOR DIAMETER  $\geq$  3" AND R-4.2 FOR  $<$  3" IN DIAMETER.
- BUILDING CAVITIES ARE NOT USED AS DUCTS OR PLENUMS.
- HVAC PIPING CONVEYING FLUIDS ABOVE 105°F OR CHILLED FLUIDS BELOW 55°F ARE INSULATED TO  $\geq$  R-3.
- PROTECTION OF INSULATION ON HVAC PIPING.
- DUCT TIGHTNESS TEST RESULT OF  $\leq$  4 CFM/100 FT2 ACROSS THE SYSTEM OR  $\leq$  3 CFM/100 FT2 WITHOUT AIR HANDLER @ 25 PA. FOR ROUGH-IN TESTS, VERIFICATION MAY NEED TO OCCUR DURING FRAMING INSPECTION.
- DUCTS ARE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EITHER: ROUGH-IN TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT TIME OF TEST. POSTCONSTRUCTION TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE ENTIRE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE.
- AIR HANDLER LEAKAGE DESIGNATED BY MANUFACTURER AT  $\leq$  2% OF DESIGN AIR FLOW.
- PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS.
- HEAT PUMP THERMOSTAT INSTALLED ON HEAT PUMPS.
- ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT MEET EFFICACY AND AIR FLOW LIMITS.

## 2015 ENERGY CODE NOTES:

- HEATING & COOLING EQUIPMENT IS SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J OR OTHER METHOD APPROVED BY THE CODE OFFICIAL.
- ALL EXTERIOR DOORS TO HAVE A MIN U-FACTOR OF .22
- WINDOWS TO HAVE A MIN U-FACTOR OF .22 AND SHGC OF .25
- U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE W/ THE NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE.
- AIR BARRIER AND THERMAL BARRIER INSTALLED PER MFR INSTRUCTIONS.
- FENESTRATIONS NOT SITE BUILT ARE LISTED AS MEETING AAMA /WDMA/CSA 101/1.S.2/A440 OR OR HAVE INFILTRATION RATES PER NFRC 400 THAT DO NOT EXCEED CODE LIMITS.
- HOT WATER PIPES ARE INSULATED TO  $\geq$  R-3.
- AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUST.
- ALL INSTALLED INSULATION SHALL BE LABELED OR THE INSTALLED R-VALUES ARE PROVIDED.
- WALL INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- CEILING INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN INSULATION MARKED EVERY 300 FT<sup>2</sup>
- VENTED ATTICS WITH AIR PERMEABLE INSULATION INCLUDE BAFFLE ADJACENT TO SOFFIT AND EAVE VENTS THAT EXTENDS OVER INSULATION.
- ATTIC ACCESS HATCH AND DOOR INSULATION  $\geq$  R-VALUE OF THE ADJACENT ASSEMBLY.
- BLOWER DOOR TEST @ 50 PA.  $\leq$  5 ACH IN CLIMATE ZONES 1-2, AND  $\leq$  3 ACH IN CLIMATE ZONES 3-8.
- HOT WATER BOILERS SUPPLYING HEAT THROUGH ONE- OR TWO-PIPE HEATING SYSTEMS HAVE OUTDOOR SETBACK CONTROL TO LOWER BOILER WATER TEMPERATURE BASED ON OUTDOOR TEMPERATURE.
- COMPLIANCE CERTIFICATE TO BE POSTED.
- MFR MANUALS FOR MECHANICAL AND WATER HEATING SYSTEMS SHALL BE PROVIDED.

## ELECTRICAL NOTES:

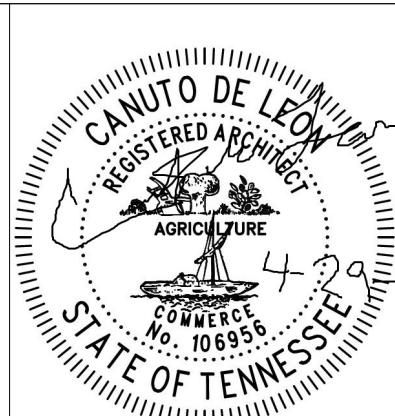
- IC-RATED RECESSED LIGHTING FIXTURES SEALED @ HOUSING/INTERIOR FINISH AND LABELED TO INDICATE  $\leq$  2.0 CFM
- 75% OF LAMPS IN PERMANENT FIXTURES OR 75% OF PERMANENT FIXTURES HAVE HIGH EFFICACY LAMPS. DOES NOT APPLY TO LOW-VOLTAGE LIGHTING.
- FUEL GAS LIGHTING SYSTEMS HAVE NO CONTINUOUS PILOT LIGHT.

## PLUMBING NOTES:

- THE PLUMBING CONTRACTOR IS TO VERIFY COMPLIANCE OF ALL APPLICABLE BUILDING CODES AND LOCAL CODES.
- HOT WATER PIPES SHALL BE INSULATED TO  $\geq$  R-3.

## SYMBOLS LEGEND:

CALLOUT HEAD	
DOOR TAG	
ELEVATION TAG	
ELEVATION CALLOUT	
NORTH ARROW	
ROOM TAG	
SECTION CALLOUT	
VIEW TITLE/ CALLOUT / SCALE	
WINDOW TAG	



KNOXVILLE | KNOX COUNTY PLANNING  
400 MAIN ST, #403  
KNOXVILLE, TN 37902  
965-215-2500  
FILE #: 6-E-24-SU

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e-mail

No.	Description	Date
1	Revision 1	5-28-2024

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## GENERAL NOTES

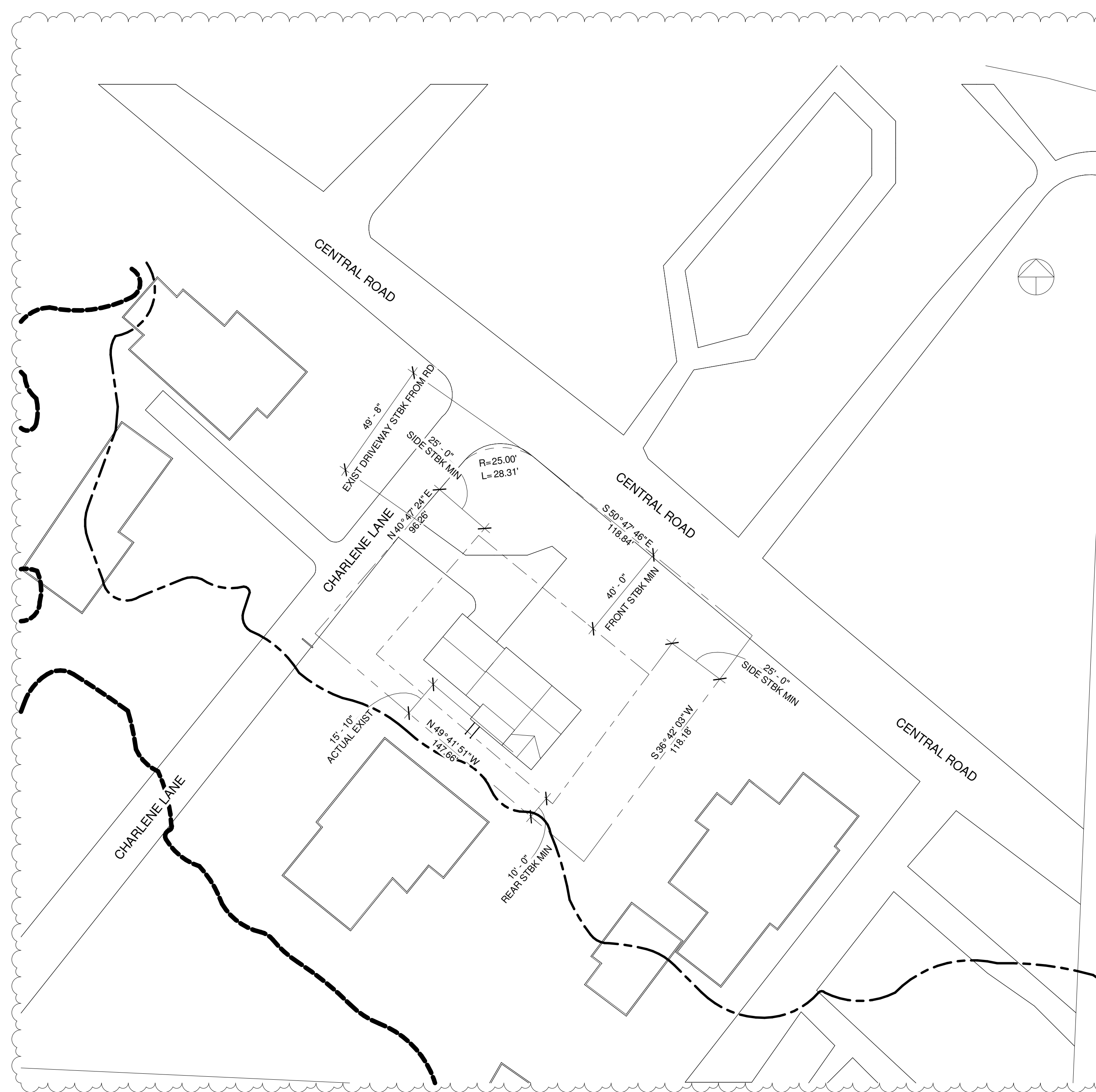
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Date	05.25.2024
Drawn by	Author
Checked by	Checker

