

05/27/25

PLAN SET ISSUE / REVISION HISTORY

REV 1-SPU COMMENTS 05.21.25

CONTRACT DATE: 03.11.25

BLDG TYPE: KITCHEN-X V3.0

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 317176

STORE NUMBER: 463675

PA/PM: Dowling

DRAWN BY.: EH

JOB NO.: 2024088.07

KITCHEN-X V3.0

5900-5902 Kingston Pike
Knoxville, TN 37919

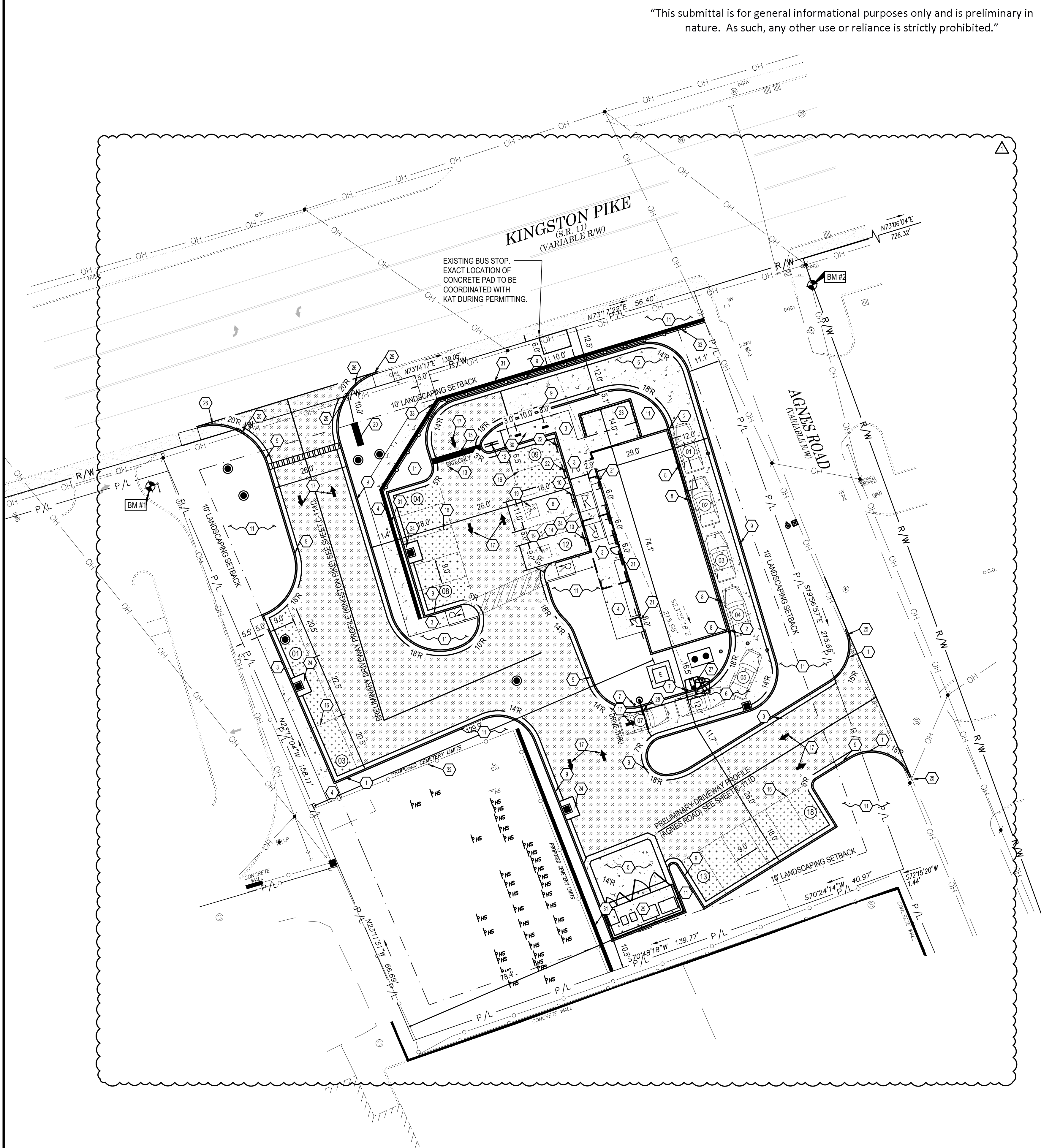


SITE
PLAN

C-111

PLOT DATE:

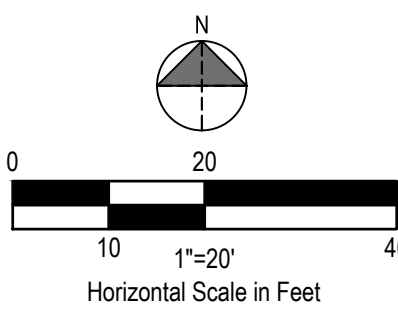
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LEGEND

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED CONCRETE
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED CLEAN OUT
- PROPOSED EXTERIOR GREASE INTERCEPTOR
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED LIGHT POLE
- PROPOSED PAINTED ADA SYMBOL
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS
- PROPOSED TRANSVERSE STRIPING

NOTE: ALL SITE BOLLARDS TO BE BLACK UNLESS REQUIRED DIFFERENTLY BY THE CITY OF KNOXVILLE, TN OR ADA SPECIFICATIONS.



PLAN KEYNOTES (#)

- PROPOSED CONCRETE CURB.
- PROPOSED CONCRETE CURB AT DRIVE THRU.
- PROPOSED CONCRETE CURBED WALK.
- PROPOSED CONCRETE WALK.
- PROPOSED HEAVY DUTY CONCRETE.
- PROPOSED STANDARD DUTY CONCRETE.
- PROPOSED DETERRENT BOLLARD.
- PROPOSED DETERRENT BOLLARD IN CURB.
- PROPOSED CONCRETE CURB AND GUTTER.
- PROPOSED HANDICAPPED PARKING SIGN.
- PROPOSED LANDSCAPING AREA. SOD ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS ARE INDICATED.
- PROPOSED 'DO NOT ENTER' AND 'STOP SIGN' PER TDOT STANDARDS.
- PROPOSED 'EXIT ONLY' PAVEMENT MARKINGS PER TDOT STANDARDS.
- PROPOSED PAINTED TRANSVERSE STRIPING.
- PROPOSED 24" STOP LINE PER TDOT STANDARDS.
- PROPOSED PAINTED 4" WIDE SOLID STRIPE - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE ON ADA.
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE FOR ADA.
- PROPOSED PAINTED ADA PAVEMENT SYMBOL PER ADA SPECIFICATIONS.
- PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS.
- PROPOSED 165 SF POLE SIGN WITH MAX 20' OAH PER SIGN SUPPLIER SPECIFICATIONS.
- PROPOSED FROST SLAB AT DOOR.
- PROPOSED MOBILE ORDER PICK-UP SIGN, IN BOLLARD. CONTRACTOR TO INSTALL SIGN POST AND BOLLARD PER THE HANDICAP SIGN DETAIL.
- PROPOSED PATIO.
- PROPOSED CONCRETE COLLAR.
- PROPOSED CURB TAPER.
- PROPOSED FLUSH CURB.
- PROPOSED MENU BOARD, CANOPY, AND SPEAKER POST PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION/PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD, CANOPY, AND SPEAKER POST PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL.
- PROPOSED EVOLUTION PORTAL CLEARANCE BAR.
- PROPOSED DUMPSTER ENCLOSURE ON P.C.C. PAD OVER CRUSHED AGGREGATE OR GRAVEL BASE. SEE ARCHITECTURAL PLANS. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
- PROPOSED BIKE RACK (4 BIKE SPACES PROVIDED (LESS THAN 50 VEHICLE SPACES)).
- PROPOSED RETAINING WALL. EXTENTS AND LOCATION SHOWN ARE APPROXIMATE.
- PROPOSED DECORATIVE FENCE AROUND EXISTING REMIETERY
- PROPOSED GUARDRAIL PER TDOT STANDARDS AND SPECIFICATIONS. THE GUARDRAIL SHALL BE PAINTED BLACK.
- ACCESS AISLE FOR ADA SPACES SHALL BE LABELED WITH "NO PARKING".

BENCHMARKS:

HORIZONTAL REFERENCE FRAME: NORTH AMERICAN DATUM OF 1983 (2011)-STATE PLANE COORDINATE SYSTEM OF TENNESSEE

VERTICAL REFERENCE FRAME: NORTH AMERICAN DATUM OF 1988 (GEOID09).

BENCHMARK #1 - 60D NAIL.
N: 588,404.33, E: 2,560,370.47
ELEVATION=870.90

BENCHMARK #2 - 5/8" RBR CAPPED.
N: 588,475.05, E: 2,560,602.66
ELEVATION=881.77

6-E-25-SU
Revised: 5/27/2025

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT: SR 11	0 L.F.	43.6 L.F.
REAR: STORAGE	0 L.F.	10.5 L.F.
SIDE: AGNES RD.	0 L.F.	20.0 L.F.
SIDE: U.S. BANK	0 L.F.	78.4 L.F.

PARKING SETBACKS

	REQUIRED	PROVIDED
FRONT: SR 11	0 L.F.	10 L.F.
REAR: STORAGE	0 L.F.	10 L.F.
SIDE: AGNES RD.	0 L.F.	11.1 L.F.
SIDE: U.S. BANK	0 L.F.	5.5 L.F.

LANDSCAPE SETBACKS

	REQUIRED	PROVIDED
FRONT: SR 11	10 L.F.	10 L.F.
REAR: STORAGE	10 L.F.	10 L.F.
SIDE: AGNES RD.	10 L.F.	11.1 L.F.
SIDE: U.S. BANK	10 L.F.	5.5 L.F.

PARKING SPACES

	PROVIDED
NUMBER OF SPACES	18
PARKING REQUIREMENTS	
MIN: 6 SPACE PER 1,000 GFA=13 SPACES	
MAX: 12 SPACES PER 1,000 GFA= 26 SPACES	
BUILDING GFA= 2115 SF	

LAND USE DATA

	% OF SITE AREA	AREA PROVIDED
BUILDING	5%	0.05 AC.
PAVEMENT/IMPERVIOUS	48%	0.46 AC.
LANDSCAPING	47%	0.45 AC.
TOTAL	100%	0.96 AC.

CURRENT ZONING: C-G-1: BEARDEN VILLAGE OPPORTUNITIES PLAN



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KITCHEN-X V3.0

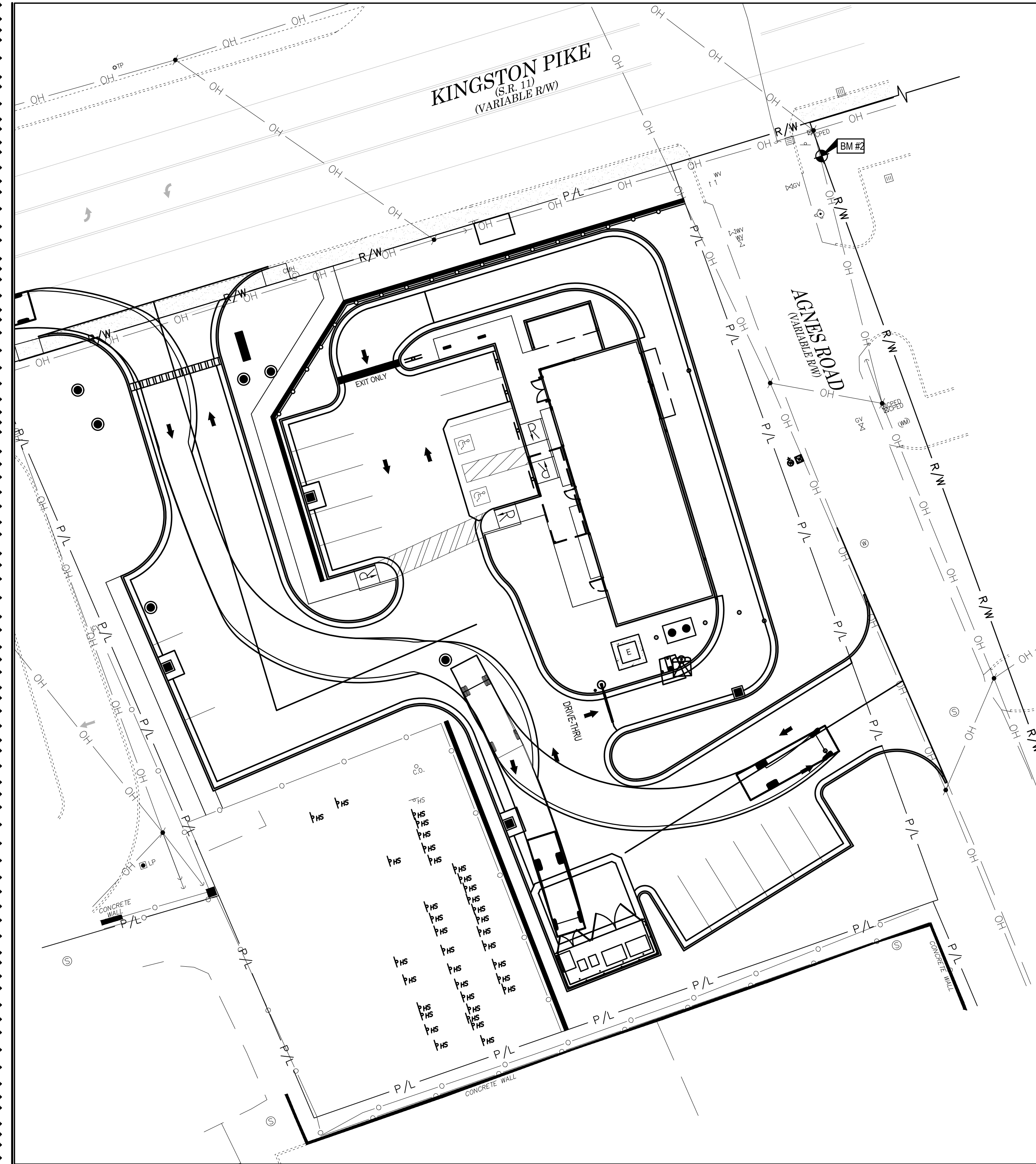
5900-5902 Kingston Pike
Knoxville, TN 37919



AUTOTURN
PLAN

C-111A

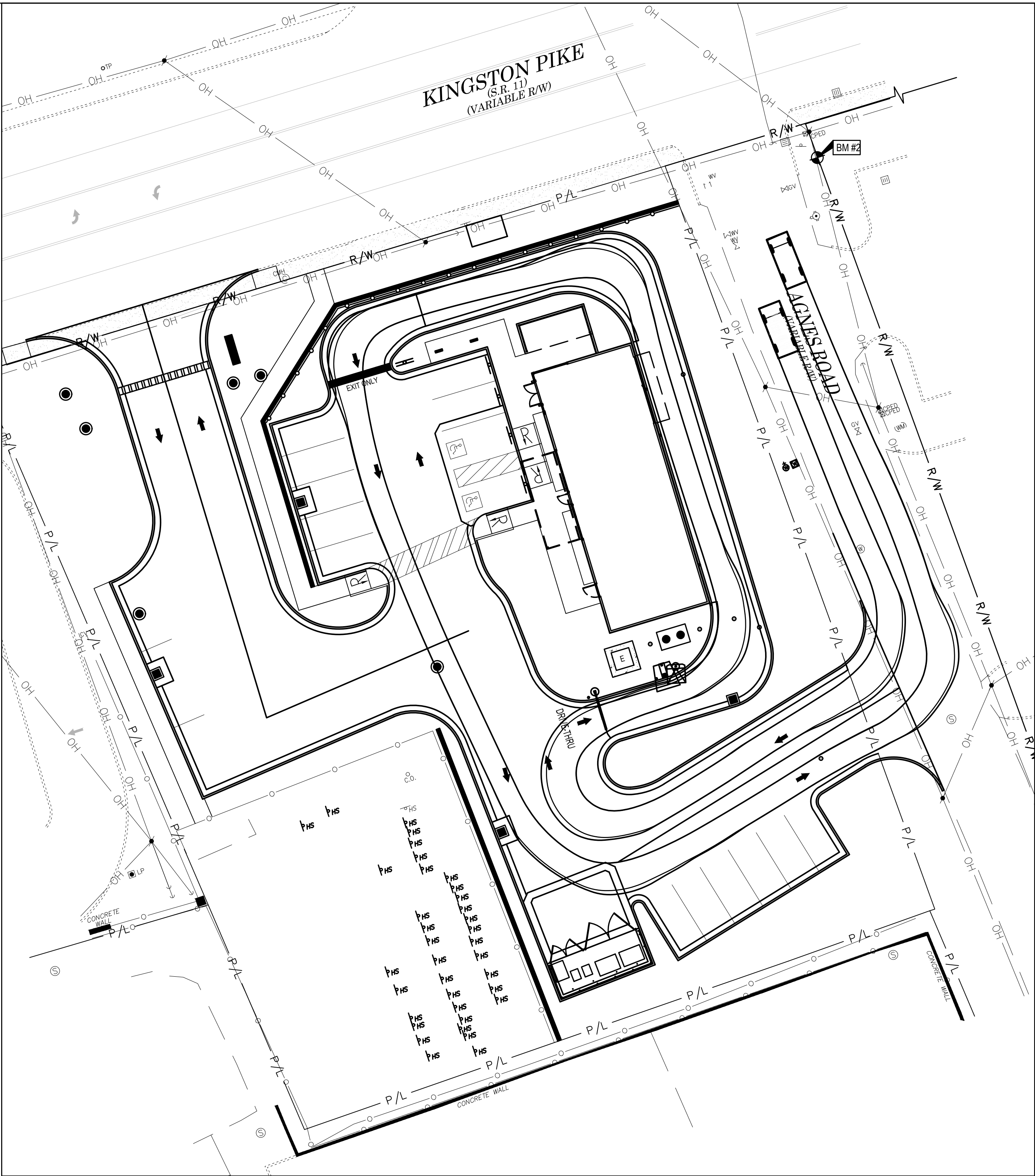
PLOT DATE:



REFUSE TRUCK AGNES
ROAD INGRESS
KINGSTON PIKE EGRESS

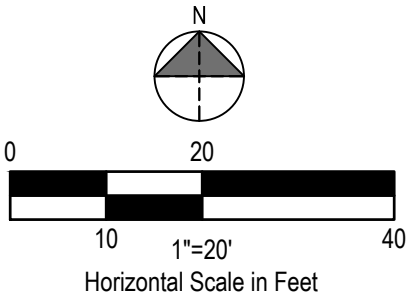
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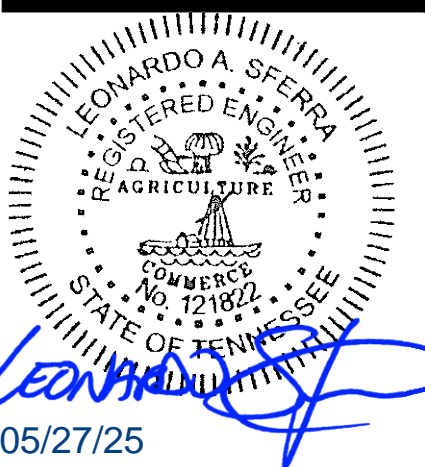
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PASSENGER CAR
AGNES ROAD
INGRESS/EGRESS