G101

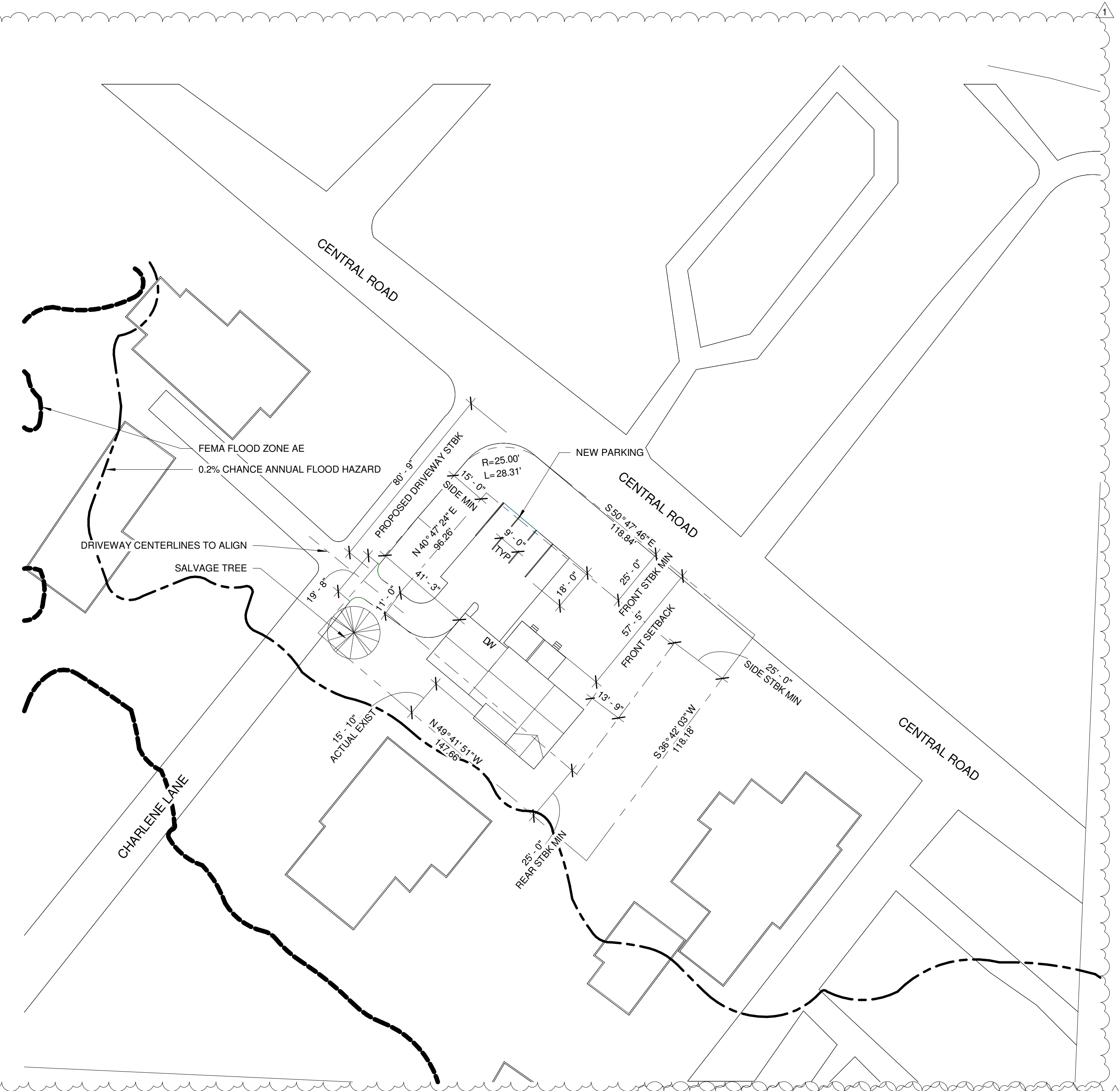
Scale 1/4" = 1'-0"

PERMIT SET

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1 EXISTING SITE PLAN  
1" = 30'-0"

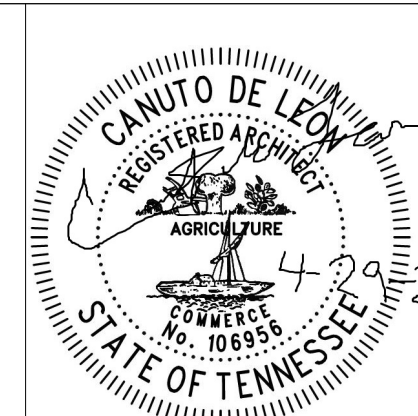


2 PROPOSED SITE PLAN  
1" = 30'-0"

NOTE:  
1. CGP COVERAGE, BONDS, COVENANTS, PLATS, DETENTION, SPAP, WATER QUALITY (FF), FLOODPLAIN DEVELOPMENT PERMIT, DOWNSTREAM STUDY, ETC. MAY BE REQUIRED AS PART OF THE PERMITTING FOR THIS SITE.  
2. BUILDING NOT LOCATED IN FEMA FLOOD PLAIN OR FLOOD HAZARD AREA, OWNER ADVISED TO OBTAIN FLOOD INSURANCE DUE TO PROXIMITY TO FLOOD ZONE