6-E-25-SU
Revised: 5/27/2025





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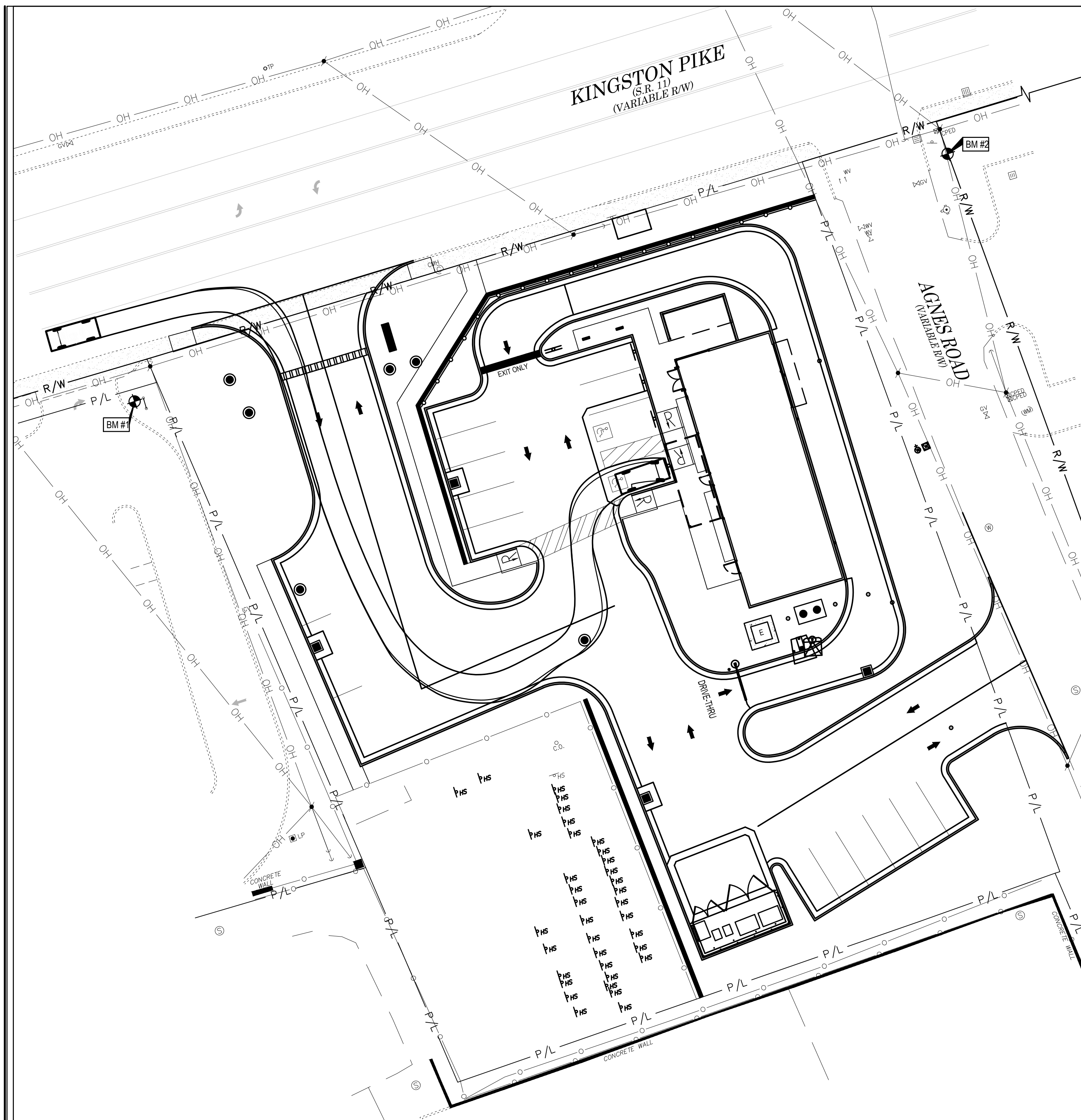
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AUTOTURN PLAN

C-111B

PLOT DATE:



PASSENGER CAR KINGSTON PIKE INGRESS AND INTO PARKING AREA

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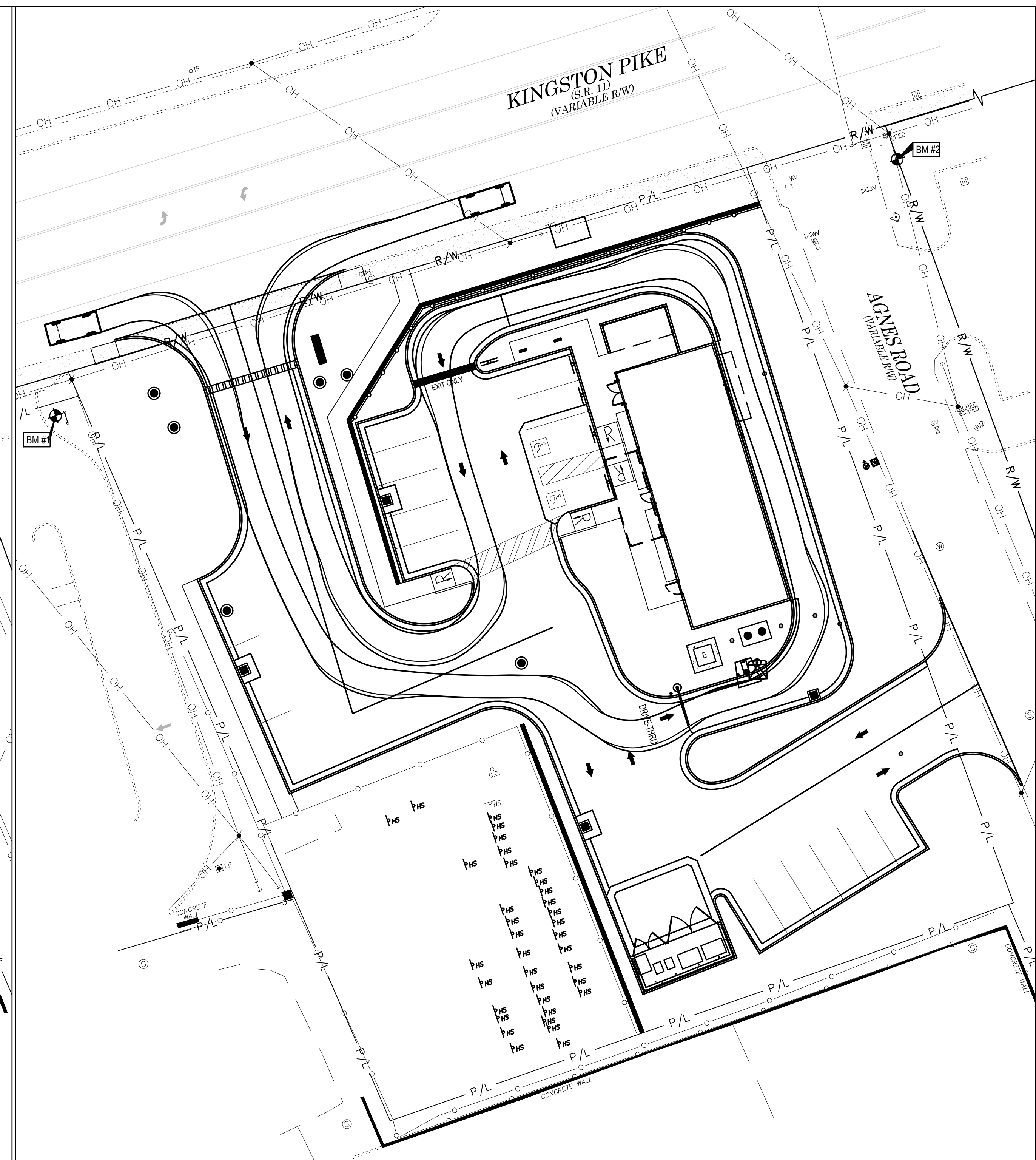
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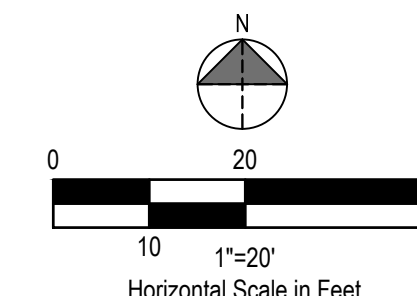
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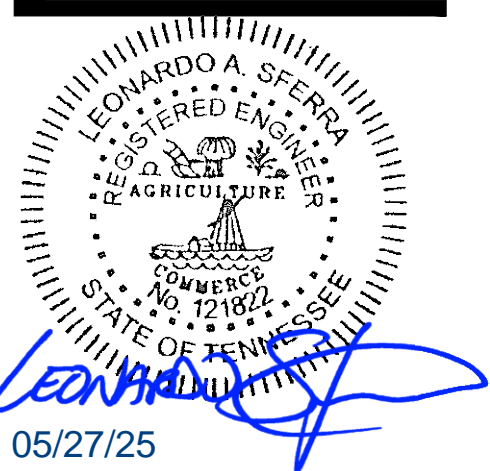
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PASSENGER CAR
KINGSTON PIKE
INGRESS/EGRESS

6-E-25-SU
Revised: 5/27/2025



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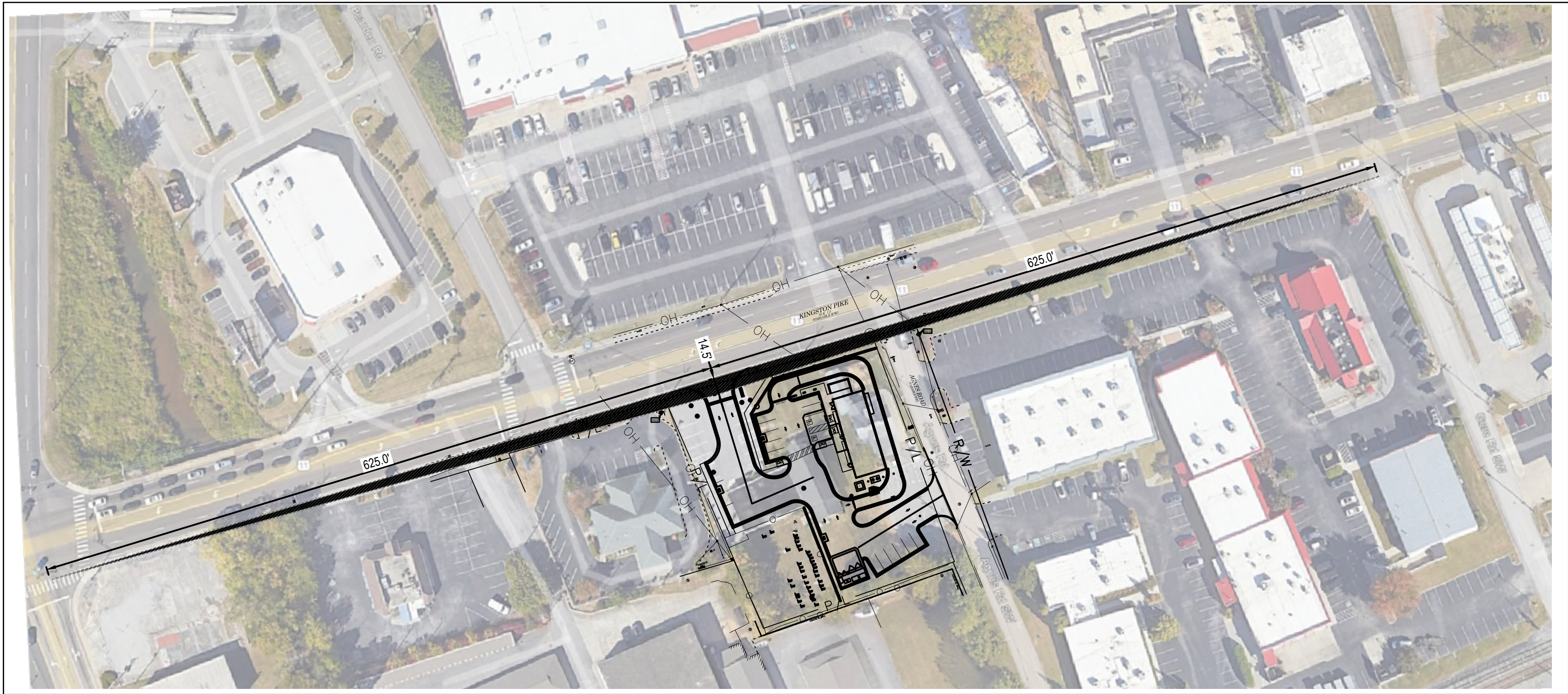
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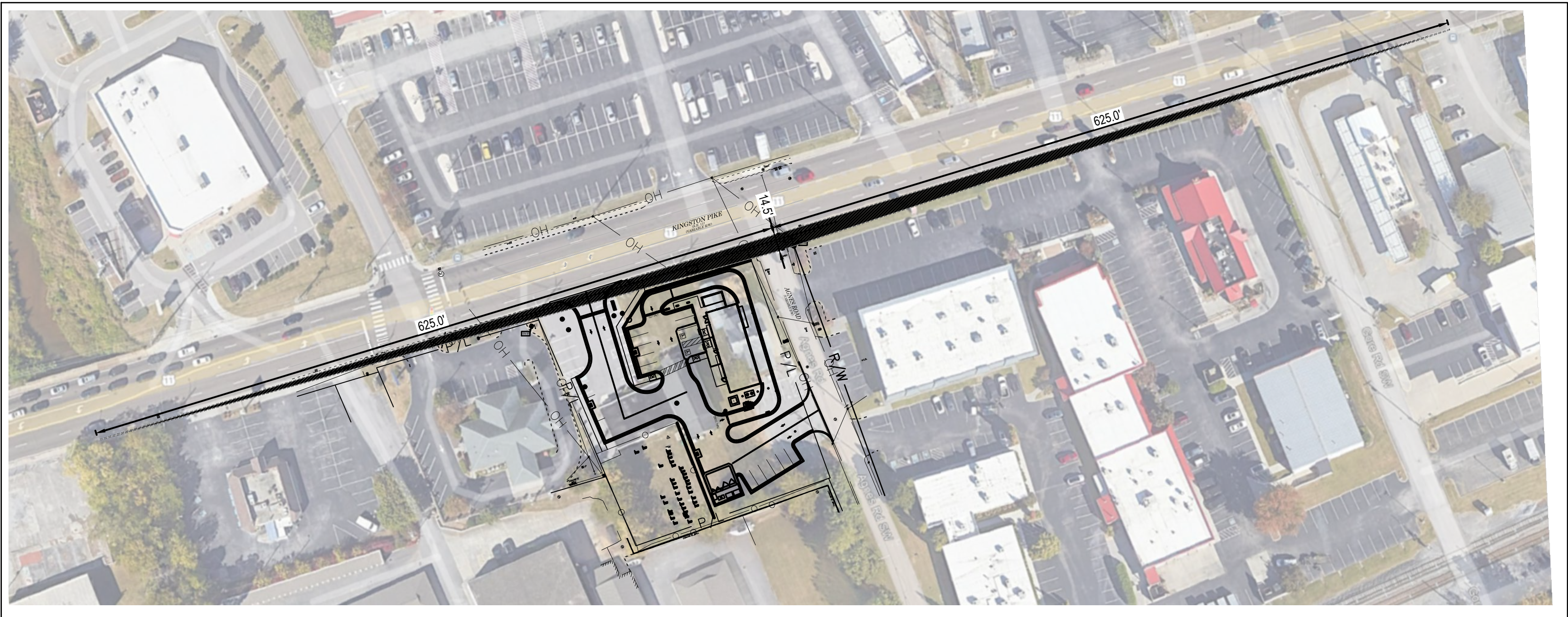
SIGHT
TRIANGLES
PLAN

C-111C

PLOT DATE:



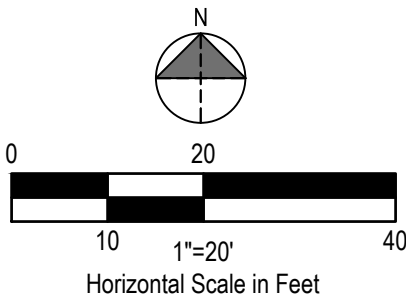
TACO BELL NEW DRIVEWAY
SIGHT TRIANGLE MAP



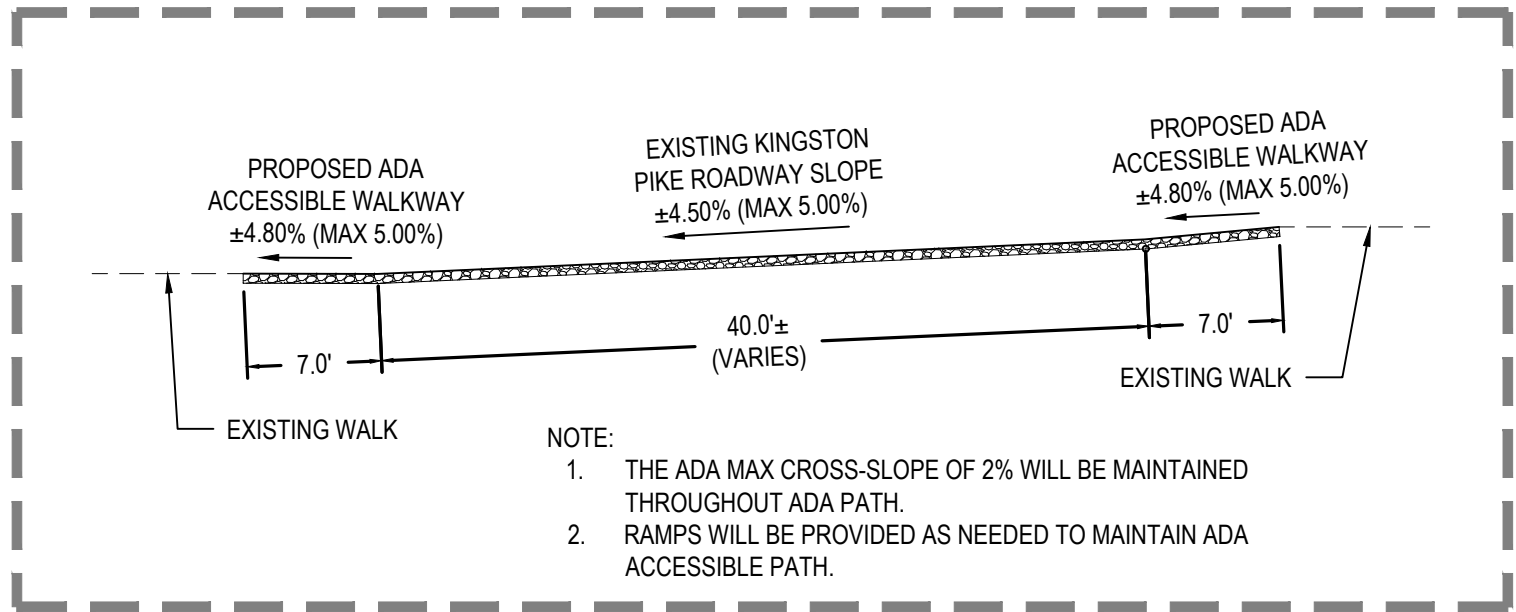
AGNES ROAD
SIGHT TRIANGLE MAP

6-E-25-SU
Revised: 5/27/2025

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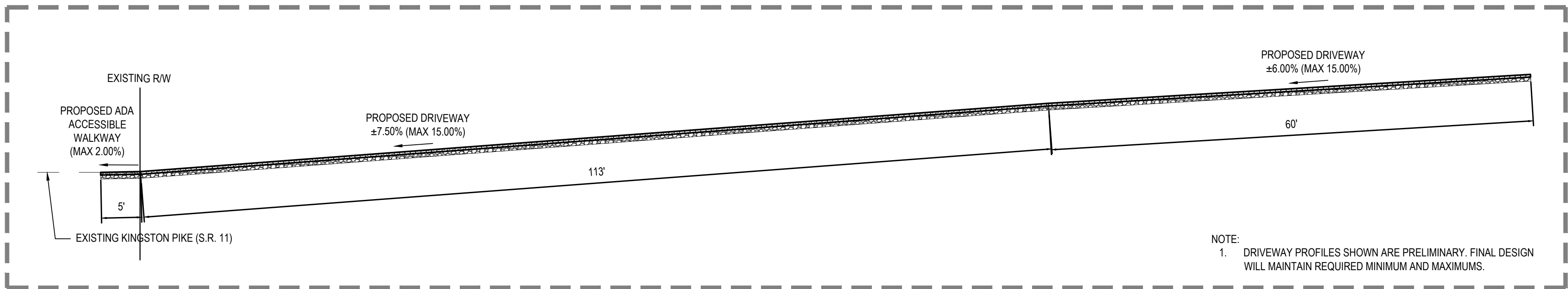


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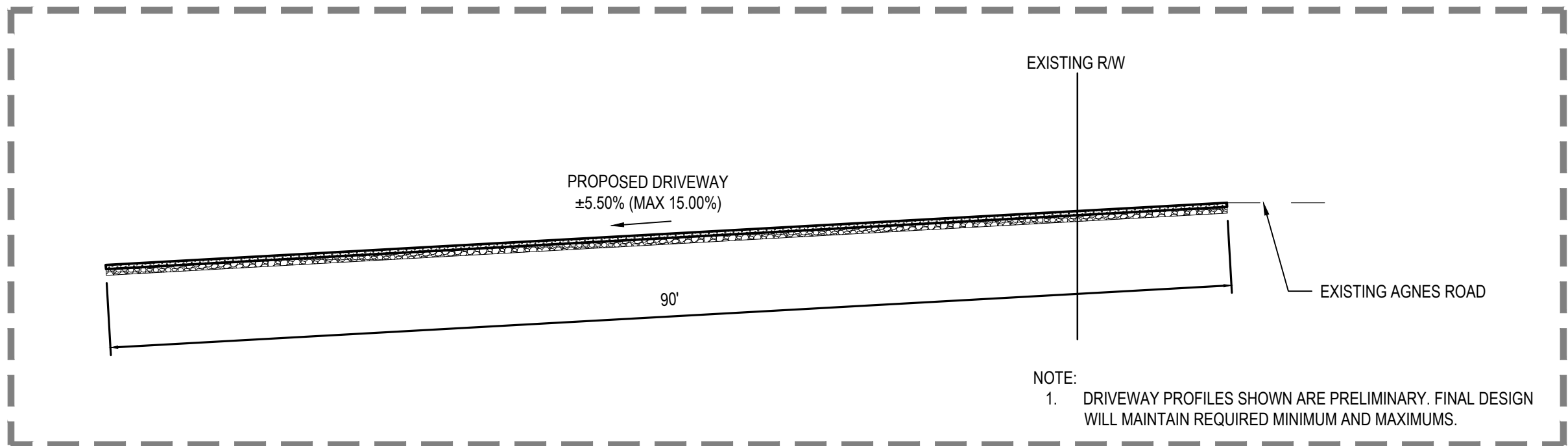
1 PRELIMINARY DRIVEWAY CROSS-SECTION (KINGSTON PIKE)

SCALE: 1" = 10'



2 PRELIMINARY DRIVEWAY PROFILE (KINGSTON PIKE)

SCALE: 1" = 10'

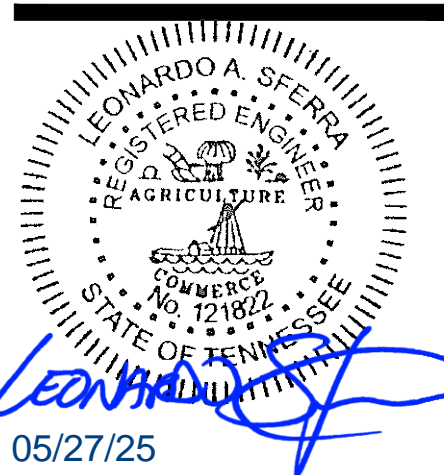
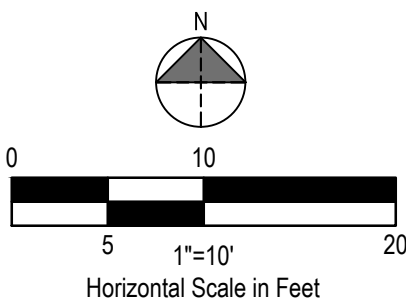


3 PRELIMINARY DRIVEWAY PROFILE (AGNES ROAD)

SCALE: 1" = 10'

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DRIVEWAY
PROFILES

C-111D

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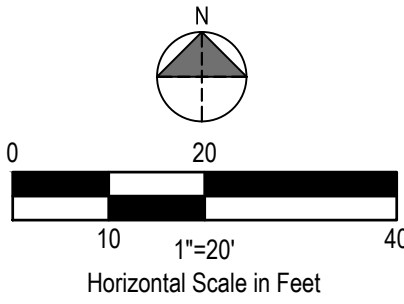


UTILITY
PLAN

C-131

PLOT DATE:

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PLAN KEYNOTES (#)

STORM

- PROPOSED 115L.F. OF 18" RCP STORM SEWER @ 1.00% TO BE BORED UNDER THE PAVEMENT. CONTRACTOR TO VERIFY ALL EXISTING UNDERGROUND UTILITIES, SIZE, DEPTH, LOCATION AND CONDITIONS PRIOR TO ANY BORING WORK TO ENSURE ANY CONFLICTS. ALL REPAIRS SHALL BE DONE BY CONTRACTOR DUE TO THE BORING WORK WITH NO EXTRA COST.
- PROPOSED 11L.F. OF 15" HDPE STORM SEWER @ 1.00%
- PROPOSED 17L.F. OF 15" HDPE STORM SEWER @ 1.00%
- PROPOSED 34L.F. OF 15" HDPE STORM SEWER @ 1.00%
- PROPOSED 60L.F. OF 15" HDPE STORM SEWER @ 1.00%
- PROPOSED 48L.F. OF 15" HDPE STORM SEWER @ 1.00%
- PROPOSED 81L.F. OF 15" HDPE STORM SEWER @ 1.00%
- PROPOSED 21L.F. OF 6" PVC SDR 35 STORM SEWER @ 1.00%
- PROPOSED 72L.F. OF 6" PVC SDR 35 STORM SEWER @ 1.00%
- PROPOSED 12L.F. OF 6" PVC SDR 35 STORM SEWER @ 1.00%
- PROPOSED 12L.F. OF 6" PVC SDR 35 STORM SEWER @ 1.00%
- PROPOSED 12L.F. OF 6" PVC SDR 35 STORM SEWER @ 1.00%
- PROPOSED CONNECTION TO EXISTING MANHOLE SHALL BE WATERTIGHT. CONTRACTOR SHALL CONFIRM EXISTING MANHOLE LOCATION, PIPES SIZES, MATERIAL AND INVERTS TO MAINTAIN POSITIVE DRAINAGE. EXISTING MANHOLE AND PIPES SHOWN ARE NOT FIELD LOCATED AND ARE SHOWN PER TDOT PLANS FOR STATE HIGHWAY PROJECT NO. 41-AB-(5) DATED 07-01-41.
- PROPOSED STORM WYE CONNECTION.
- PROPOSED STORM CLEANOUT AND WYE CONNECTION.
- PROPOSED UNDERGROUND DETENTION SYSTEM TO BE SIZED PER CITY OF KNOXVILLE STANDARDS.
- PROPOSED TRENCH DRAIN
- PROPOSED 8L.F. OF 15" HDPE STORM SEWER @ 1.00%
- PROPOSED 30'X10' BORING PIT. CONTRACTOR TO RESTORE EXISTING CONDITIONS TO PRE-CONSTRUCTION CONDITION AFTER BORING IS COMPLETE.
- PROPOSED 10'X10' RECEIVING PIT. CONTRACTOR TO RESTORE ALL EXISTING CONDITIONS TO PRE-CONSTRUCTION CONDITION AFTER BORING IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF TRAFFIC.

SANITARY

- PROPOSED SANITARY WASTE CONNECTION.
- PROPOSED SANITARY GREASE CONNECTION.
- PROPOSED 7 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 1.00%
- PROPOSED 7 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 1.00%
- PROPOSED 3 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 1.00%
- PROPOSED 3 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 1.00%
- PROPOSED 9 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 1.00%
- PROPOSED 48 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 1.00%
- PROPOSED 37 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 1.00%
- PROPOSED GREASE INTERCEPTOR.
- PROPOSED SANITARY CLEANOUT AND WYE CONNECTION.
- PROPOSED CONNECTION TO EXISTING SANITARY MANHOLE. CONTRACTOR SHALL CONFIRM CONNECTION IS WATERTIGHT.

WATER

- PROPOSED WATER CONNECTION. COORDINATE WITH PLUMBING PLANS.
- PROPOSED WATER METER AND BACKFLOW PREVENTER AT PROPERTY LINE PER KNOXVILLE UTILITY BOARD AND CITY OF KNOXVILLE STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTER SHALL BE LOCATED AFTER THE METER.
- PROPOSED 195 L.F. 1.5" COPPER TYPE K WATER SERVICE LINE.
- PROPOSED WATER SERVICE TAP PER KNOXVILLE UTILITY BOARD AND CITY OF KNOXVILLE STANDARDS AND SPECIFICATIONS.
- PROPOSED IRRIGATION STUB.

ELECTRIC AND COMMUNICATIONS

- PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. ELECTRIC SERVICE LINE TO BE COORDINATED WITH THE ELECTRIC COMPANY.
- PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION TO BE COORDINATED WITH THE UTILITY COMPANIES.
- PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. G.C. TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.
- PROPOSED ELECTRICAL CONNECTION TO EXISTING UTILITY POLE PER ELECTRICAL COMPANY SPECIFICATIONS.

GAS

- PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. GAS SERVICE LINE TO BE COORDINATED WITH THE GAS COMPANY.
- PROPOSED 50 L.F. GAS SERVICE CONNECTION TO BE COORDINATED WITH THE GAS COMPANY.
- PROPOSED CONNECTION TO EXISTING GAS LINE PER GAS COMPANY STANDARDS.

UTILITY CROSSINGS

GENERAL UTILITY CROSSING NOTES:

- CONTRACTOR SHALL COORDINATE ALL CROSSINGS/RELOCATIONS WITH THE RESPECTIVE UTILITY COMPANIES.
- EXISTING AND PROPOSED PRESSURIZED (WATER & GAS) AND SECONDARY (ELECTRIC & COMMUNICATIONS) UTILITIES SHALL DEFLECT TO MAINTAIN 18" CLEAR AT SANITARY OR STORM SEWER CROSSINGS WHEN CONFLICTS OCCUR.
- WHEN A PROPOSED PRESSURIZED/SECONDARY UTILITY IS IN CROSSING CONFLICT WITH AN EXISTING PRESSURIZED/SECONDARY UTILITY, THE PROPOSED UTILITY SHALL DEFLECT TO OBTAIN MINIMUM CLEARANCE.
- CONTRACTOR SHALL FIELD LOCATE EXISTING PRESSURIZED/SECONDARY UTILITIES AT PROPOSED CROSSINGS.
- FOR CLEARANCE BETWEEN PIPES OF LESS THAN 18", THE CONTRACTOR SHALL PROVIDE CONCRETE ENCASEMENT.

LEGEND

- | | |
|--------|--|
| —ST— | PROPOSED STORM SEWER (12" AND SMALLER) |
| —SAN— | PROPOSED SANITARY SEWER |
| —W— | PROPOSED WATER SERVICE |
| —GAS— | PROPOSED GAS SERVICE |
| —E— | PROPOSED UNDERGROUND ELECTRIC SERVICE |
| D.S. ■ | PROPOSED DOWNSPOUT |
| Ⓐ | APPURTENANCES |
| # | UTILITY CONSTRUCTION KEYNOTE |
| ▨ | PROPOSED UNDERGROUND DETENTION |

BENCHMARKS:

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LANDSCAPE NOTES & PLANTING SPECIFICATIONS

SCOPE OF WORK

- THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTOR'S ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT OR RIGHT-OF-WAY LIMITS.

PRESERVATION/PROTECTION (IF APPLICABLE)

- CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 50 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION.
- FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE TREE CIRCUMFERENCE (MEASURED 6" ABOVE THE GROUND LINE IN INCHES) EXPRESSED IN FEET. (EXAMPLE: A CIRCUMFERENCE OF 10" WOULD HAVE A NO CUT ZONE OF 20 FEET IN ALL DIRECTIONS FROM THE TREE). THIS SHOULD APPLY TO UTILITY SERVICES, IF FEASIBLE. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THE LANDSCAPE ARCHITECT, SPECIFICATIONS OR AS INDICATION ON THE PLANS.
- TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH THE ARBORCULTURAL STANDARDS OF THE CITY.

PLANT MATERIALS

- GENERAL - ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
- PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
- VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
- PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
- BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANT'S SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM.
- PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPULINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY. IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
- DO NOT HANDLE, MOVE, BIND, TIE OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

TOPSOIL

- TOPSOIL HAS BEEN (OR WILL BE) STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRIABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.

SOIL CONDITIONING

- OBTAIN LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL COMPLETE WITH RECOMMENDATIONS FOR SOIL AMENDMENT.
- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
- MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING. MIX LIME WITH DRY SOIL PRIOR TO MIXING OF FERTILIZER.
- PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
- APPLY PHOSPHORIC ACID FERTILIZER (OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS) DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.

PLANTING SOIL

- PLANTING SOIL MIX SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.

OTHER MATERIALS

- BED EDGING - EDGING SHALL BE 4" STEEL EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION. ALL MASS PLANTING BEDS SHALL HAVE EDGING PLACED BETWEEN MULCH AREA AND ANY ADJACENT TURF AREA.
- MULCH: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND CONSISTING OF THE FOLLOWING:
 - RIVER ROCK MULCH AREA: AGGREGATE MULCH, 3/4"-2" IN SIZE, WASHED AND ROUNDED, SHALL BE INSTALLED WITHIN THE RIVER ROCK MULCH AREA PER THE PLAN. RIVER ROCK MULCH SHALL BE INSTALLED AT 3" INCHES DEPTH.
 - NON-DYED, DOUBLE SHREDDED HARDWOOD SHALL BE INSTALLED IN ALL OTHER LANDSCAPE BEDS OUTSIDE OF THE RIVER ROCK MULCH AREA AT A DEPTH OF 3 INCHES.

GENERAL WORK PROCEDURES

- LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE TENNESSEE STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCES.
- CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
- ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
- ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL, IN WRITING, PRIOR TO INSTALLATION.

WEEDING

- BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

PLANTING

- POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- PLANTING PITS SHALL BE AS PER DETAILS.
- PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL WITH PLANTING SOIL AROUND BALL OF PLANT. COMPLETE BACKFILLING AND WATER THOROUGHLY.
- EACH TREE AND SHRUB SHALL RECEIVE THE LANDSCAPER'S BIONUTRITION (3-0-3) GRANULAR WITH MYCORRHIZAL TECHNOLOGY FERTILIZER OR APPROVED OTHER. APPLY FERTILIZER PER MANUFACTURER'S SPECIFICATIONS.
- WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- INSTALL BED EDGING AND MULCH PER MATERIALS SPECIFICATION AND DETAILS.
- REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
- REMOVE ANY BROKEN, SUCKERING, DISEASED, CRISSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.

FINISH GRADING

- ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.

GROUND COVER

- SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
- MULCH GROUND COVER WITH 2" THICKNESS OF SPHAGNUM PEAT.
- IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

GUARANTEE

- CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

CLEANUP

- UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN "ACCEPTABLE CONDITION" SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

GENERAL NOTE

- ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO MAINTAIN POSITIVE DRAINAGE, HAVE A 6" LAYER OF TOPSOIL APPLIED AND BE SEEDED ACCORDING TO SPECIFICATIONS ON THIS SHEET.

IRRIGATION

- CONTRACTOR SHALL PROVIDE & INSTALL AN IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF THE SITE.
- IRRIGATED AREAS WITHIN 5 FEET OF BUILDING WALLS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR. CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES.
- SYSTEM SHALL INCLUDE ALL SPRINKLER FIXTURES, DRIP TUBING, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE.
- IRRIGATION CONTRACTOR SHALL PROVIDE A METHOD FOR WINTERIZATION. WINTERIZATION SHALL BE PERFORMED BY CONTRACTOR UPON COMPLETION IF SYSTEM IS INSTALLED BETWEEN NOVEMBER 1 AND MARCH 31.
- PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.
- UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

MAINTENANCE

(MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
- MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
- REPLACE ANY REQUIRED PLANTING(S), WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

SODDING

- SOD SHALL BE FIRST GRADE CERTIFIED TIFWAY (419) BERMUDA SOD CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.
- SOD SHALL BE RECENTLY MOWED TO A HEIGHT OF NOT LESS THAN 1.5 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES.
- SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS THAN 1 INCH.
- SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED WITHIN 48 HOURS AFTER BEING CUT.
- BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS IN PLACE THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE.
- NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL. WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15TH, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT).
- LAY SOD WITH STAGGERED JOINTS AND WITH SEAMS TIGHTLY FITTED TOGETHER. DO NOT COVER ANY UTILITIES.
- STAKE SOD ON GRADES EXCEEDING 4:1 AND IN DRAINAGE CHANNELS. STAKE EACH ROLL AT 2 FOOT INTERVALS OR AS REQUIRED TO PREVENT MOVEMENT DURING RAIN EVENTS.
- AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOD INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS.
- THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING.
- THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