**PARKING REQUIREMENTS (11.4)**

	MIN PARKING	MAX PARKING
DWELLING - 2-FAMILY	2 PER DU	NO LIMIT



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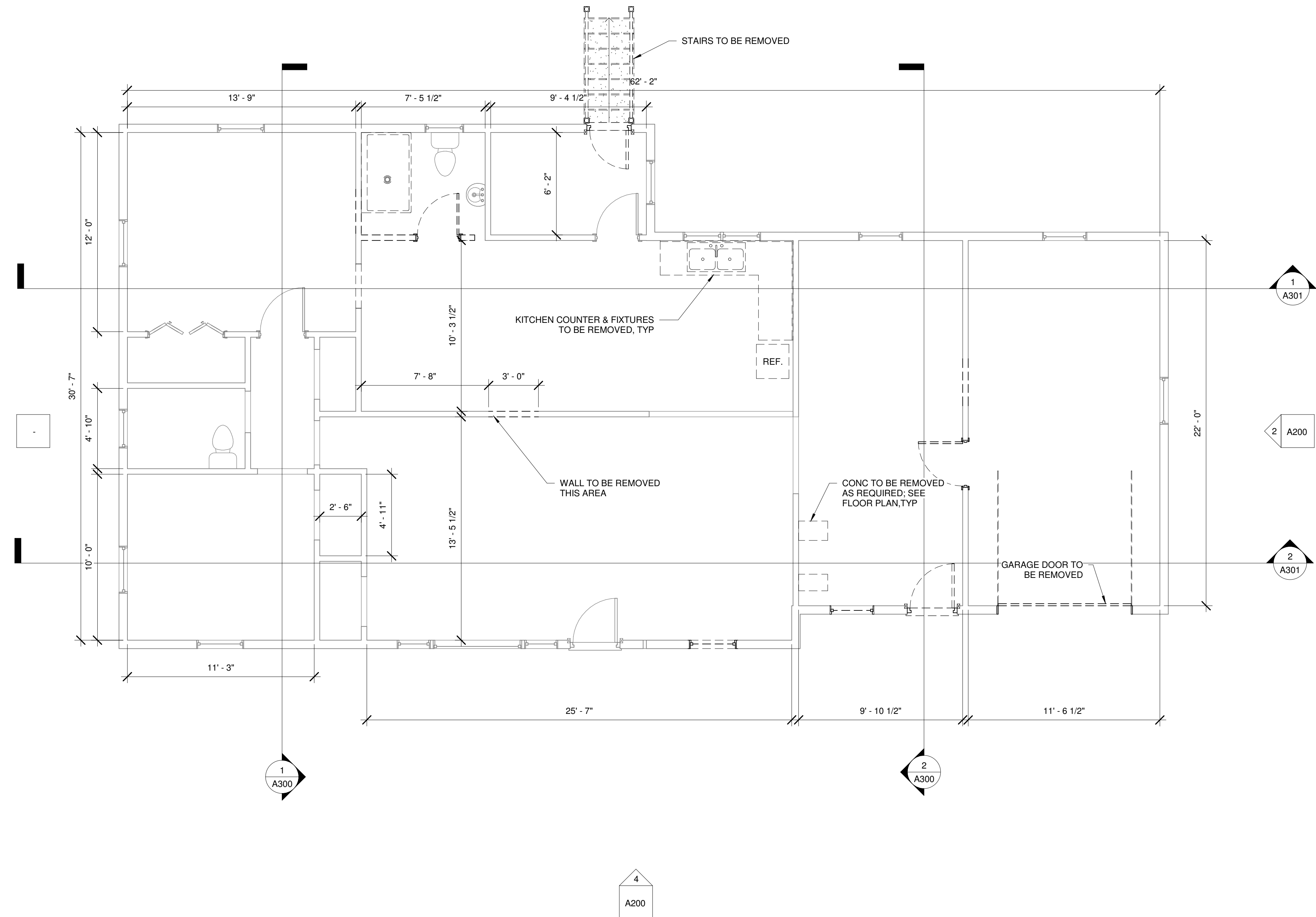
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**SITE PLAN**

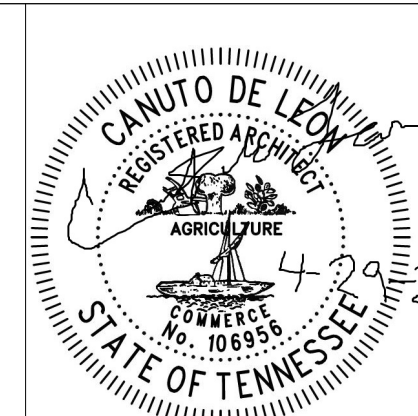
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Date	05.25.2024
Drawn by	EKG
Checked by	CdL

**C100**  
Scale 1" = 30'-0"

# PERMIT SET



1 MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"



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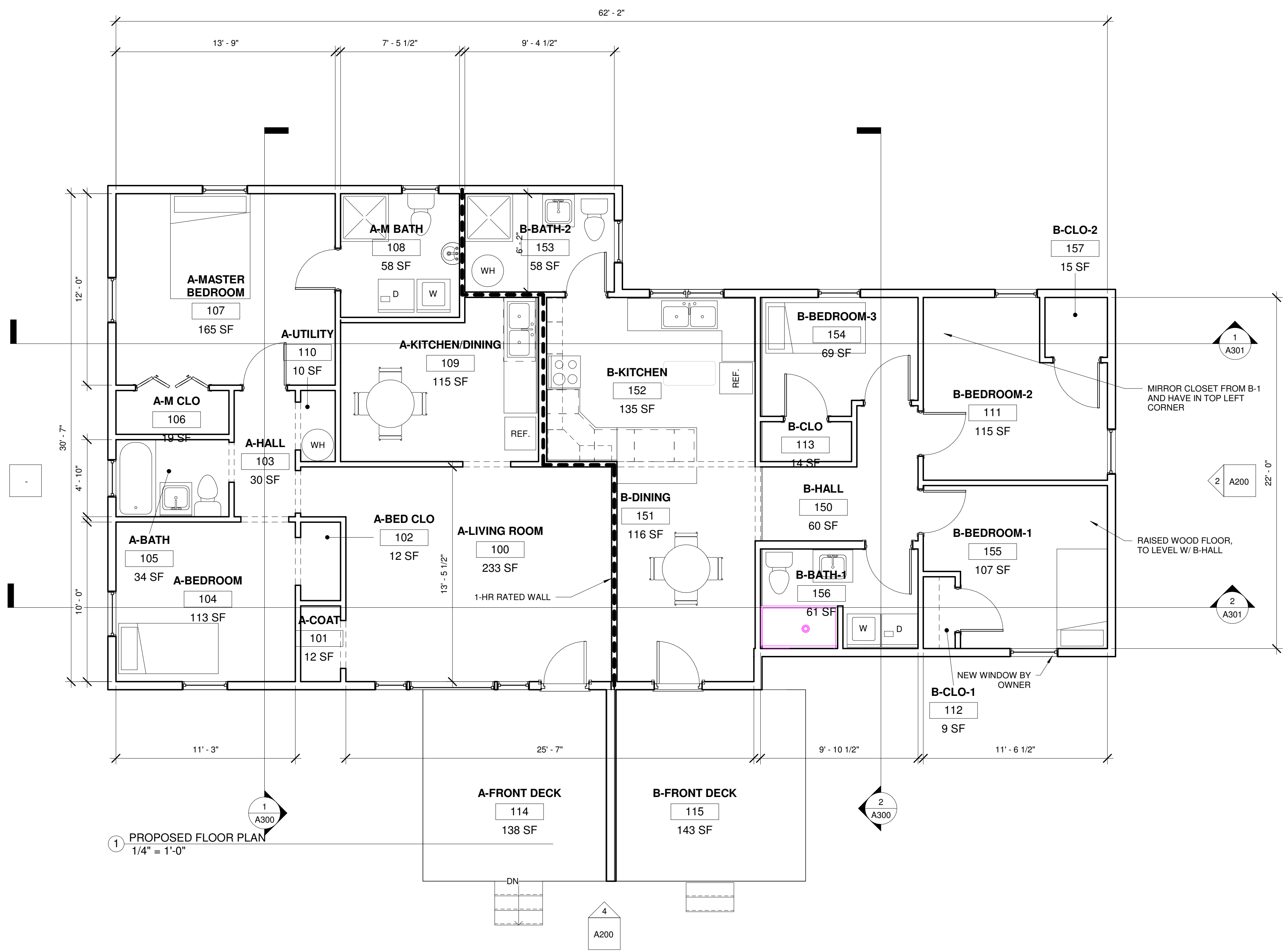
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EXISTING/DEMO FLOOR PLAN	
Project number	224016
Date	05.25.2024
Drawn by	EKG
Checked by	CdL
<b>A100</b>	
Scale 1/4" = 1'-0"	

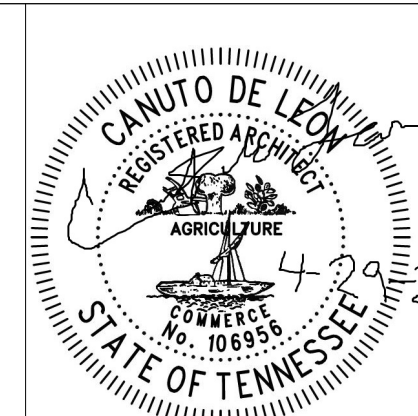
# PERMIT SET

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1 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

ROOM SCHEDULE			
Number	Name	Area	Comments
100	A-LIVING ROOM	233 SF	
101	A-COAT	12 SF	
102	A-BED CLO	12 SF	
103	A-HALL	30 SF	
104	A-BEDROOM	113 SF	
105	A-BATH	34 SF	
106	A-M CLO	19 SF	
107	A-MASTER BEDROOM	165 SF	
108	A-M BATH	58 SF	
109	A-KITCHEN/DINING	115 SF	
110	A-UTILITY	10 SF	
111	B-BEDROOM-2	115 SF	
112	B-CLO-1	9 SF	
113	B-CLO	14 SF	
114	A-FRONT DECK	138 SF	
115	B-FRONT DECK	143 SF	
150	B-HALL	60 SF	
151	B-DINING	116 SF	
152	B-KITCHEN	135 SF	