SEEDING

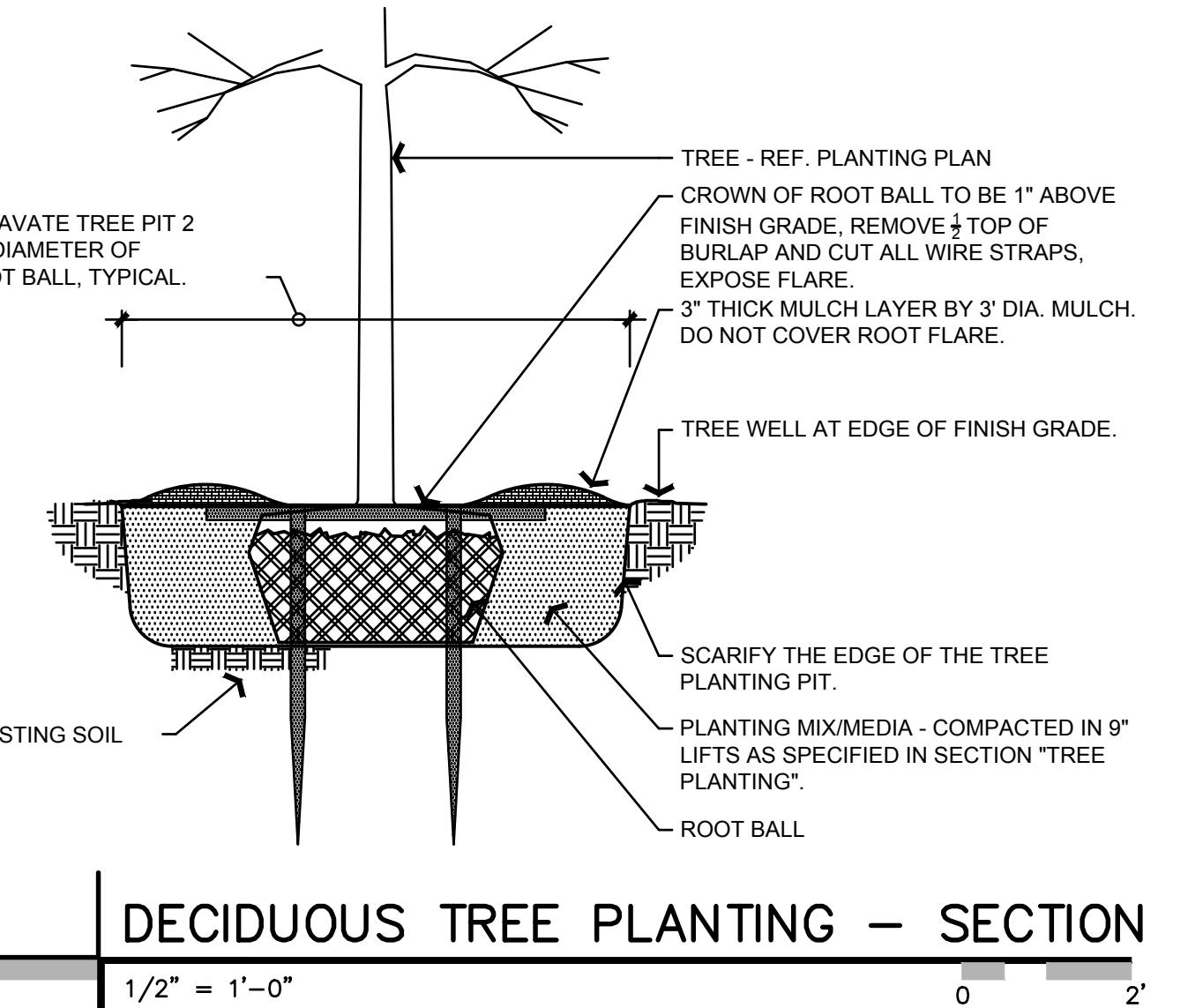
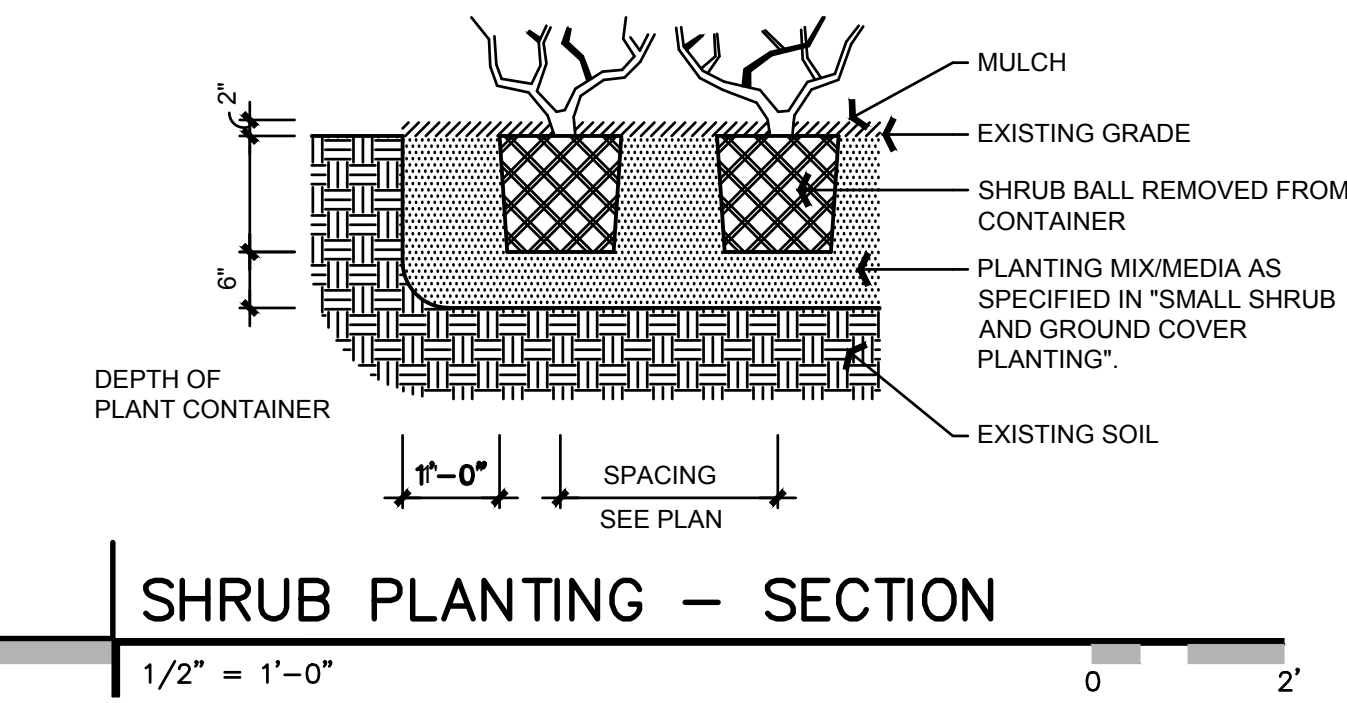
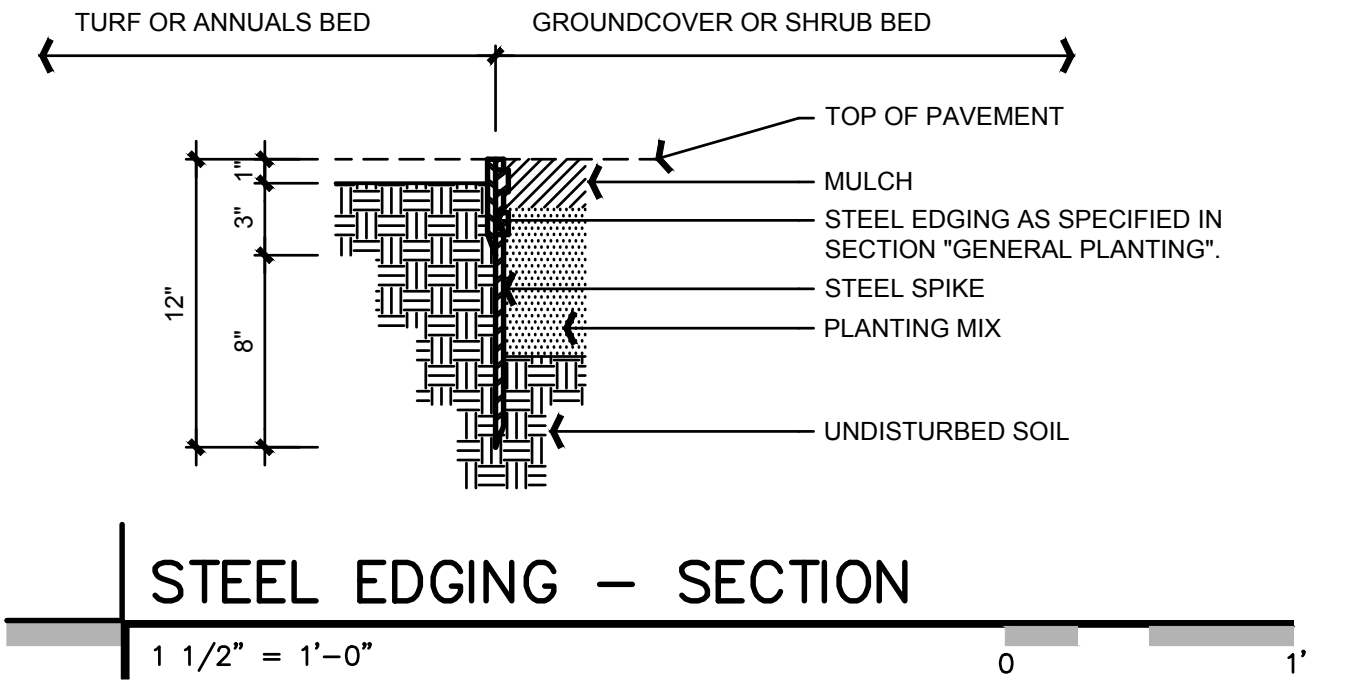
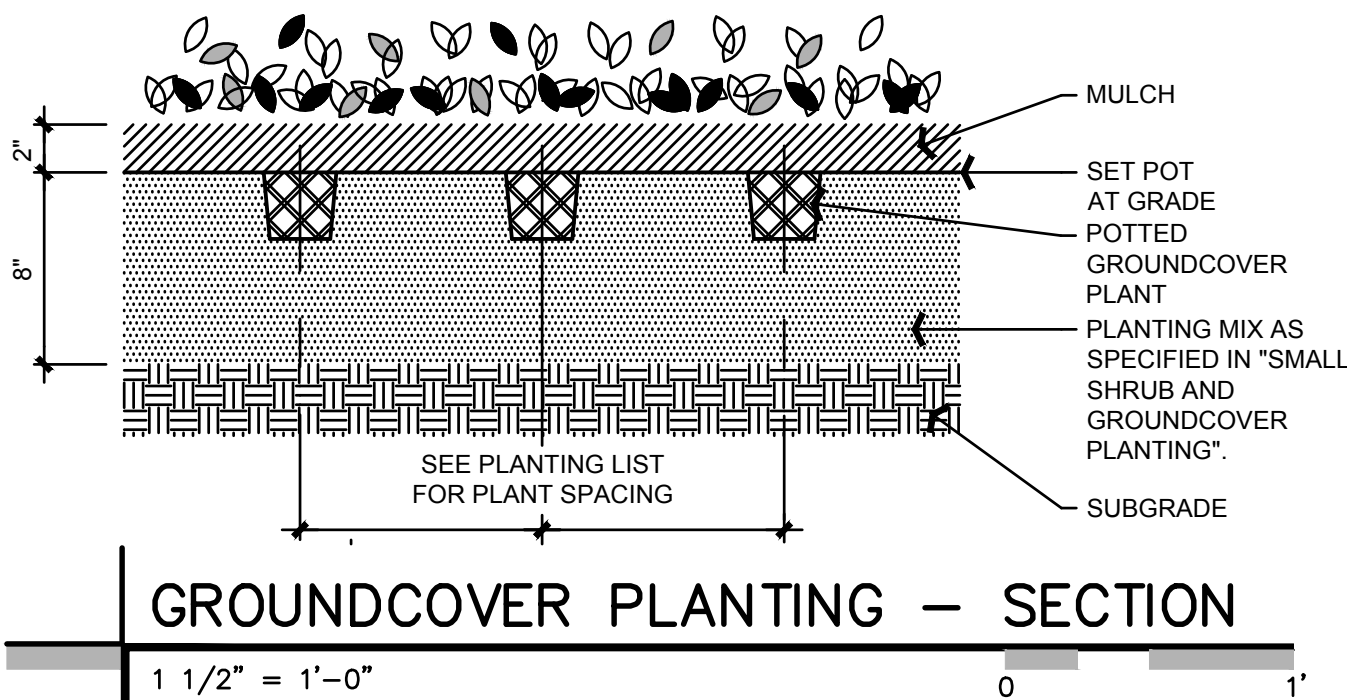
- GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH THE ASSOCIATION OF OFFICIAL SEED ANALYSTS' "RULES FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES.
- ALL AREAS TO BE SEEDED SHALL RECEIVE NO LESS THAN 0.23 POUNDS OF SEED PER ONE THOUSAND SQUARE FEET. APPLY SEED AND PROTECT WITH STRAW MULCH AS REQUIRED FOR NEW LAWNS.
- GRASS SEED MIX SHALL CONSIST OF AT LEAST 3 BERMUDA (CYNODON DACTYLON) VARIETIES, OR MATCH EXISTING SPECIES ON SITE.

PLANTING SCHEDULE

- ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES. WHEN PLANTING OUTSIDE THESE DATES, WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED. NO PLANTING SHALL BE DONE IN FROZEN SOIL.

NORMAL PLANTING SEASONS

ALL TREES AND SHRUBS	OCT. 15 - MARCH 15
EVERGREENS	OCT. 15 - MARCH 15
GROUNDCOVERS	OCT. 15 - MARCH 15
SEED AND MULCH	WARM SEASON SPP. MARCH 31 - AUGUST 31



05/27/25

PLAN SET ISSUE / REVISION HISTORY

CONTRACT DATE: 03.11.25
BLDG TYPE: KITCHEN-X V3.0
WM UPLOAD DATE:
BRAND DESIGNER: TS
SITE NUMBER: 317176
STORE NUMBER: 463675
PA/PM: Dowling
DRAWN BY.: JRS
JOB NO.: 2024088.07

KITCHEN-X V3.0

5900-5902 Kingston Pike
Knoxville, TN 37919



LANDSCAPE
NOTES & DETAILS

L-001

PLOT DATE:

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6-E-25-SU
Revised: 5/27/2025



05/27/25
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KITCHEN-X V3.0

5900-5902 Kingston Pike
Knoxville, TN 37919



LANDSCAPE
PLAN

L-101

PLOT DATE:

PLAN KEYNOTES (#)

- ALL LANDSCAPE BEDS NOT TO CONTAIN RIVER ROCK MULCH SHALL RECEIVE SHREDDED HARDWOOD MULCH PER LANDSCAPE SPECIFICATIONS.
- ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE SODDED PER SPECIFICATIONS.
- ALL DISTURBED AREAS ON ADJACENT PROPERTY OR WITHIN THE R.O.W. NOT TO BE PAVED, SHALL BE SEEDED PER THE SPECIFICATIONS.

LEGEND

- PROPOSED LANDSCAPE BED EDGE
- PROPOSED TREE
- PROPOSED SHRUB / PERENNIAL
- PROPOSED PLANT QUANTITY AND SYMBOL
- PROPOSED SODDED LAWN AREA
- PROPOSED RIVER ROCK MULCH AREA, SEE MULCH NOTES ON SHEET L-001
- PROPOSED LIMESTONE BOULDER, DESERT SAND, 18" - 36"
- PROPOSED CONCRETE, REFER TO CIVIL SHEETS

LANDSCAPE CALCULATIONS

SEC. 12.5 - PARKING LOT PERIMETER LANDSCAPE YARD
B. PERIMETER YARD

CODE REQUIREMENT:
THE PERIMETER YARD MUST BE PLANTED WITH A MINIMUM OF 3 SHADE AND/OR EVERGREEN TREES AND 10 SHRUBS FOR EVERY 100 FT. A MINIMUM OF 50% OF THE SHRUBS MUST BE EVERGREEN.

PROJECT REQUIREMENT:
KINGSTON PIKE: 195 LF FT / 100 = 1.95
1.95 X 3 = 5.85 REQUIRED TREES
1.95 X 10 = 19.5 REQUIRED SHRUBS
AGNES ROAD: 215 LF FT / 100 = 2.15
2.15 X 3 = 6.45 REQUIRED TREES
2.15 X 10 = 21.5 REQUIRED SHRUBS

PROVIDED:
KINGSTON PIKE:
6 PROVIDED TREES
20 PROVIDED SHRUBS
AGNES ROAD:
7 PROVIDED TREES
27 PROVIDED SHRUBS

SEC. 12.6 - INTERIOR PARKING LOT LANDSCAPE
C. TREE ISLAND

CODE REQUIREMENT:
A MINIMUM OF ONE SHADE TREE MUST BE PROVIDED IN EVERY PARKING LOT ISLAND.

PROJECT REQUIREMENT:
4 PARKING LOT ISLAND TREES

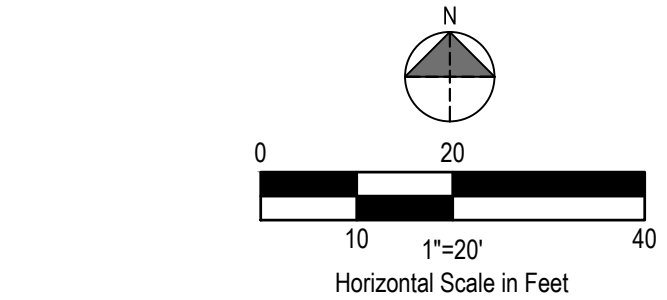
PROVIDED:
4 PARKING LOT ISLAND TREES

SEC. 12.7 - SITE LANDSCAPE
B. BUILDING FACADE LANDSCAPE

CODE REQUIREMENT:
WHERE NO PARKING IS LOCATED IN FRONT OF STRUCTURE AND FACADE ABUTS ANY PARKING AREA, PLANTING AREA IS REQUIRED ALONG 60% OF THE LINEAR FACADE AREA. ONE SHRUB IS REQUIRED FOR EVERY 3 FT.
ONE SHADE TREE IS REQUIRED FOR EVERY 50 FT., OR 2 ORNAMENTAL TREES SPACED EVERY 25 FT.

PROJECT REQUIREMENT:
74.1 LN. FT. OF FACADE X 60% = 44.46 LN. FT.
44.46 LN. FT. / 3 = 14.82 REQUIRED SHRUBS
44.46 LN FT. / 50 = 1 REQUIRED SHADE TREE OR 2 ORNAMENTAL TREES

PROVIDED:
PLANTING AREA - 51 LF. (68.82%)
17 SHRUBS
2 ORNAMENTAL TREES



"DUE TO PHYSICAL CONSTRAINTS OF THE SITE , ARCHITECT IS PROPOSING ALTERNATIVE LANDSCAPE DESIGN REQUIREMENTS. THESE LANDSCAPE REQUIREMENTS ARE INTENDED TO SET MINIMUM STANDARDS FOR QUALITY DEVELOPMENT AND ENVIRONMENTAL PROTECTION.

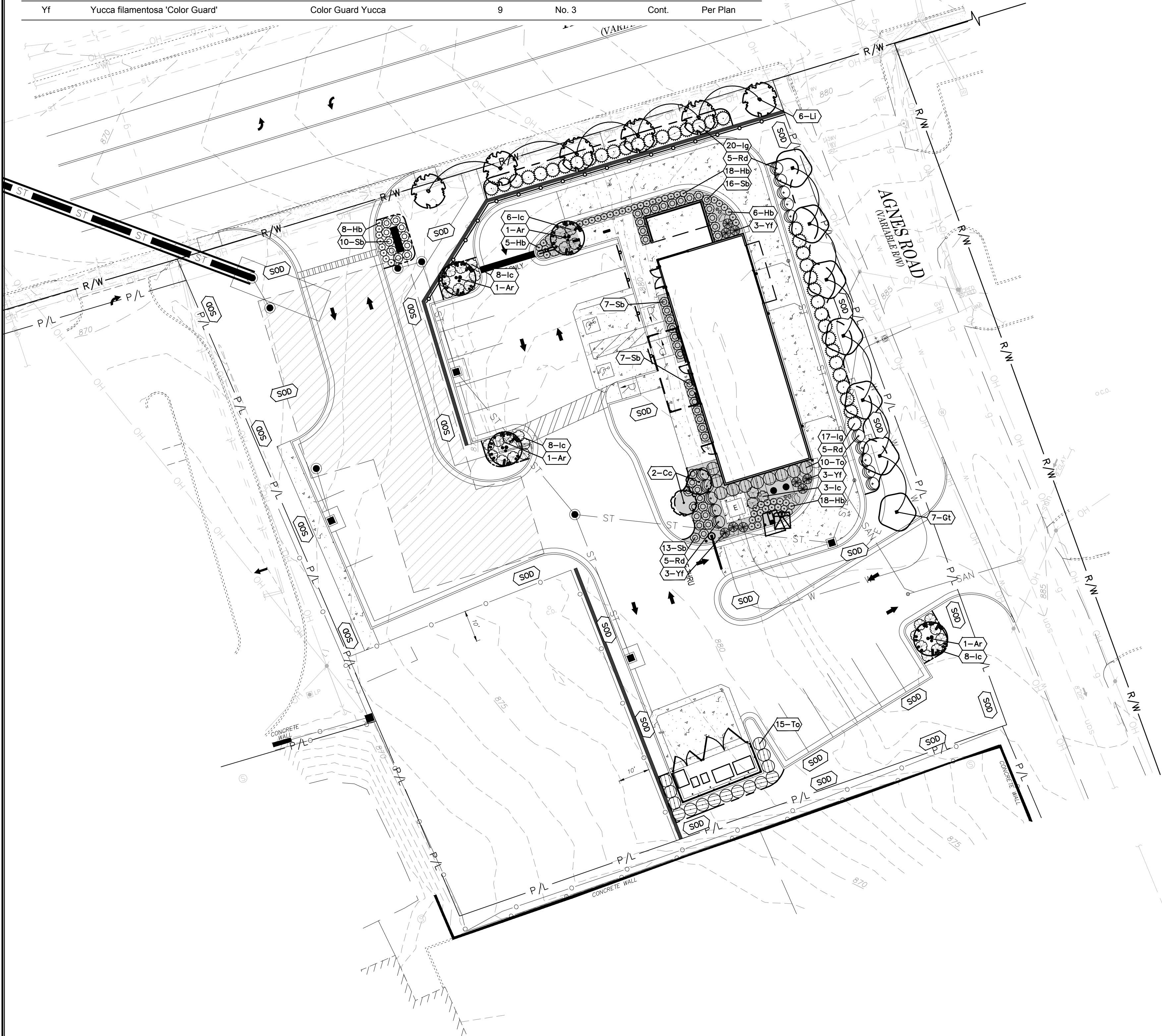
- THE PROPOSED ALTERNATIVE WILL NOT PRESENT A SAFETY HAZARD.
- THE PROPOSED ALTERNATIVE WILL, UPON MATURITY, PROVIDE LANDSCAPING THAT IS EQUAL TO OR BETTER THAN THE STANDARD REQUIREMENTS.
- THE PROPOSED ALTERNATIVE IS DESIGNED TO ADDRESS PLANT HEALTH AND VIGOR.
- THE PROPOSED ALTERNATIVE IS REASONABLY COMPATIBLE WITH THE NATURAL AND TOPOGRAPHIC FEATURES OF THE SITE.

ALTERNATE LANDSCAPE DESIGN: DUE TO OVERHEAD UTILITY CONSTRAINTS, SHADE TREES REQUIRED PER SEC. 12-5 PARKING LOT PERIMETER LANDSCAPE YARD, SHALL BE REPLACED WITH OVERHEAD UTILITY COMPATIBLE TREES.

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PLANT LIST

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
Ar	Acer rubrum 'Armstrong'	'Armstrong' Red Maple	4	2" Cal	B&B	Specimen
Cc	Cercis canadensis	Eastern Redbud	2	2.5" Cal.	B&B	Single-Stem
Gt	Gleditsia triacanthos f. inermis 'Skyline'	'Skyline' Thornless Honeylocust	7	2" Cal	B&B	Specimen
Hb	Hemerocallis 'Going Bananas'	'Going Bananas' Daylily	55	No. 2	Cont.	2' o/c
Ic	Ilex crenata 'Helleri'	'Helleri' Japanese Holly	34	No. 3, 18" Ht Min.	Cont.	3.5' o/c
Ig	Ilex glabra 'Chamzin'	'Nordic' Inkberry Holly	37	No. 5, 24" Ht Min.	Cont.	4' o/c
Li	Lagerstroemia indica 'White III'	Pink Velour Crape Myrtle	6	2.5" Cal.	B&B	Single-Stem
Rd	Rhaphiolepis x delacourii 'Georgia Petite'	'Georgia Petite' Indian Hawthorn	15	No. 5, 24" Ht. Min.	Cont.	4' o/c
Sb	Spiraea x bumalda 'Goldflame'	'Goldflame' Spirea	53	No. 3, 18" Ht Min.	Cont.	3' o/c
To	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	25	6" H	B&B	4' o/c
Yf	Yucca filamentosa 'Color Guard'	Color Guard Yucca	9	No. 3	Cont.	Per Plan



6-E-25-SU
Revised: 5/27/2025

6-E-25-SU submitted 4/28/2025



TACO BELL 5900-5902 KINGSTON PIKE

KNOXVILLE, TN

FOR VISUALIZATION PURPOSES ONLY. SEE THE PLAN SHEETS FOR THE MOST CURRENT DESIGN.