153	B-BATH-2	58 SF	
154	B-BEDROOM-3	69 SF	
155	B-BEDROOM-1	107 SF	
156	B-BATH-1	61 SF	
157	B-CLO-2	15 SF	
Grand total: 24		1841 SF	



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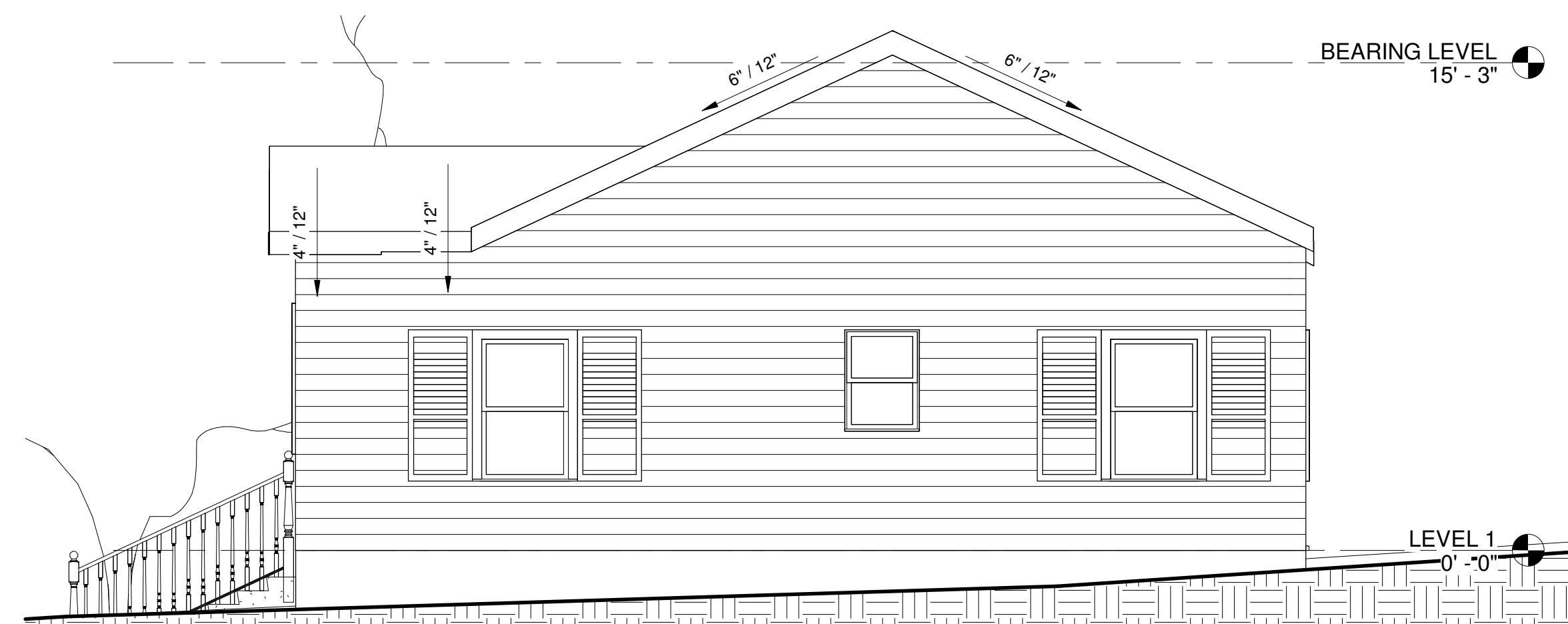
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PROPOSED FLOOR PLAN	
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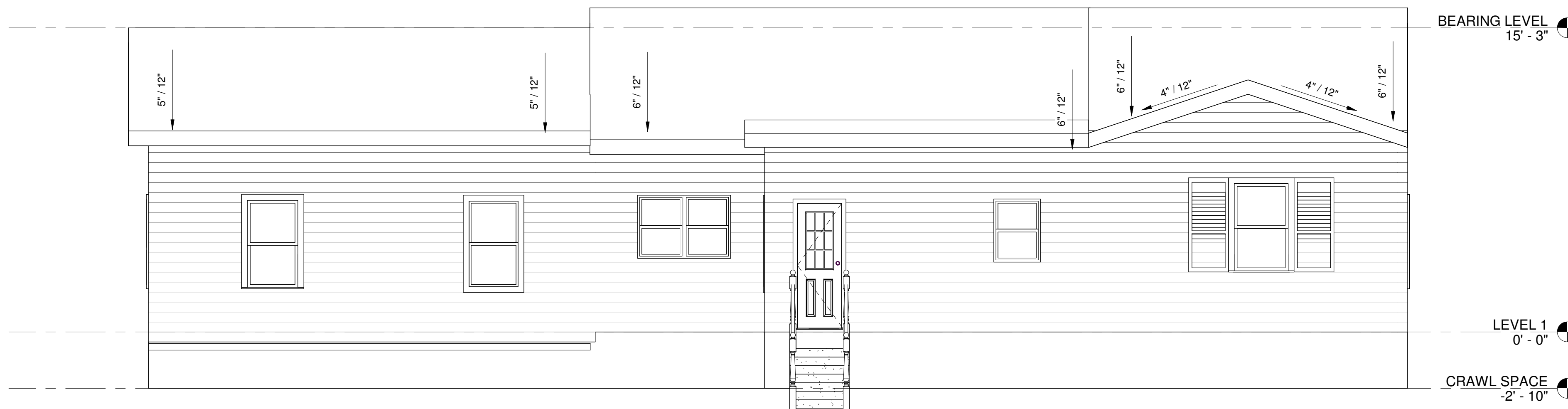
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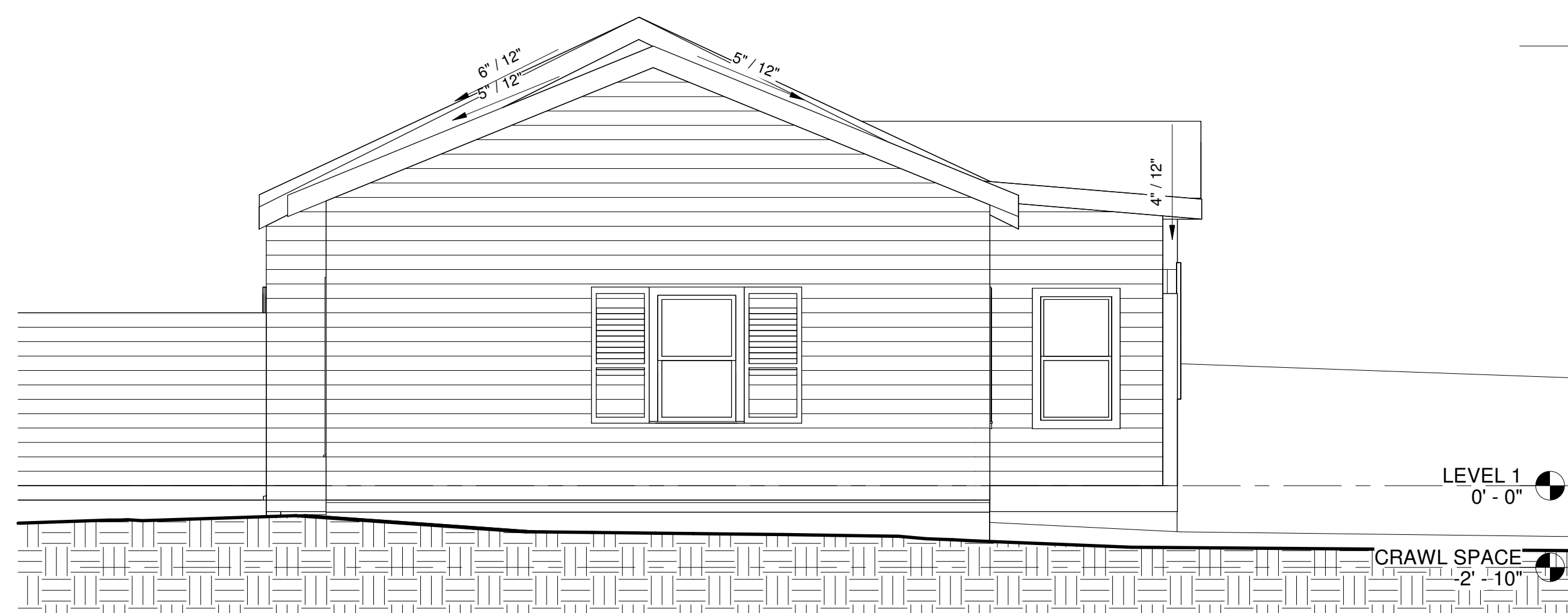
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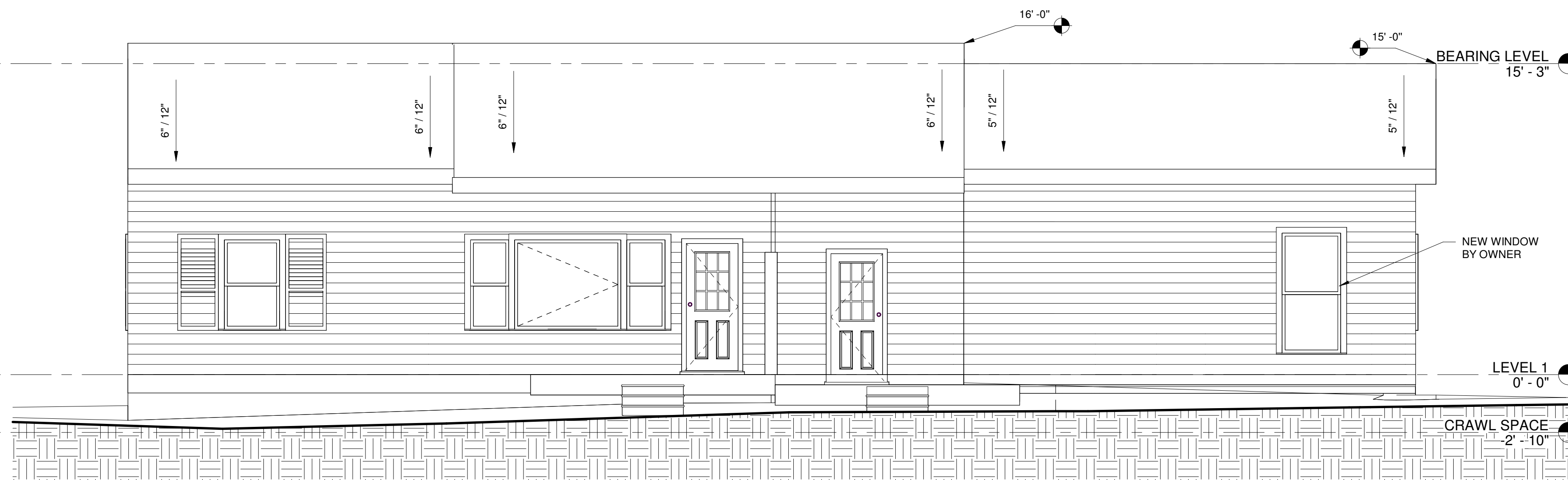
1 SOUTH ELEVATION  
1/4" = 1'-0"



3 WEST ELEVATION  
1/4" = 1'-0"

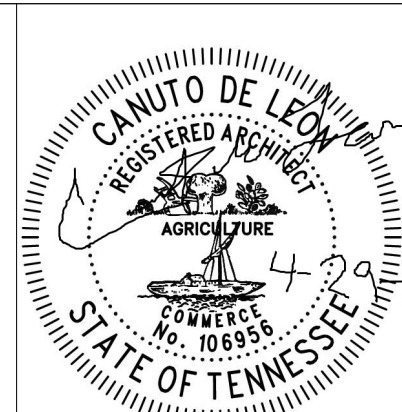


2 NORTH ELEVATION  
1/4" = 1'-0"



4 EAST ELEVATION  
1/4" = 1'-0"

NOTE:  
EXISTING EXTERIOR FINISHES TO BE RESTORED TO LIKE-NEW CONDITION  
GC TO UPDATE WINDOWS AS REQUIRED



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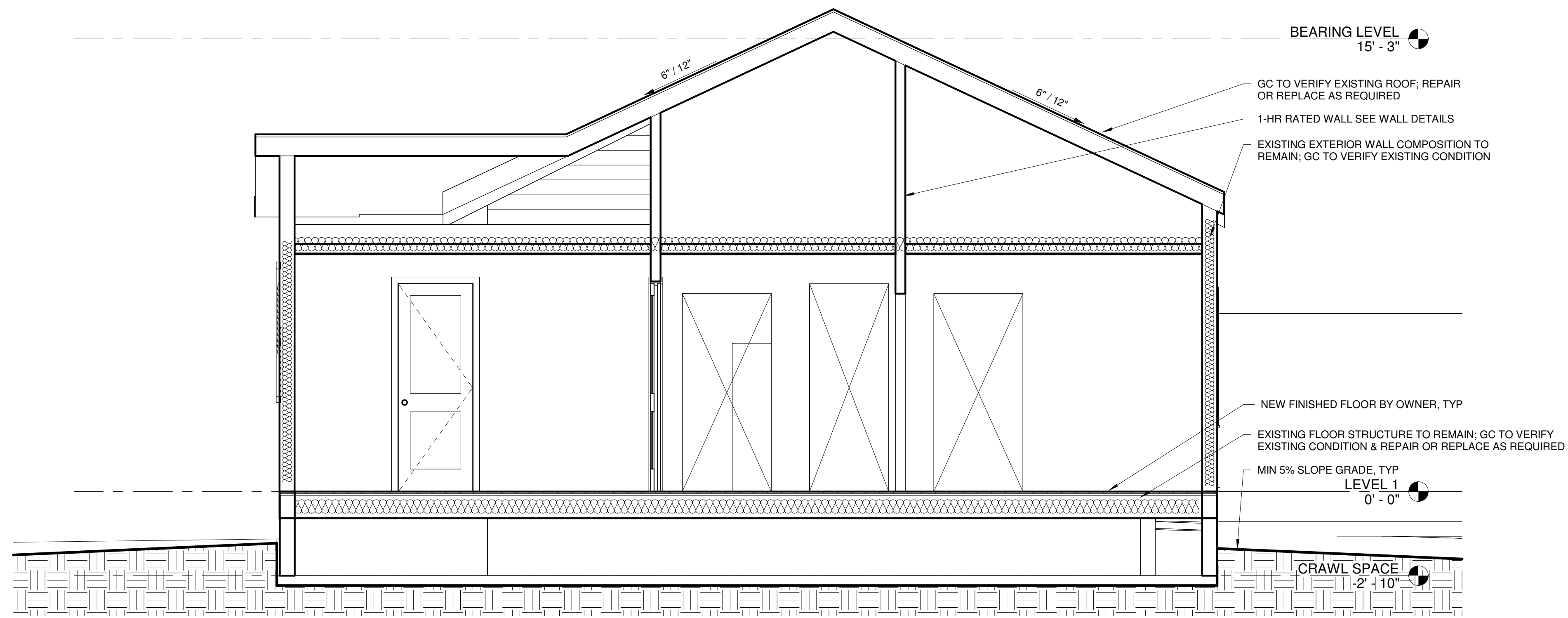
BUILDING ELEVATIONS	
Project number	224016
Date	05.25.2024
Drawn by	EKG
Checked by	CdL

**A200**  
Scale 1/4" = 1'-0"

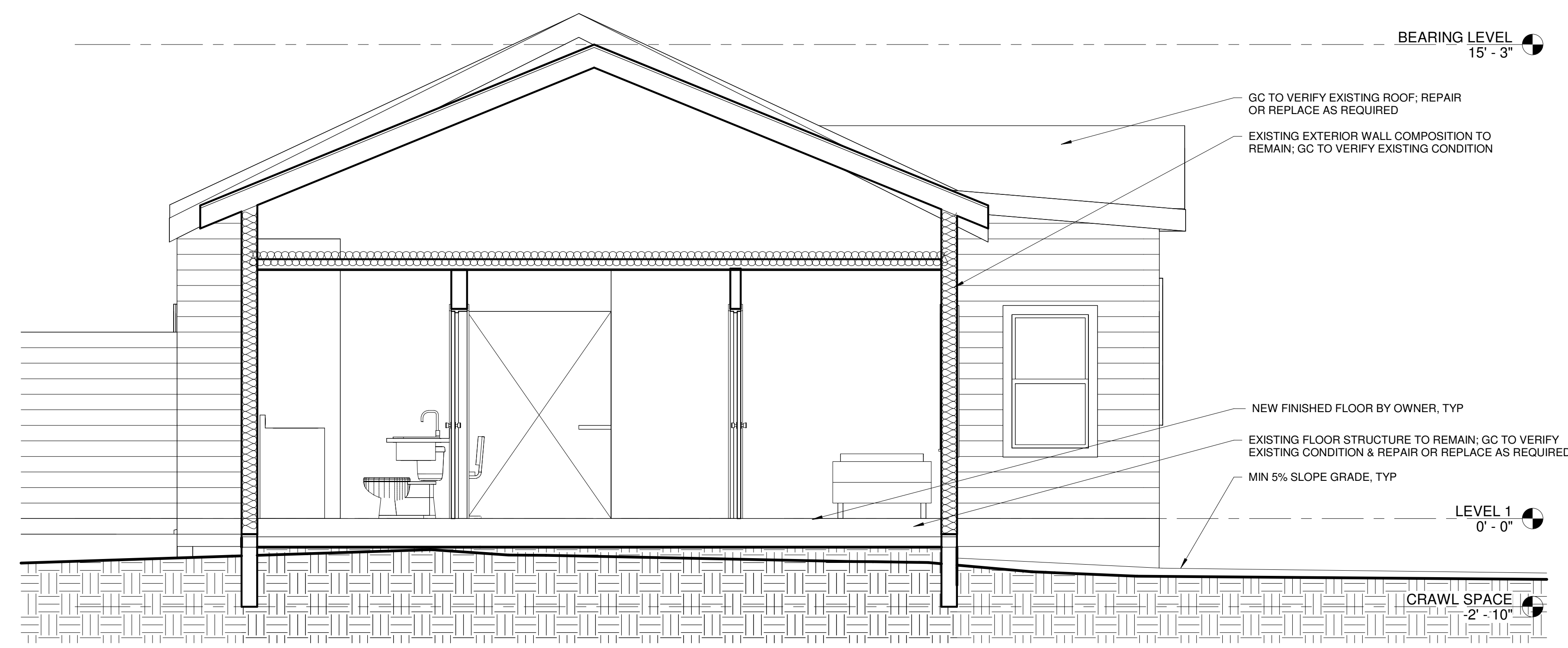
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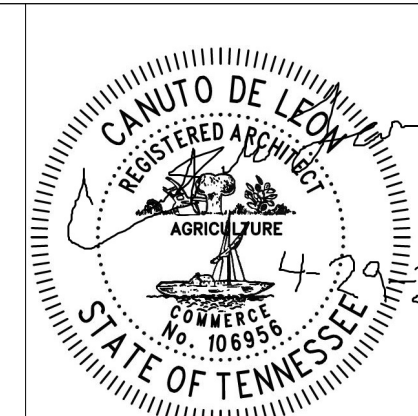
# PERMIT SET