ALL COLORS AND MATERIALS REPRESENTED ARE A CLOSE APPROXIMATION AND SHOULD BE CONSIDERED VISUAL DESIGN INTENT ONLY. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BID, RELIANCE OR IMPLEMENTATION.



TACO BELL 5900-5902 KINGSTON PIKE
KNOXVILLE, TN

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KNOXVILLE, TN

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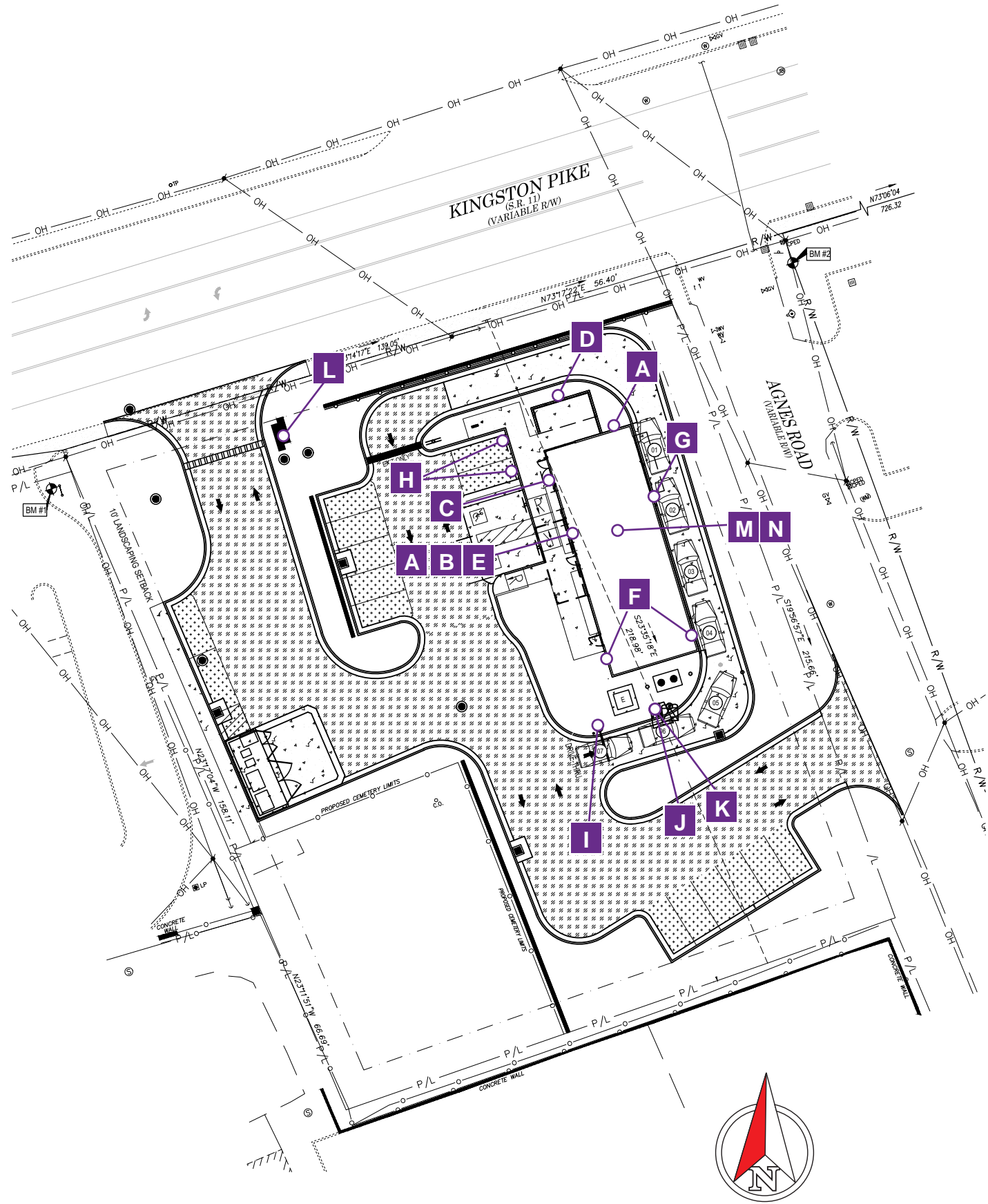
Site ID: 46375

**5900 Kingston Pike # 5902
Knoxville, TN**

04/16/2025

2655 International Parkway
Virginia Beach, VA 23452
757.427.1900
Toll Free: 800.877.7868
www.AGI.net

SITE MAP



EXTERIOR SIGN LIST

SIGN	Qty	SIGN CODE	DESCRIPTION
A	2	TAC-KX-BELL-52P-FL-SO	Kitchen X 52" Face Lit Swinging Purple Bell, On Standoffs
B	1	TAC-CL-24W-L-SO	Extra Large TB 24" White Stand Off Channel Letters, LINEAR
C	1	TAC-KX-ARCH-ENTRY-2	Kitchen X Entry Arch, 23'-6" x 6'-10", 23'-6 1/2" OAH
D	1	TAC-KX-CAN-1-PATIO-HSS4	Kitchen X Patio Cover, Black, 19'-1" Front Width & 14'-0" Depth x 10'-3" OAH
E	1	TAC-KX-CAN-ENTRY	Entrance Canopy on the right elevation w/ LED perimeter lighting
F	1	TAC-KX-FRGENC	Kitchen X Fridge Enclosure Tube Frame System, 6'-2" x 28'-2"
G	1	TAC-C48-KX-228-DL-TBK	Kitchen X Canopy, 19'-0" x 4'-0" x 0'-10", With Downlights And Turnbuckles
H	2	TAC-KX-DIR-PU	Kitchen X Directional, "Pick-Up" Copy, 5'-0" OAH x 1'-6"
I	1	TAC-CLB1	Kitchen X Non-Illuminated Clearance Bar, Black With White And Purple Accents, 10'-4" OAH, 10'-0 1/2" x 10'-0"
J	1	TAC-OPC-EN-IT	Endeavor Order Point Canopy, Anchor Bolts & Foundation Not Included, V-1070, IT
K	1	TAC-DMB-EXT-INST	DMB- New Foundation provided by GC.
L	1	TAC-P75-MU	75 SF Pylon with 20'-0" OAH Pole
M	1	TAC-KX-BELL-33P-HL-SO	Kitchen X Halo Lit Bell, 2'-8 7/8" x 3'-0", On Standoffs, Purple LEDs
N	1	TAC-KX-FCO-ISOPU-INT	Kitchen X Interior Flat Cut Out "In-Store Order Pick Up" Black Letterset With Purple Arrow, Wall Mounted, 1'-10 3/4" OAH x 1'-7 1/8"

6-E-25-SU
Revised: 5/21/2025



LOCATION
5900 Kingston Pike # 5902
Knoxville, TN

DESIGNER CM DATE: 03/27/2025

PROJECT MANAGER
Kayla Romanoff

CUSTOMER APPROVAL

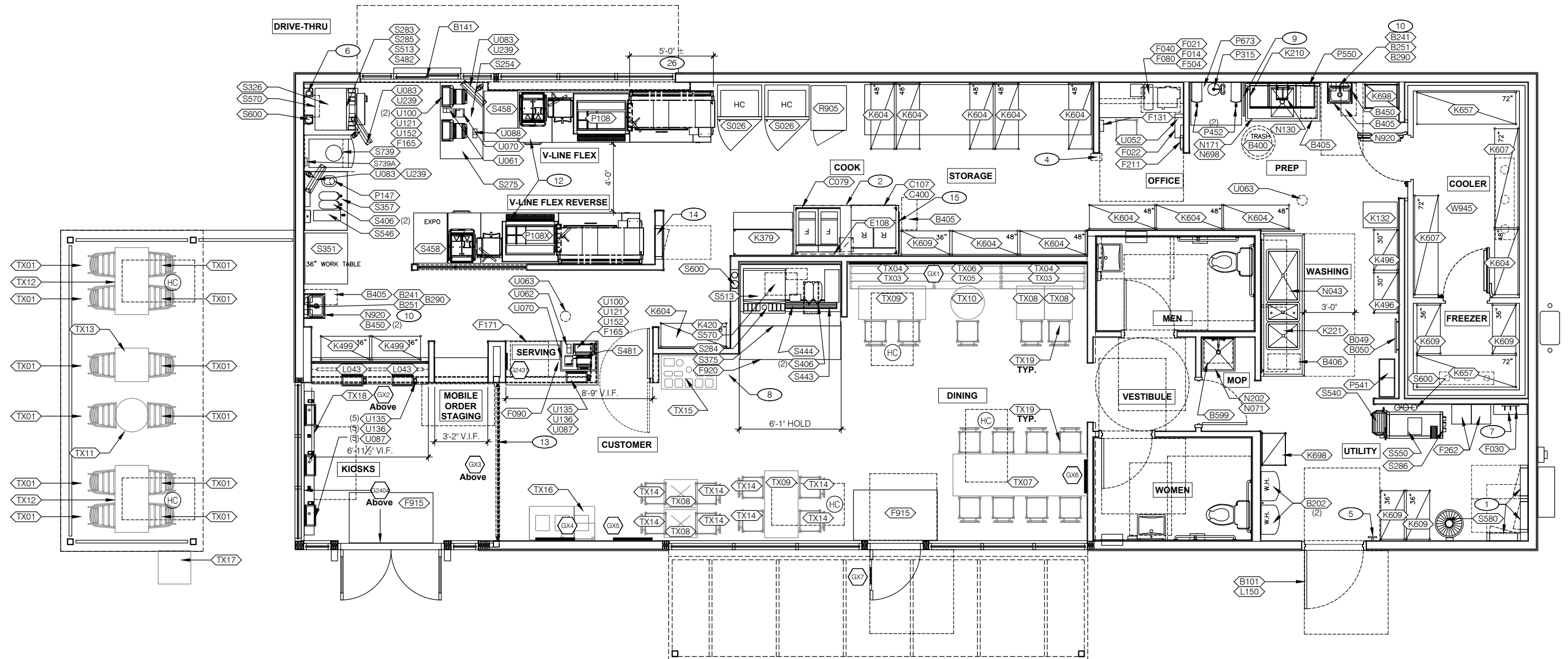
Print Name _____	Title _____
Signature _____	Date _____

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FLOOR PLAN



6-E-25-SU
Revised: 5/21/2025



LOCATION
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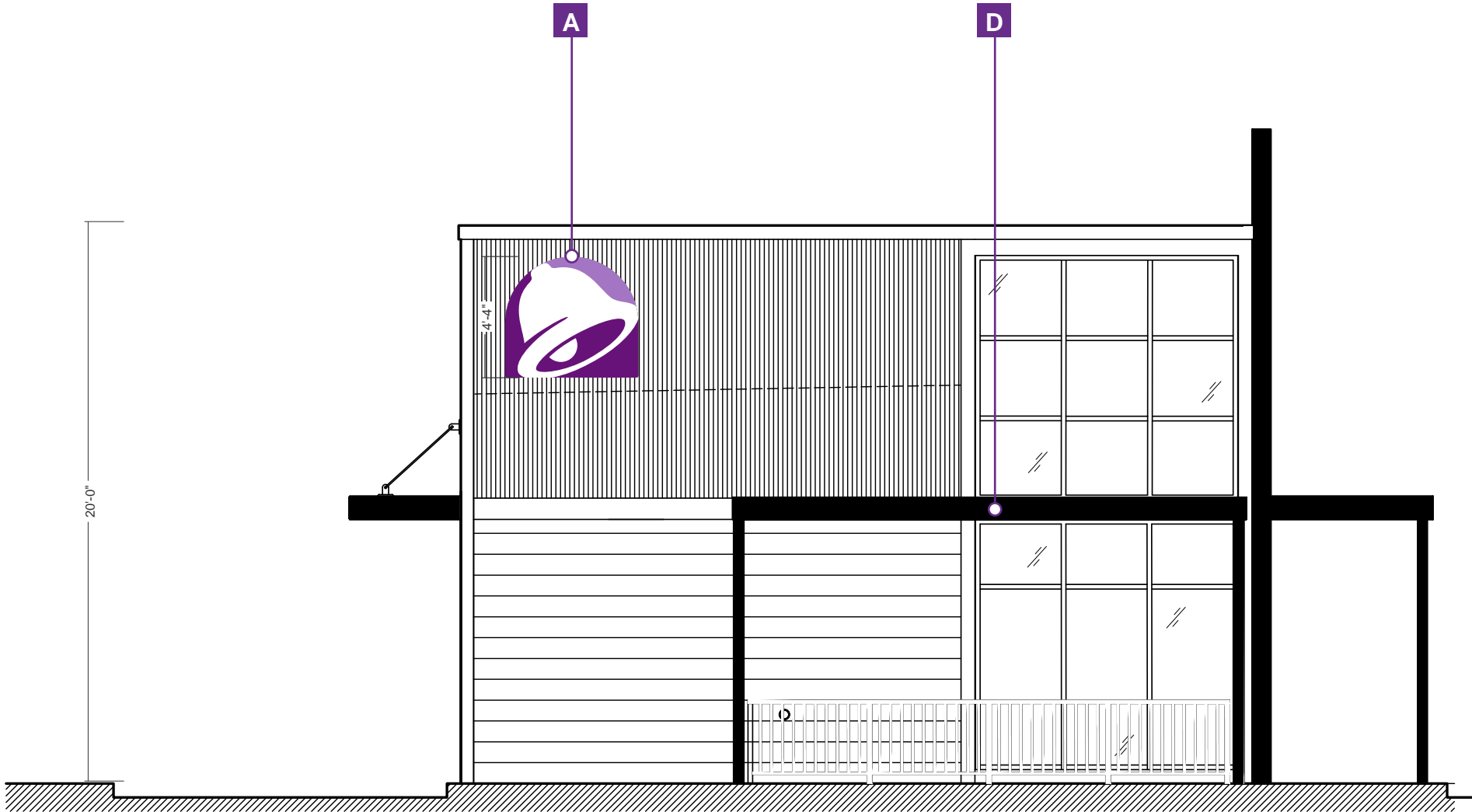
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ELEVATIONS

EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
A	1	TAC-KX-BELL-52P-FL-SO	Kitchen X 52" Face Lit Swinging Purple Bell, On Standoffs
D	1	TAC-KX-CAN-1-PATIO-HSS4	Kitchen X Patio Cover, Black, 19'-1" Front Width & 14'-0" Depth x 10'-3" OAH



FRONT ELEVATION

6-E-25-SU
Revised: 5/21/2025

Scale: 3/16" = 1'



LOCATION
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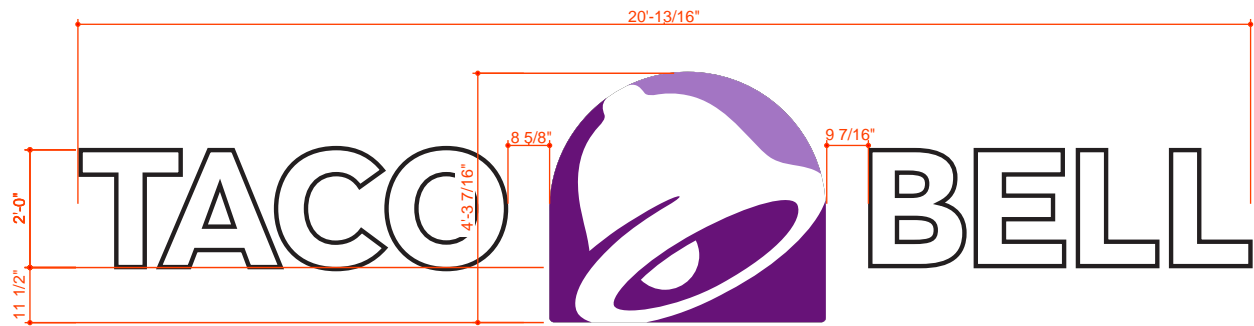
Print Name _____	Title _____
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ELEVATIONS



EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
A	1	TAC-KX-BELL-52P-FL-SO	Kitchen X 52" Face Lit Swinging Purple Bell, On Standoffs
B	1	TAC-CL-24W-L-SO	Extra Large TB 24" White Stand Off Channel Letters, LINEAR
C	1	TAC-KX-ARCH-ENTRY-2	Kitchen X Entry Arch, 23'-6" x 6'-10", 23'-6 1/2" OAH
D	1	TAC-KX-CAN-1-PATIO-HSS4	Kitchen X Patio Cover, Black, 19'-1" Front Width & 14'-0" Depth x 10'-3" OAH
E	1	TAC-KX-CAN-ENTRY	Entrance Canopy on the right elevation w/ LED perimeter lighting
F	1	TAC-KX-FRGENC	Kitchen X Fridge Enclosure Tube Frame System, 6'-2" x 28'-2"



PORTAL ELEVATION

6-E-25-SU
Revised: 5/21/2025

Scale: 1/8" = 1'



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Title

Signature

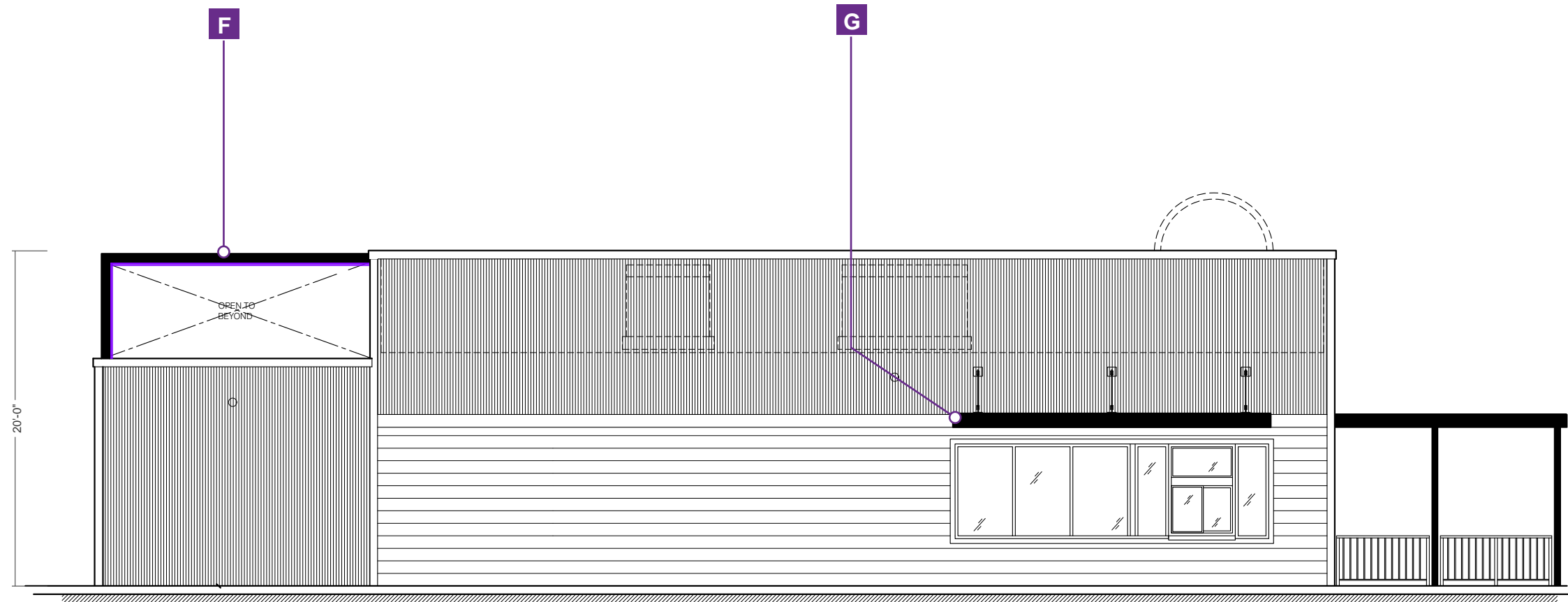
Date

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ELEVATIONS

EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
F	1	TAC-KX-FRGENC	Kitchen X Fridge Enclosure Tube Frame System, 6'-2" x 28'-2"
G	1	TAC-C48-KX-228-DL-TBK	Kitchen X Canopy, 19'-0" x 4'-0" x 0'-10", With Downlights And Turnbuckles