1 SECTION 1  
3/8" = 1'-0"



2 SECTION 3  
3/8" = 1'-0"



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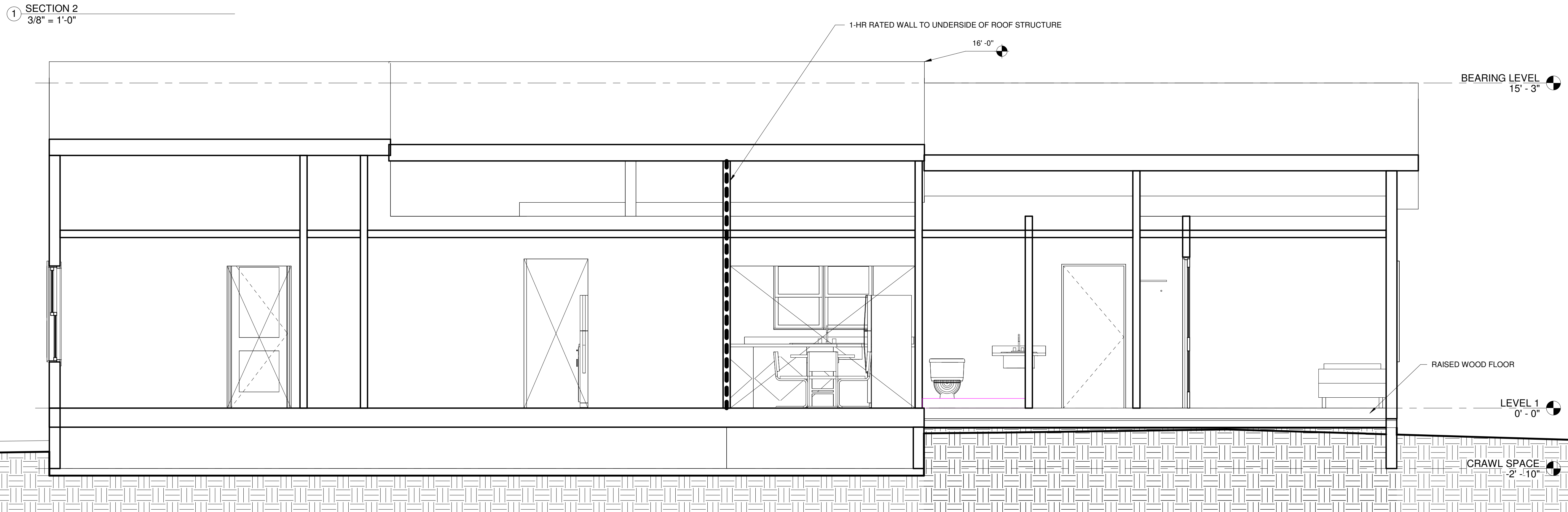
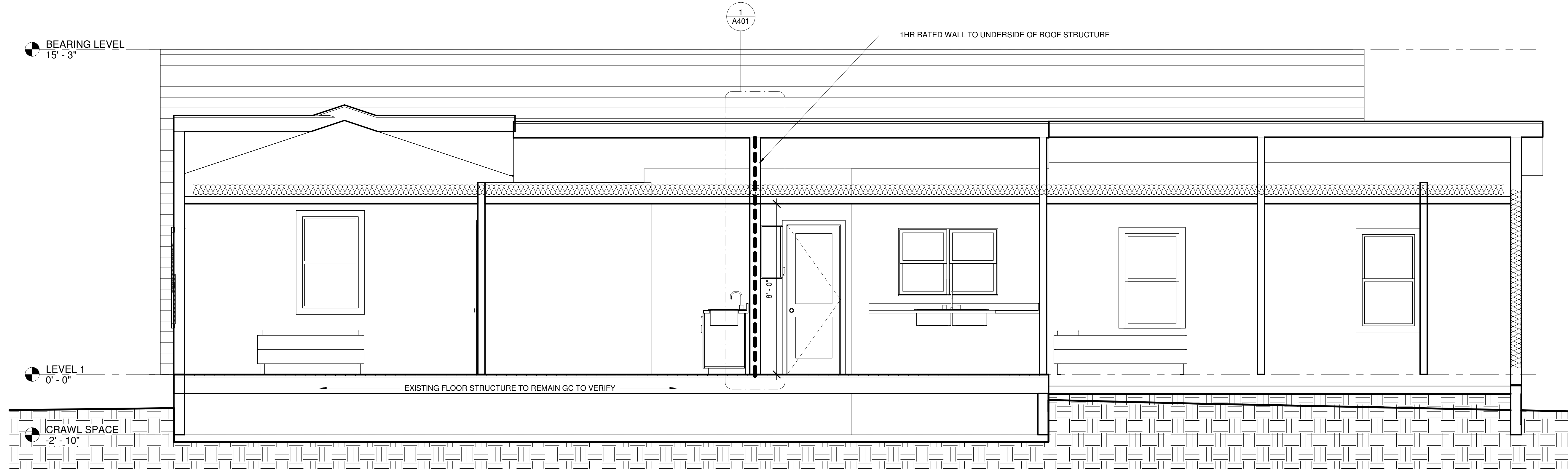
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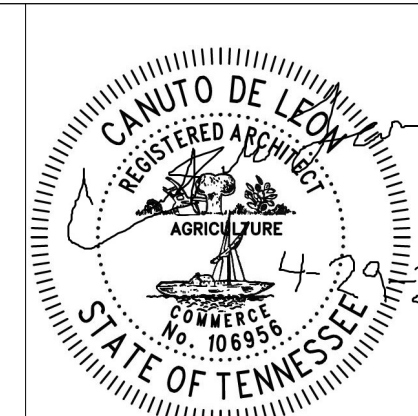
BUILDING SECTIONS	
Project number	224016
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Drawn by	EKG
Checked by	CdL
<b>A300</b>	
Scale 3/8" = 1'-0"	

# PERMIT SET

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SECTION 4  
3/8" = 1'-0"



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**A301**  
Scale 3/8" = 1'-0"

PERMIT SET

5/28/2024 1:50:02 PM

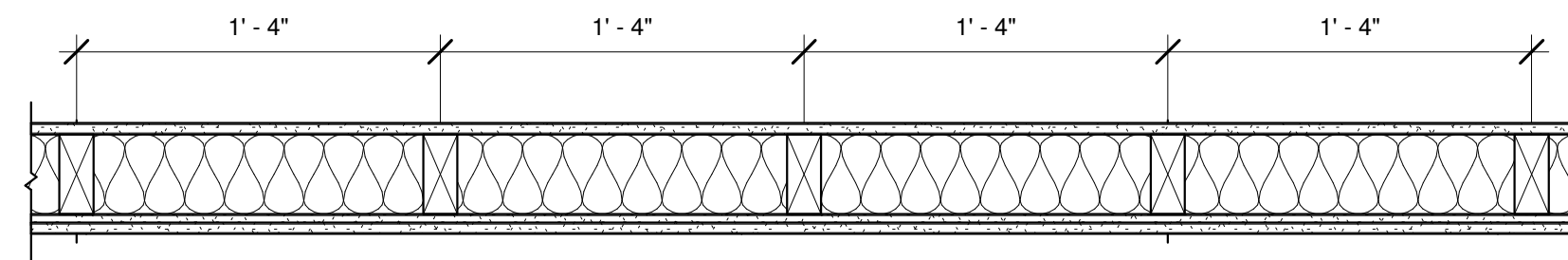


# PERMIT SET

**DESIGN NO.** UL U305  
**FIRE RATING:** 1 HOUR  
**STC RATING:** 38  
**SOUND TEST:** USG-151236  
**SYSTEM THICKNESS:** 5-3/8" [137 MM]  
**LOCATION:** INTERIOR  
**FRAMING TYPE:** WOOD STUD (LOAD-BEARING)