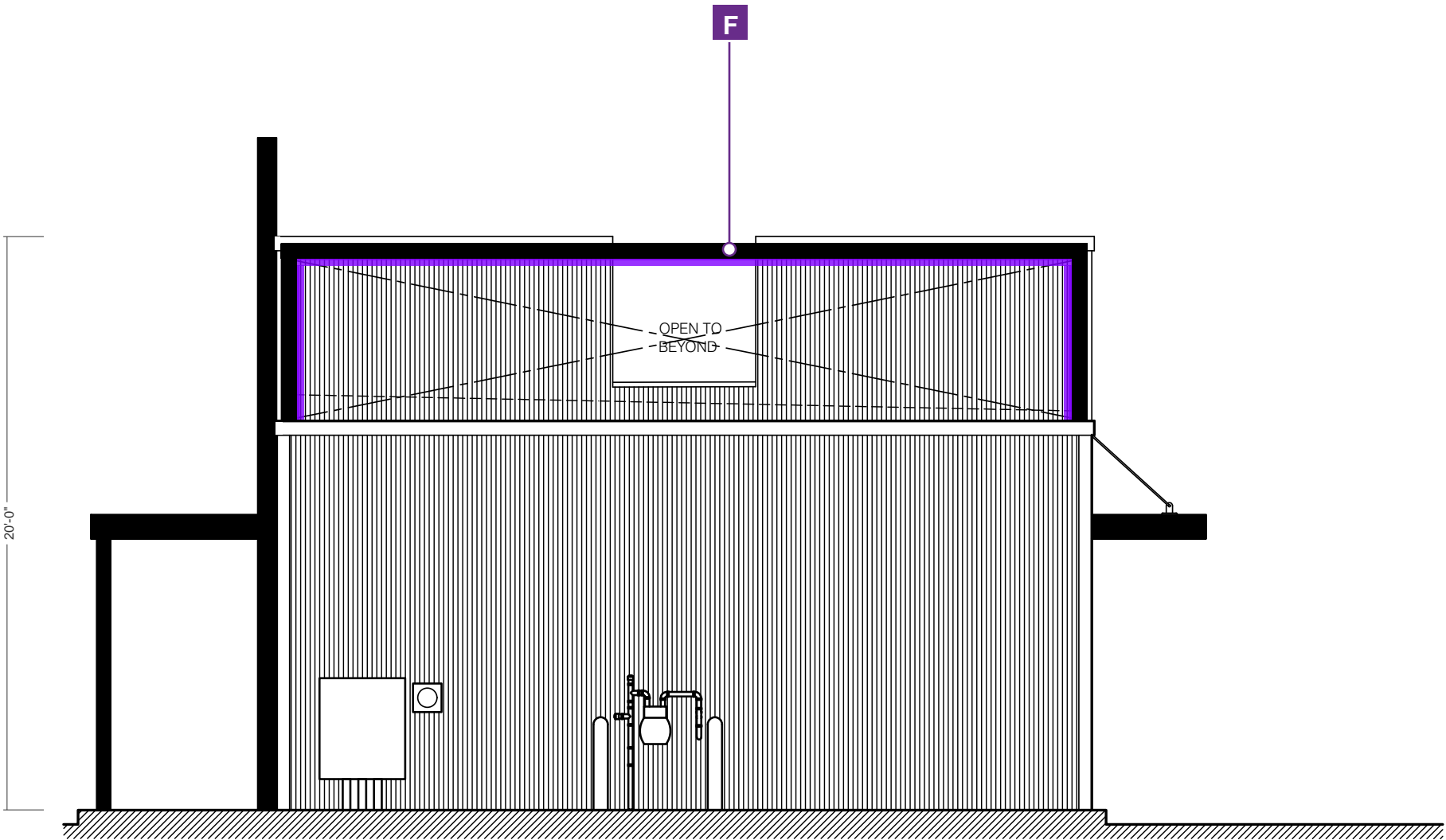
DRIVE-THRU ELEVATION

6-E-25-SU
Revised: 5/21/2025

Scale: 1/8" = 1'

ELEVATIONS

EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
F	1	TAC-KX-FRGENC	Kitchen X Fridge Enclosure Tube Frame System, 6'-2" x 28'-2"



REAR ELEVATION

6-E-25-SU
Revised: 5/21/2025

Scale: 3/16" = 1'



LOCATION
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DETAILS

Dimensions:

Dimensions:
Height: 4'-4"
Width: 4'-9 3/8"
SqFt: 20.6

Quantity: 2

Illumination: Internal

Electrical Requirements:

Voltage - 120/277V

Power Supply - 12V remote power supply

Wiring - Low voltage with 1/2" liquid-tight conduit to power supply

Installation: Requires owner supplied 120V power within 5' of transformer box

Specifications:

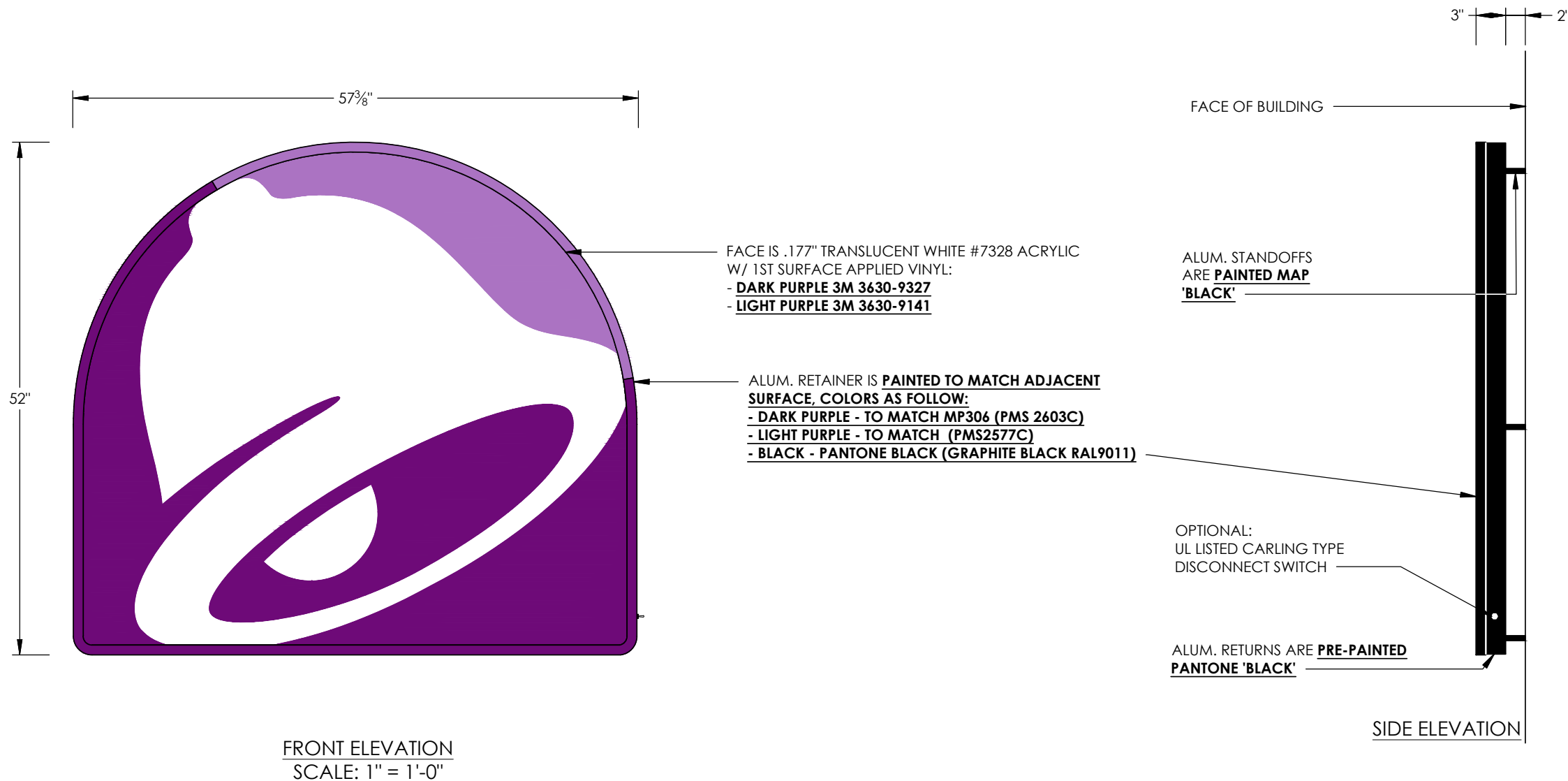
MOUNTING HARDWARE	
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS
<p align="center"><u>NOTES:</u></p> <p>1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.</p> <p>2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.</p>	

Notes:

- 1) PM to specify part number prior to fabrication.
- 2) PM to specify interior or exterior application prior to fabrication.
- 3) PM to specify optional external disconnect switch prior to fabrication.
- 4) Shop to provide touch up paint for installer.

NOTE:

- 1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.
- 2.) BELL SIZE VARIES PER LOCATION
- 3.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.



6-E-25-SU
Revised: 5/21/2025

NOTES:

- 1.) VERIFY MOUNTING CONDITION.
- 2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
- 3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:
INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



LOCATION
5900 Kingston Pike # 5902
Knoxville, TN

DESIGNER CM DATE: 03/27/2025

PROJECT MANAGER
Kayla Romanoff

CUSTOMER APPROVAL

Print Name	Title
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Signature _____ Date _____

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B	TAC-CL-24W-L-SO
----------	------------------------

B	TAC-CL-24W-L-SO
----------	------------------------

Extra Large TB 24" White Stand Off Channel Letters,
LINEAR

DETAILS

Dimensions:

Height: 2'-0"
Width: 14'-7 1/2"
SqFt: 29.25

Quantity: 1

Illumination: Internal

Electrical Requirements:

Voltage - 120/277V

Power Supply - 12V remote power supply

Wiring - Low voltage with 1/2" liquid-tight conduit to power supply

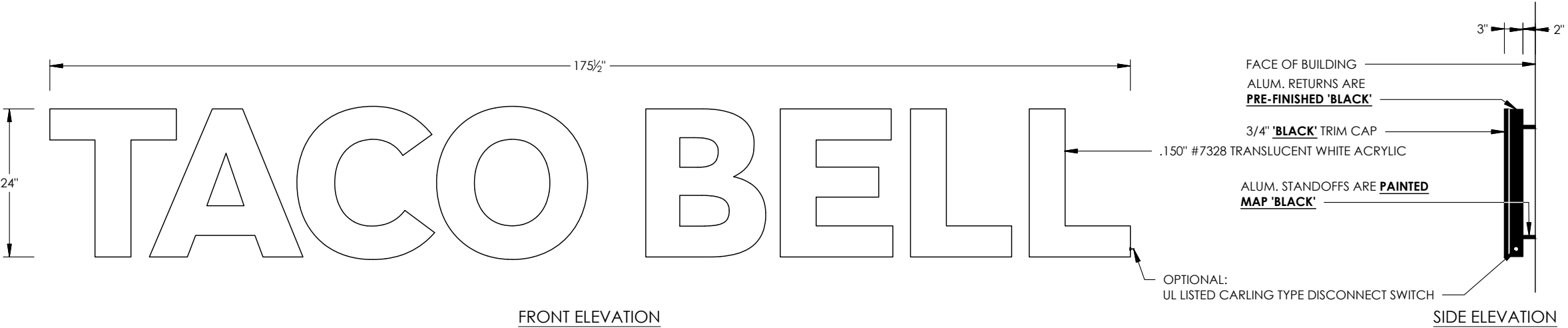
Installation: Requires owner supplied 120V power within 5' of transformer box

Specifications:

MOUNTING HARDWARE	
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS
<p align="center"><u>NOTES:</u></p> <ol style="list-style-type: none"> 1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED. 2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW. 	

Notes:

- 1) PM to specify part number prior to fabrication.
- 2) PM to specify interior or exterior application prior to fabrication.
- 3) PM to specify optional external disconnect switch prior to fabrication.
- 4) Shop to provide touch up paint for installer.



6-E-25-SU
Revised: 5/21/2025

NOTES:

- 1.) VERIFY MOUNTING CONDITION.
- 2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
- 3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:
INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



LOCATION
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C

TAC-KX-ARCH-ENTRY-2

Kitchen X Entry Arch, 23'-6" x 6'-10", 23'-6 1/2" OAH

DETAILS

Dimensions:

Height: 23'-6 1/2"

Width: 7'-2"

SqFt:

Quantity: 1

Illumination:

Internal LED

Electrical Requirements:

Voltage: 120V

Power Supply: 12V power supply

Wiring: Low voltage conduit from the power supply to the sign

Power Source: Requires owner-supplied power, conduit routed to the transformer box

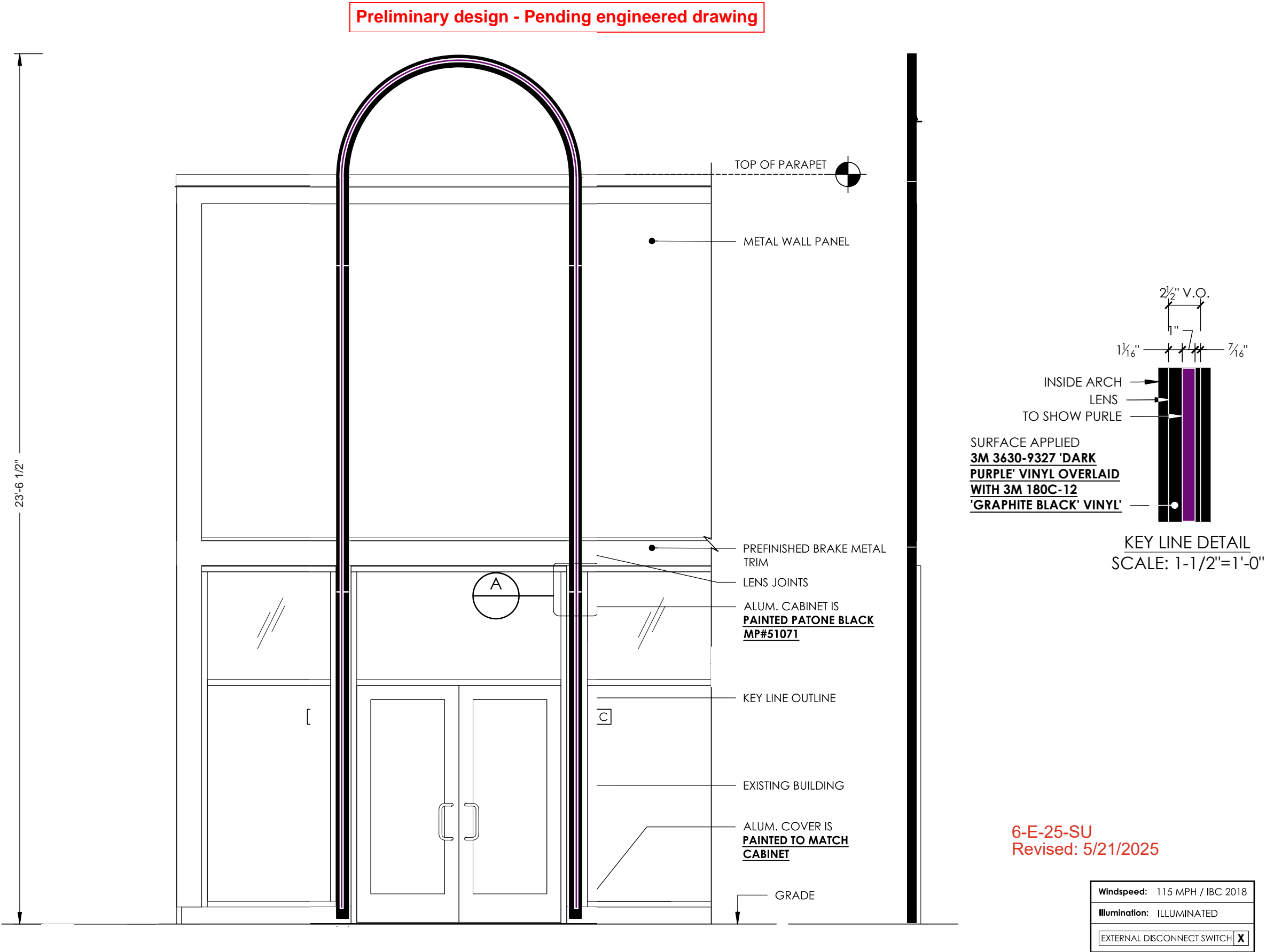
Installation: Transformer box to house power supply and disconnect switch (mounted inside building as required)

Specifications:

1) Arch assembly to be flush mounted to building proudest surface. Standoffs to be used on every other surface

2) Bell face plane to be flush mounted to arch face plane

Notes:



D

TAC-KX-CAN-1-PATIO-HSS4

Kitchen X Patio Cover, Black, 19'-1" Front Width & 14'-0" Depth x 10'-3" OAH

DETAILS

Dimensions:

Height: 10'-4"

Width: 25'-0"

SqFt:

Quantity: 1

Illumination:

LED Perimeter Lighting

Electrical Requirements:

Voltage: 120/277V

Power Supply: Electrical access routed into the building.

UL-listed disconnect switch included at the rear J-Box with power supply mounted inside

Wiring: Electrical pass-through hole for conduit to owner-supplied power.

All DC wiring must be routed through the aluminum tubing into the building (no exposed wiring or conduit allowed).

Sealed wall penetrations required to prevent water intrusion.

Installation: Aluminum mounting angles painted to match the canopy.

Includes 1/8" #7328 White Acrylic Lens for illumination

Requires proper foundation and conduit access

Specifications:

Entrance Canopy on the right elevation w/ LED perimeter lighting; 33'-5 1/4" L x 11'-2 1/8" H x 6'-1 1/2" D attached to building.

Notes:

Preliminary design for permitting purposes only – not for fabrication.

The diagram set includes the following views and details:

- PLAN VIEW:** Shows the canopy's footprint with overall dimensions of 19'-1" by 13'-11". It includes a 3" offset from the building, a 7" offset on the left, and a 17'-11" total width including offsets. A slope arrow points downwards.
- FRONT ELEVATION:** Shows the canopy's profile with a height of 10'-4". It includes a UL LISTED DISCONNECT SWITCH and a PVC RAIN WATER DRAIN. The trellis frame is noted as painted to match the canopy.
- SIDE ELEVATION:** Shows the side profile with a height of 11'-4" and a depth of 10'-6". It includes a UL LISTED DISCONNECT SWITCH and a PVC RAIN WATER DRAIN. The trellis frame is noted as painted to match the canopy.
- REAR STEEL ELEVATION:** Shows the rear profile with a height of 10'-4". It includes a UL LISTED DISCONNECT SWITCH and a PVC RAIN WATER DRAIN. The trellis frame is noted as painted to match the canopy.
- SECTION 'A':** A cross-section showing the canopy's internal structure, including a 12" wide opening and a 9" wide opening. It includes a UL LISTED DISCONNECT SWITCH and a PVC RAIN WATER DRAIN.
- SECTION 'B':** A cross-section showing the canopy's internal structure, including a 12" wide opening and a 9" wide opening. It includes a UL LISTED DISCONNECT SWITCH and a PVC RAIN WATER DRAIN.
- DETAIL VIEW 'A':** A detail of the canopy's connection to the building, showing a 4" x 6" aluminum access cover and a 1/4" x 6" aluminum access cover.

6-E-25-SU
Revised: 5/21/2025

	<div>LOCATION 5252 Waterway Dr. Dumfries, VA 22025</div> <div>DESIGNER OD DATE: 02/21/2025</div>	<div>PROJECT MANAGER Kayla Romanoff</div>	<div>CUSTOMER APPROVAL</div> <div><div><input type="checkbox"/> Approved</div><div><input type="checkbox"/> Approved as Noted</div><div><input type="checkbox"/> Not Approved Resubmit with Changes</div></div> <div><div>Print Name _____ Title _____</div><div>Signature _____ Date _____</div></div>	<div>This document is the sole property of AGI, and all design, manufacturing, reproduction, use and sale rights regarding the same are expressly forbidden. It is subject under a confidential relationship, for a special purpose, and the recipient, by accepting this document assumes custody and agrees that this document will not be copied or reproduced in whole or in part, nor its contents revealed in any manner or to any purpose for which it was tendered, nor any special features peculiar to this design to be incorporated in other projects.</div>		Page 11 of 25
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E

TAC-KX-CAN-ENTRY

Entrance Canopy on the right elevation w/ LED perimeter lighting

DETAILS

Dimensions:

Height: 10'-4"

Width: 25'-0"

SqFt:

Quantity: 1

Illumination: LED Perimeter Lighting

Electrical Requirements:

Voltage: 120/277V

Power Supply: Electrical access routed into the building.