**ASSEMBLY REQUIREMENTS:**

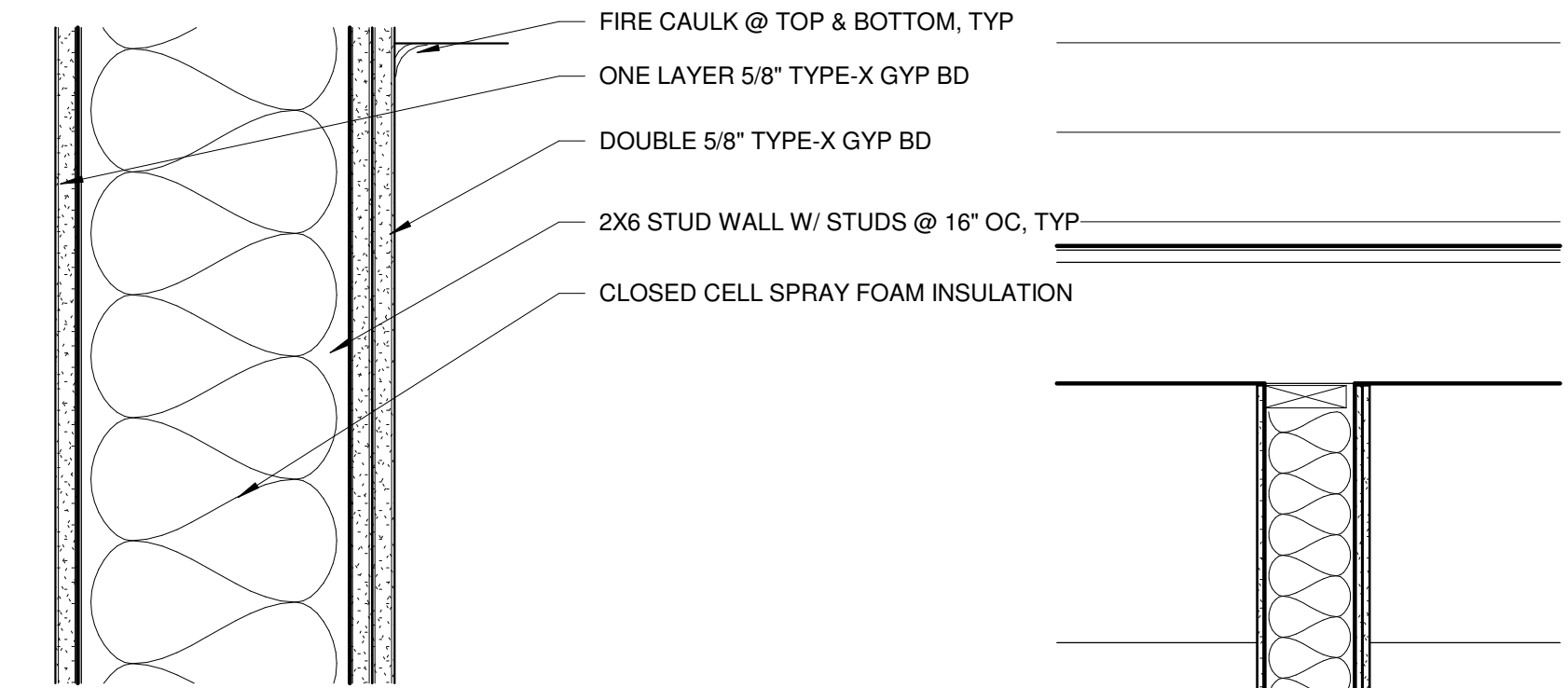
**GYPSUM PANELS:** ONE LAYER 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)  
**WOOD STUDS:** 2" X 4" [38 X 89 MM] WOOD STUDS, 16" [406 MM] O.C.  
**INSULATION:** 3-1/2" [89 MM] FIBERGLASS INSULATION  
**GYPSUM PANELS:** TWO LAYERS 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)



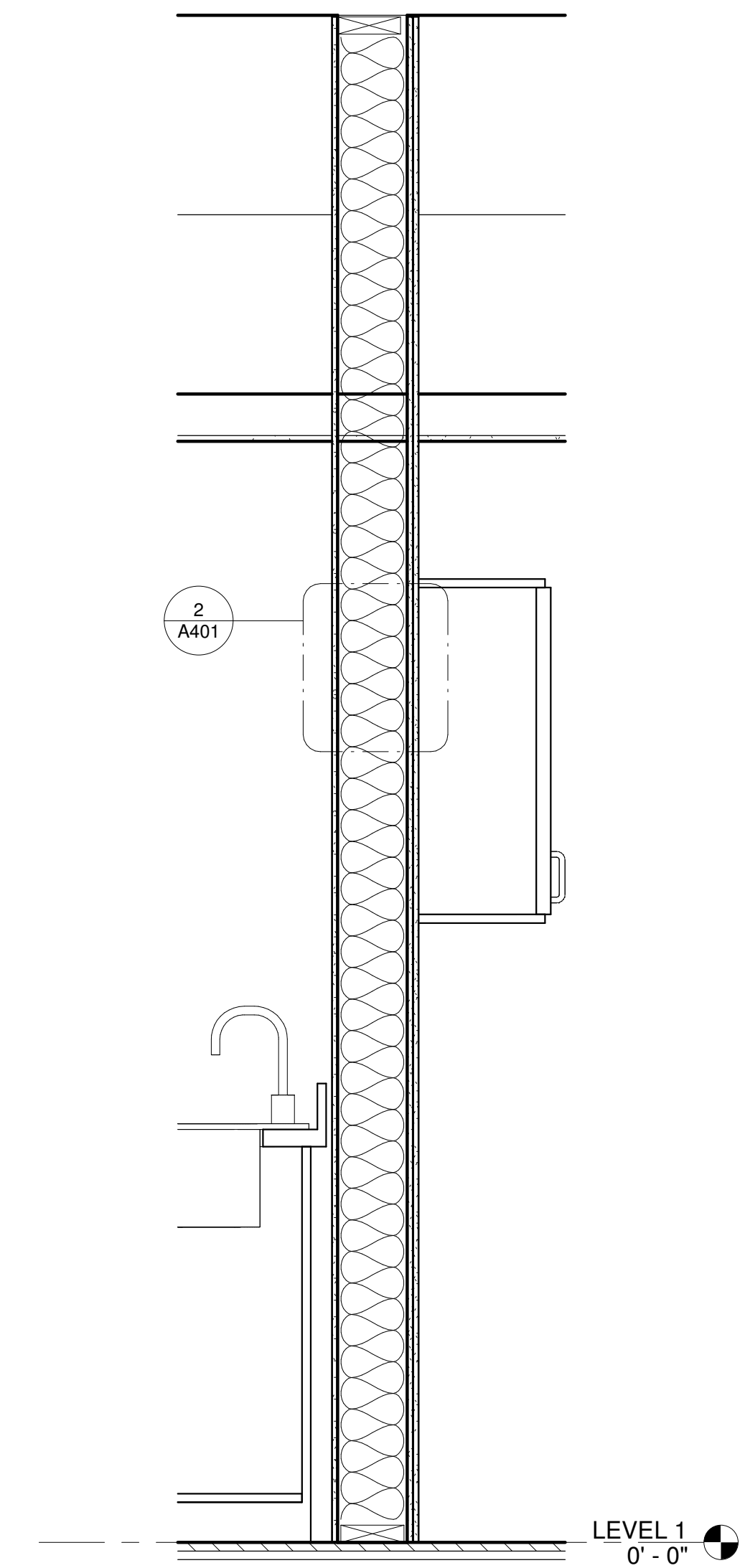
③ U305  
1 1/2" = 1'-0"

**GENERAL WALL NOTES:**

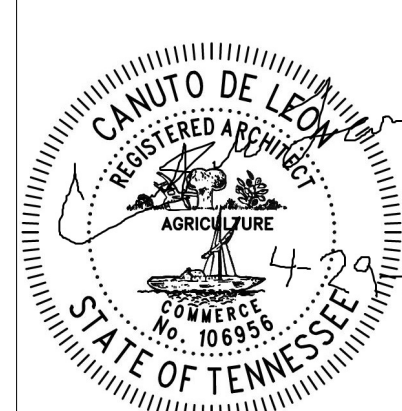
- REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
- FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
- WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
- STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
- FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
- FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
- WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
- SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.



② RATED WALL DETAIL  
3" = 1'-0"



① SECTION 2 - Callout 1  
1" = 1'-0"



KNOXVILLE | KNOX COUNTY PLANNING  
 400 MAIN ST, #403  
 KNOXVILLE, TN 37902  
 965-215-2500  
 FILE #: 6-E-24-SU

Consultant  
 Address  
 Address  
 Phone  
 Fax  
 e-mail

No.	Description	Date
1	Revision 1	5-28-2024

Zambezi Realty, LLC  
 HOME TO DUPLEX RENOVATION  
 5405 Central Ave Pike  
 Knoxville, TN 37912

**WALL SECTION & DETAILS**

Project number	224016
Date	05.25.2024
Drawn by	EKG
Checked by	CdL

**A401**

Scale As indicated

PERMIT SET

5/28/2024 1:50:02 PM