UL-listed disconnect switch included at the rear J-Box with power supply mounted inside

Wiring: Electrical pass-through hole for conduit to owner-supplied power.

All DC wiring must be routed through the aluminum tubing into the building (no exposed wiring or conduit allowed).

Sealed wall penetrations required to prevent water intrusion.

Installation: Aluminum mounting angles painted to match the canopy.

Includes 1/8" #7328 White Acrylic Lens for illumination

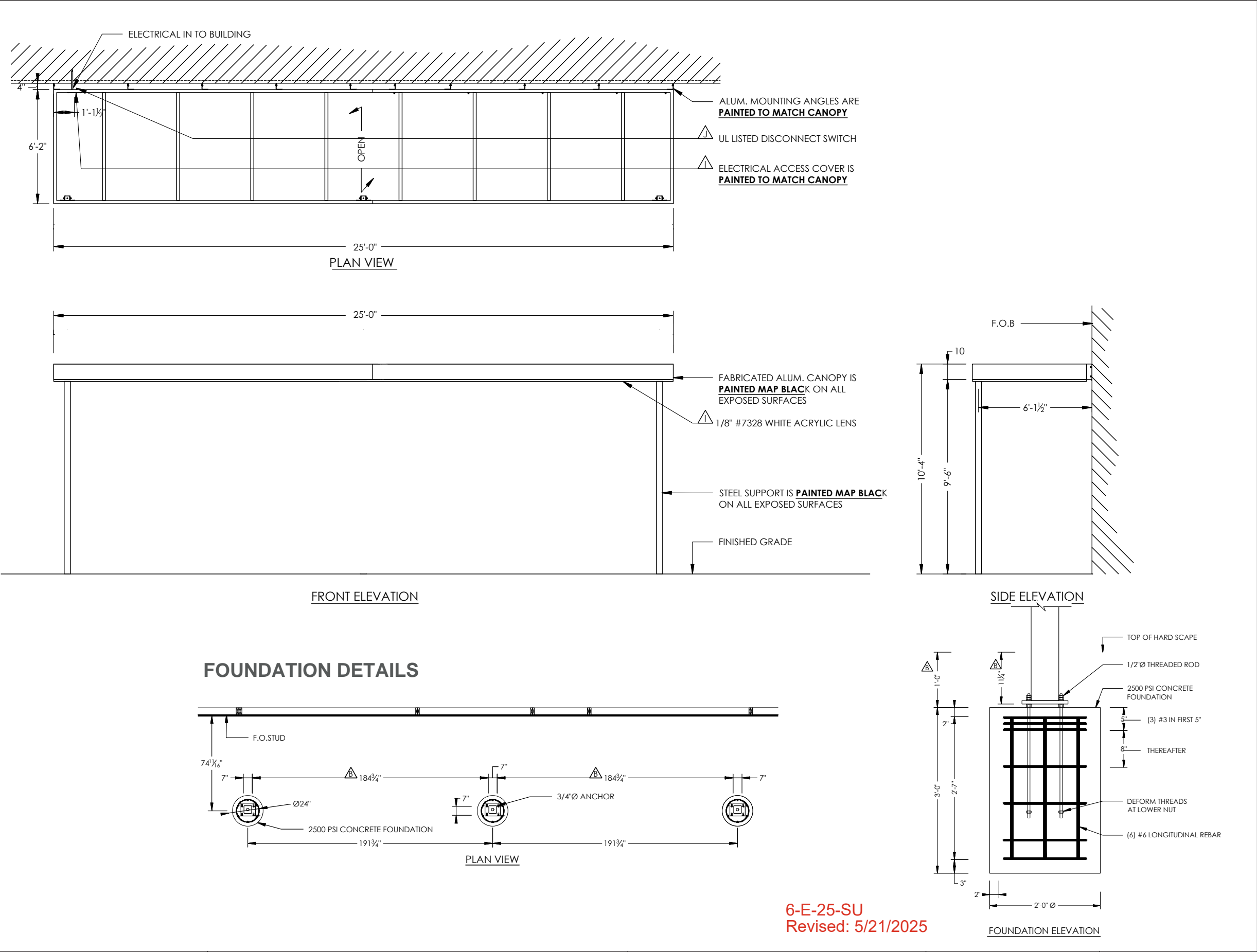
Requires proper foundation and conduit access

Specifications:

Entrance Canopy on the right elevation w/ LED perimeter lighting; 33'-5 1/4" L x 11'-2 1/8" H x 6'-1 1/2" D attached to building.

Notes:

Preliminary design for permitting purposes only – not for fabrication.



F

TAC-KX-FRGENC

Kitchen X Fridge Enclosure Tube Frame System, 6'-2" x 28'-2"

DETAILS

Dimensions:

Height: 6'-2"

Width: 28'-3"

SqFt:

Quantity: 1

Illumination:

Illuminated

Electrical Requirements:

Voltage: 120/277V

Power Supply: 12V power supply

Wiring: Electrical pass-through hole provided by installer

Conduit from owner-supplied 120V power

Remote power supply enclosure required

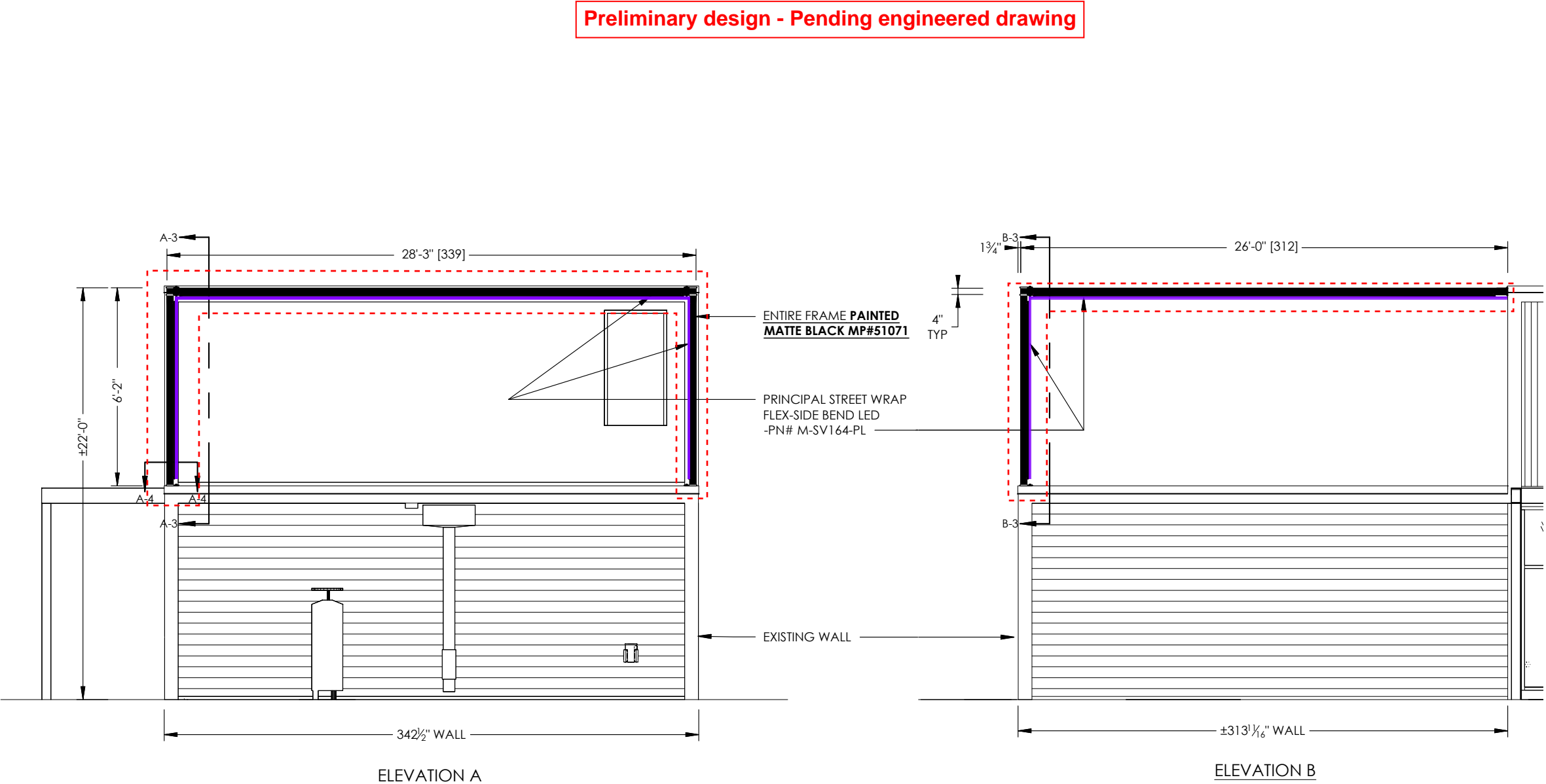
Disconnect Switch: Included in the power supply setup

Additional Notes: LED installation includes track cutting if needed.

End caps must be tightly sealed and siliconed together

Specifications:

Notes:



6-E-25-SU
Revised: 5/21/2025

G

TAC-C48-KX-228-DL-TBK

Kitchen X Canopy, 19'-0" x 4'-0" x 0'-10", With Downlights And Turnbuckles

DETAILS

Dimensions:

Height: 0'-10"

Width: 19'-0"

SqFt:

Quantity: 1

Illumination: Downlights

Electrical Requirements:

Voltage: 120/277V

Power Supply: Owner-supplied power must be within 5 feet of AGI transformer boxes

Wiring: Electrical disconnect switch included
Sealed wall penetrations required to prevent water intrusion

Installation: Canopy must be mounted sloped away from the building
All mounting hardware painted to match the canopy
Light fixture trim ring painted to match

Additional Notes: Requires turnbuckle support system for stability
Installer to verify mounting conditions before installation

Specifications:

Notes:

Preliminary design for permitting purposes only – not for fabrication.

The diagram consists of two views of the Kitchen X Canopy:

- FRONT ELEVATION**: Shows a top-down view of the canopy. The overall width is 19'-0". The height from the mounting surface to the bottom of the canopy is 42 1/2". Four light fixtures are shown, each with a label: "LIGHT FIXTURE - PAINT TRIM RING TO MATCH CANOPY". The canopy itself is labeled: "FABRICATED ALUM. CANOPY IS PAINTED PANTONE BLACK (GRAPHITE BLACK RAL9011)". A disconnect switch is located on the right side.
- SIDE VIEW**: Shows a side profile of the canopy. The mounting hardware is labeled: "MOUNTING HARDWARE IS PAINTED TO MATCH CANOPY". The distance from the wall to the center of the plate is 48". The distance from the wall to the center of the plate is 27 7/8". The distance from the wall to the center of the plate is 12". The distance from the wall to the center of the plate is 1/4". The distance from the wall to the center of the plate is 10".

SCALE: 1/2"=1'-0"

6-E-25-SU
Revised: 5/21/2025

	LOCATION 5900 Kingston Pike # 5902 Knoxville, TN	PROJECT MANAGER Kayla Romanoff	CUSTOMER APPROVAL <div><div>Print Name</div><div>Title</div><div>Signature</div><div>Date</div></div>	<div><input type="checkbox"/> Approved</div> <div><input type="checkbox"/> Approved as Noted</div> <div><input type="checkbox"/> Not Approved Resubmit with Changes</div>	This document is the sole property of AGI, and all design, manufacturing, reproduction, use and sale rights regarding the same are expressly forbidden. It is subject under a confidential relationship, for a special purpose, and the recipient, by accepting this document assumes custody and agrees that this document will not be copied or reproduced in whole or in part, nor its contents revealed in any manner or to any purpose for which it was tendered, nor any special features peculiar to this design to be incorporated in other projects.		Page 14 of 25
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H

TAC-KX-DIR-PU

Kitchen X Directional, "Pick-Up" Copy, 5'-0" OAH x 1'-6"

DETAILS

Dimensions:

Height: 5'-0"

Width: 1'-6"

SqFt:

Quantity: 2

Illumination:

None

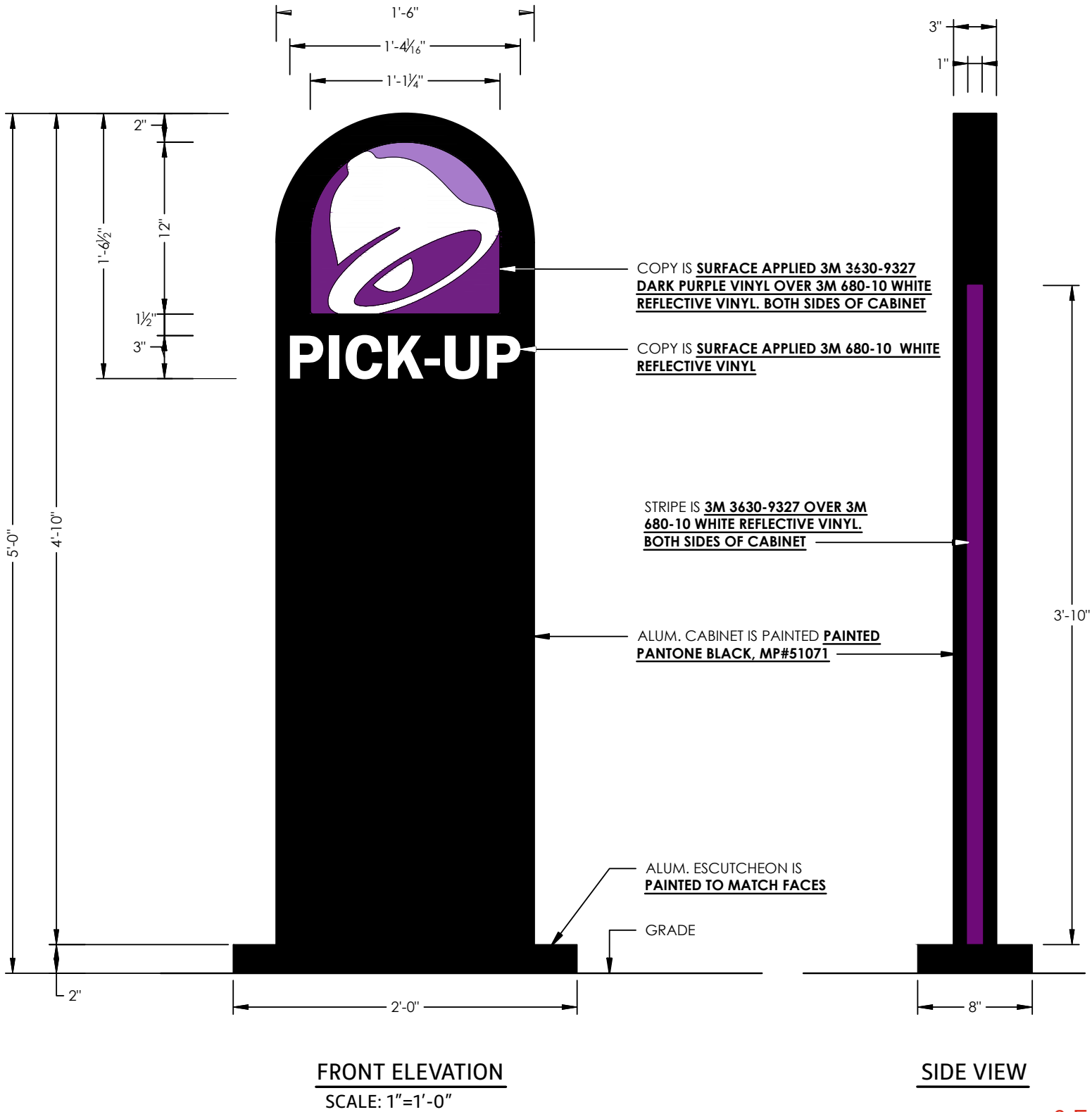
Electrical Requirements:

Specifications:

1) PM to specify layout on work order

2) All vinyl to be applied to surfaces using 3M #94 primer to help prevent damages and peeling. See manufacturer instructions for application technique

Notes:



6-E-25-SU
Revised: 5/21/2025

DETAILS

Dimensions:

Height: 10'-4"
Width: 10'-0"
SqFt:

Quantity: 1

Illumination: None

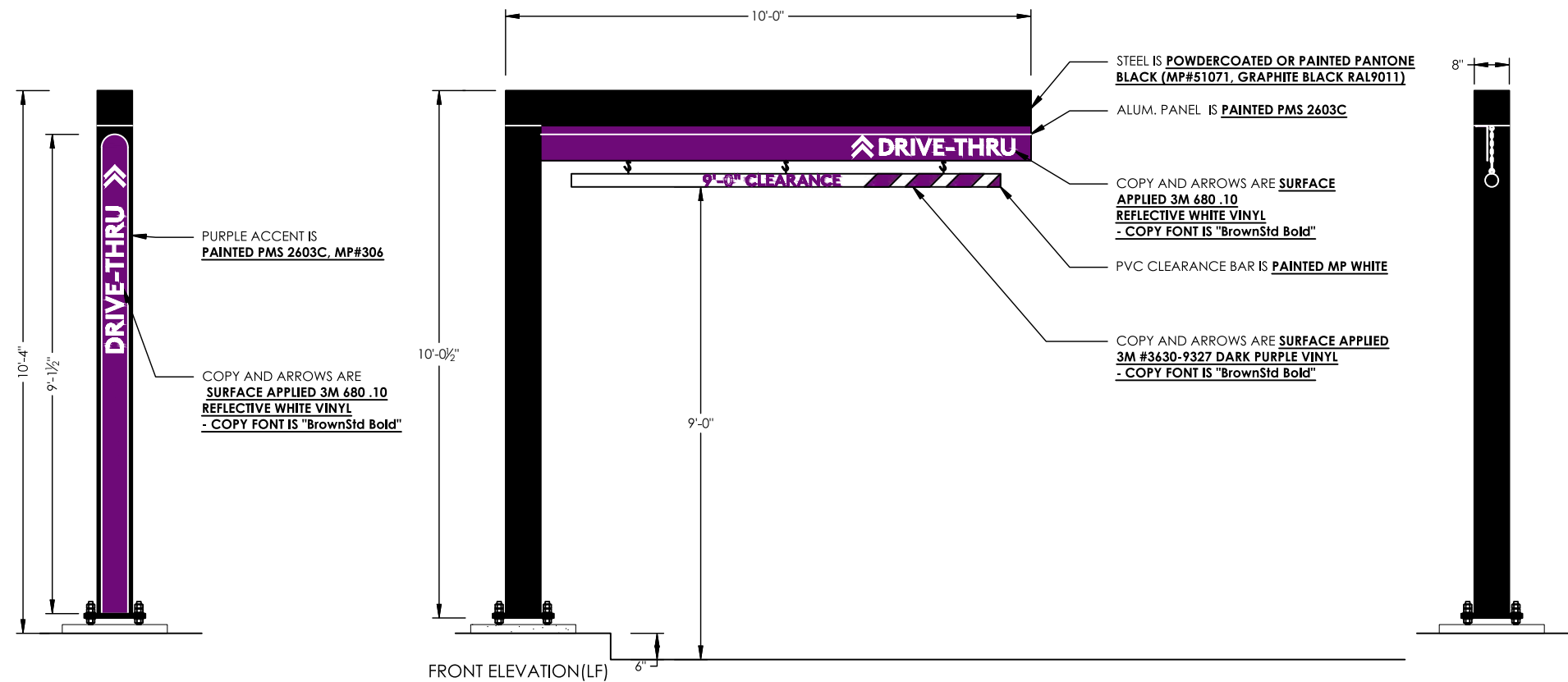
Electrical Requirements:

Specifications:

Notes:

Onsite refurbishing of existing to include:

- Sand, prime and paint steel. [SATIN BLACK]
- Remove yellow headache bar sleeve
- Replace with new sleeve painted "Safety Yellow" and reflective black vinyl reading "9' Clearance".



NOTES:

- 1.) PM TO SPECIFY COPY ORIENTATION PRIOR TO FABRICATION.
2.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

COPY ORIENTATION

POLE ON LEFT

POLE ON RIGHT

Notes:

Onsite refurbishing of existing to include:

- Sand, prime and paint steel. [SATIN BLACK]
- Remove yellow headache bar sleeve
- Replace with new sleeve painted "Safety Yellow" and reflective black vinyl reading "9' Clearance".



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6-E-25-SU
Revised: 5/21/2025

I

TAC-KX-CLB

Kitchen X Clearance Bar

DETAILS

Dimensions:

Height: as noted

Width: as noted

SqFt:

Quantity: 1

Illumination:

None

Electrical Requirements:

Specifications:

Notes:

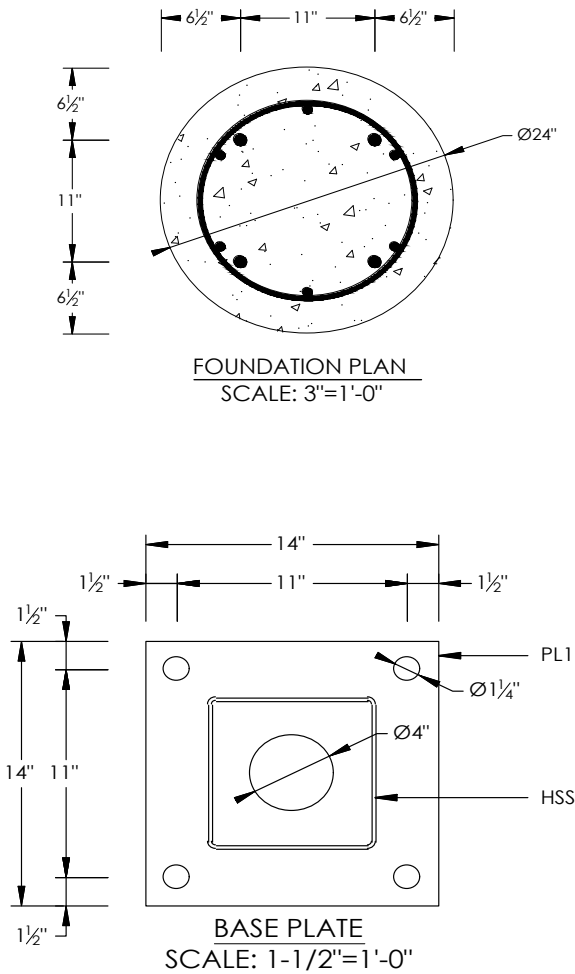
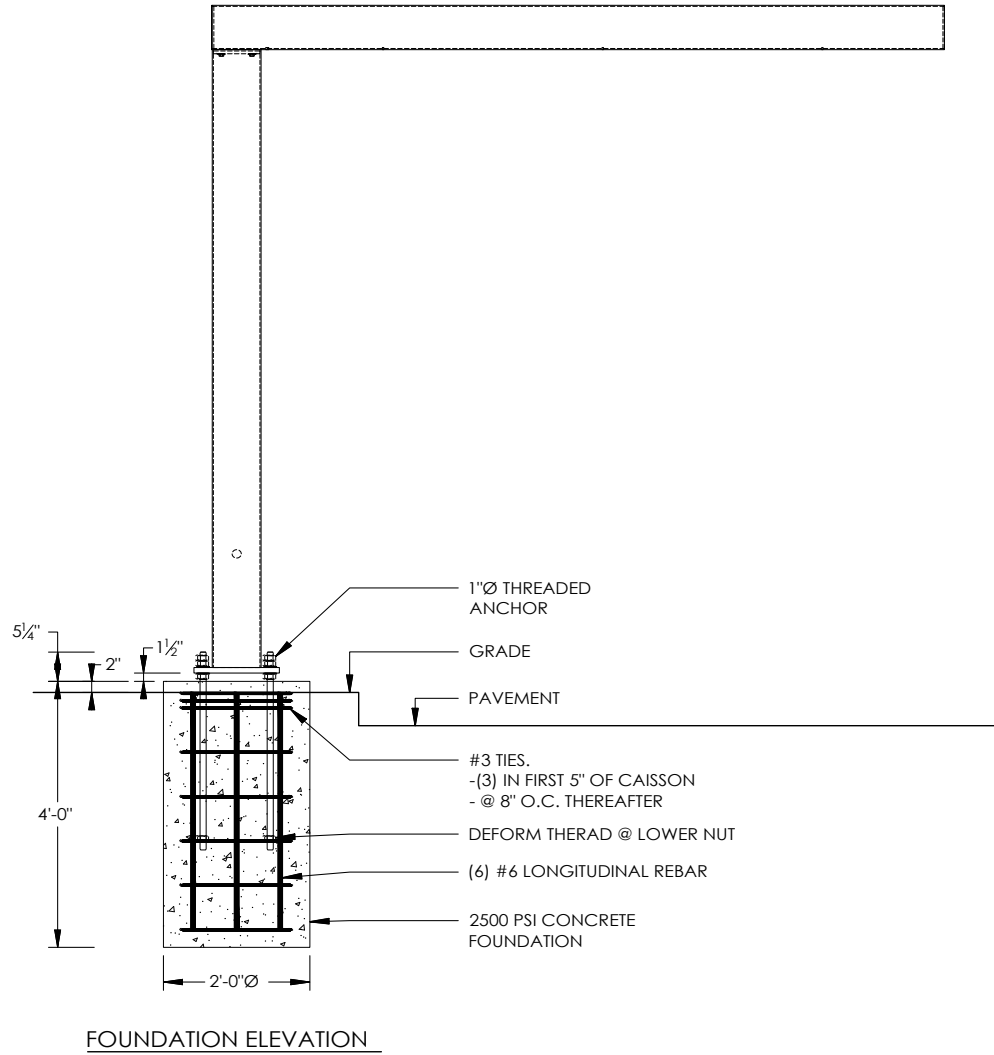
Onsite refurbishing of existing to include:

- Sand, prime and paint steel. [SATIN BLACK]

- Remove yellow headache bar sleeve

- Replace with new sleeve painted "Safety Yellow" and reflective black vinyl reading "9' Clearance".

FOUNDATION DETAILS



NOTES:
1.) PM TO SPECIFY COPY ORIENTATION PRIOR TO FABRICATION.
2.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

COPY ORIENTATION	
X	POLE ON LEFT
	POLE ON RIGHT

6-E-25-SU
Revised: 5/21/2025

J

TAC-OPC-EN-IT

Endeavor Order Point Canopy, Anchor Bolts & Foundation Not Included, V-1070, IT

DETAILS

Dimensions:

Height: 10'-1 1/4"

Width: 6'-8 1/4"

SqFt:

Quantity: 1

illumination: Flood

Electrical Requirements:

Voltage: 120V

Power Supply: 6FT conduit from owner-provided power supply.
6FT liquid-tight whip provided by AGI

Wiring: 1/2" liquid-tight conduit to flood light
Electrical J-Box (2"x4") included

Installation: Grounding lug, wire, and rod must meet jurisdiction requirements (installer responsible)
Flood light must be oriented upwards toward the roof panel.

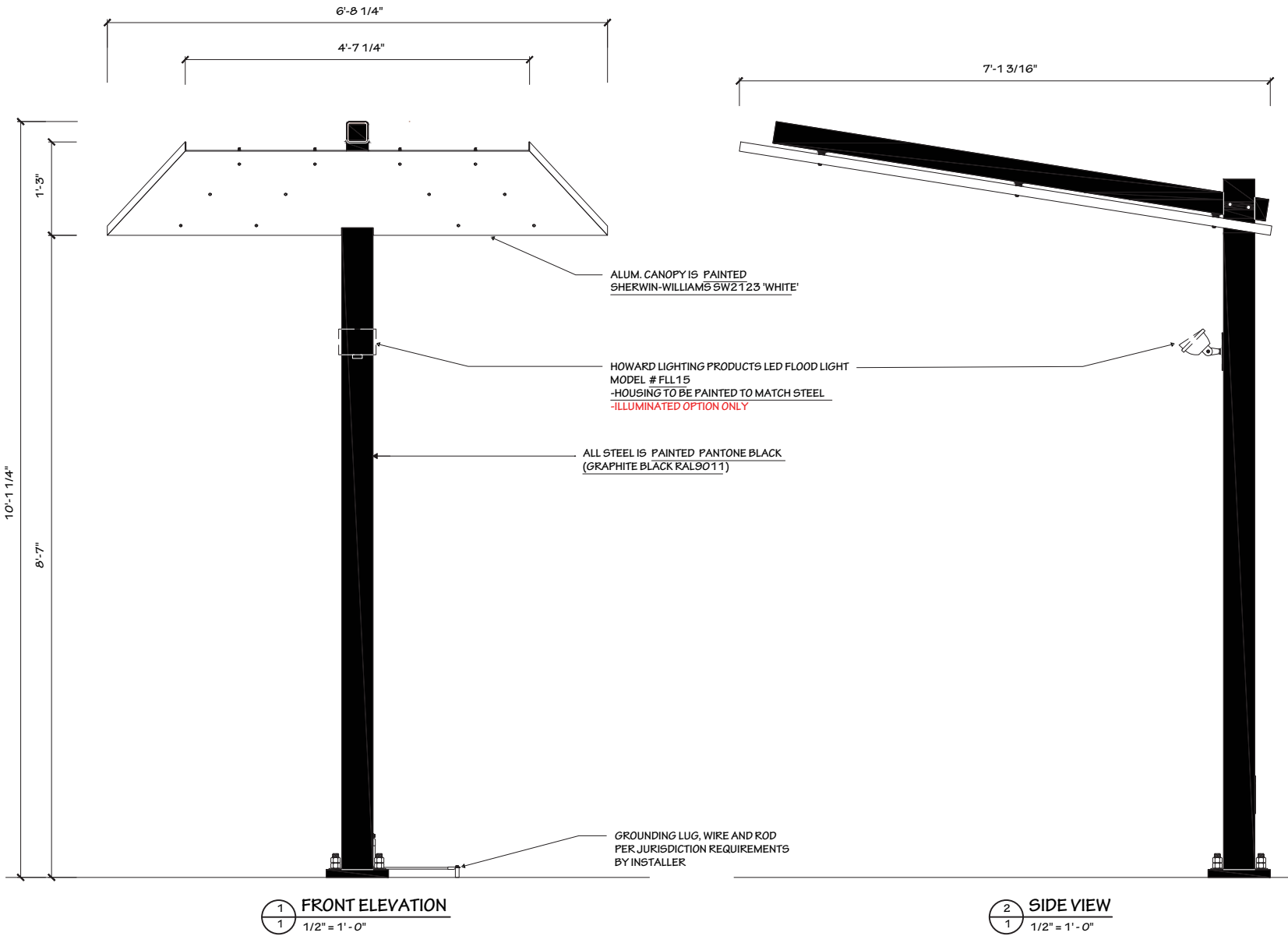
All steel components are painted Pantone Black (Graphite Black RAL9011)
Aluminum cover plates painted to match steel

Specifications:

Anchor bolts sold separately.
Foundation not included.

Notes:

Foundation by GC



6-E-25-SU
Revised: 5/21/2025

J

TAC-OPC-EN

Endeavor Order Point Canopy - BLACK

DETAILS

Dimensions:

Height: 10'-1 1/4"

Width: 6'-8 1/4"

SqFt:

Quantity: 2

illumination: Flood

Electrical Requirements:

Voltage: 120V

Power Supply: 6FT conduit from owner-provided power supply.
6FT liquid-tight whip provided by AGI

Wiring: 1/2" liquid-tight conduit to flood light
Electrical J-Box (2"x4") included

Installation: Grounding lug, wire, and rod must meet jurisdiction requirements (installer responsible)
Flood light must be oriented upwards toward the roof panel.

All steel components are painted Pantone Black (Graphite Black RAL9011)
Aluminum cover plates painted to match steel

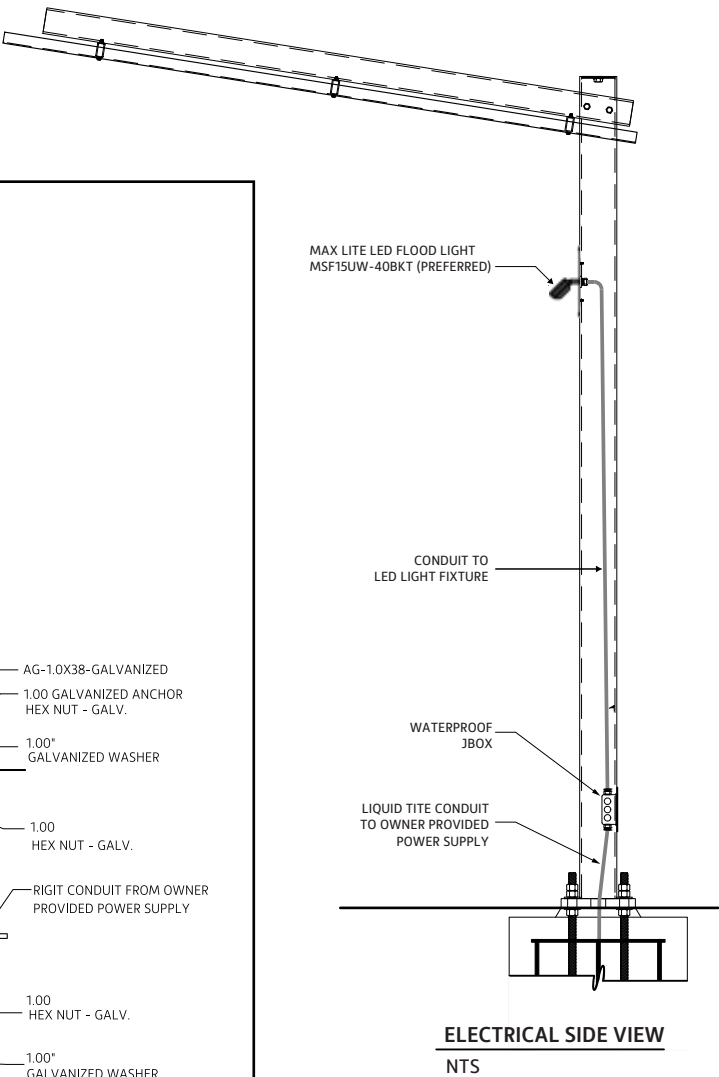
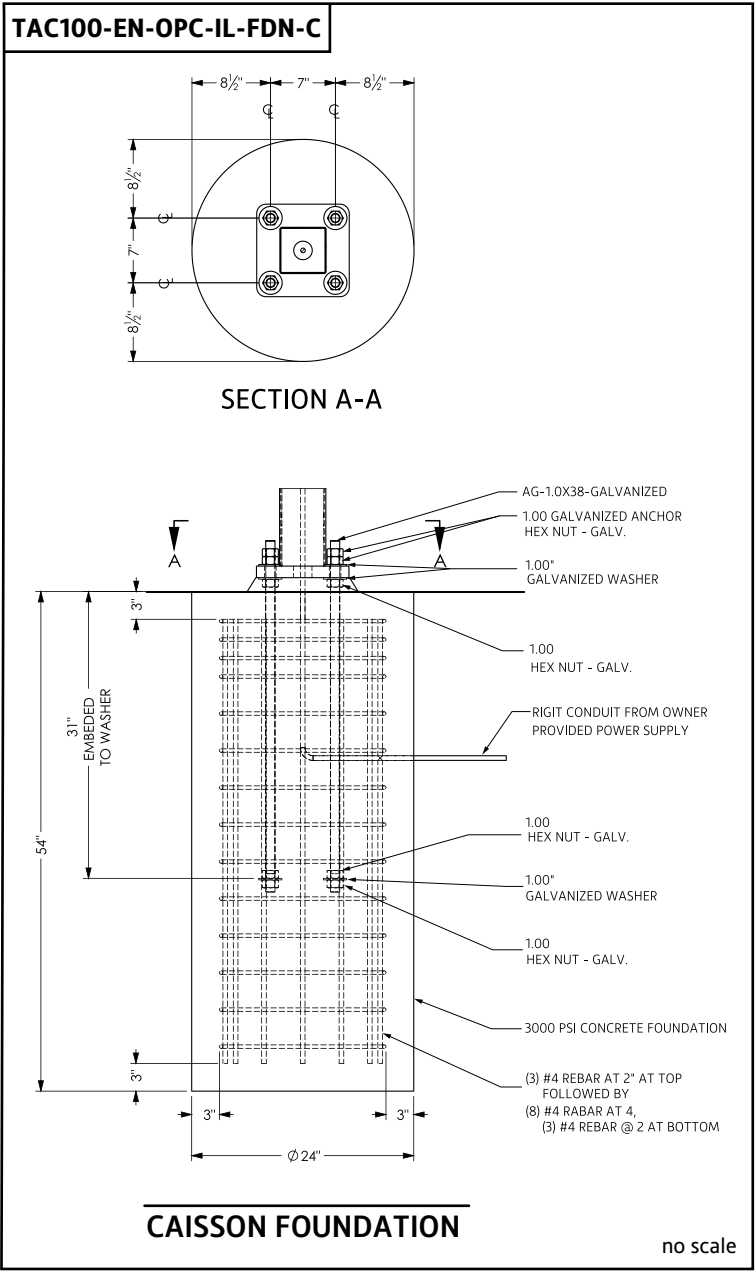
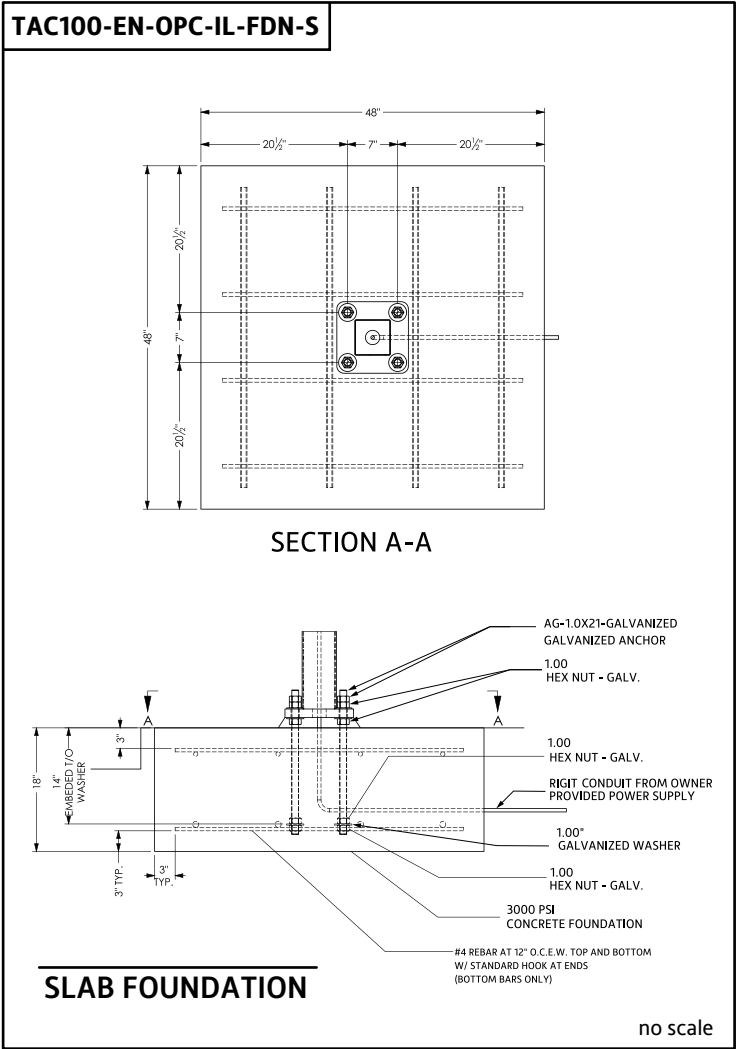
Specifications:

Anchor bolts sold separately.
Foundation not included.

Notes:

Foundation by GC

FOUNDATION DETAILS



NOTE: New Foundation Provided by GC

6-E-25-SU
Revised: 5/21/2025

K

TAC-DMB-GC-FOUNDATION

DMB- New Foundation provided by GC.

DETAILS

Dimensions:

Height: 4'-11"

Width: 5'-0 1/2"

SqFt: 3.875

Quantity: 2

Illumination: Internal

Electrical Requirements:

Power:

- Hardwired AC Power

- 120/240V 50/60Hz

- 1150 W (@ max load)

- UL Rated @ 10 Amp

Backlight:

- LED Light Source

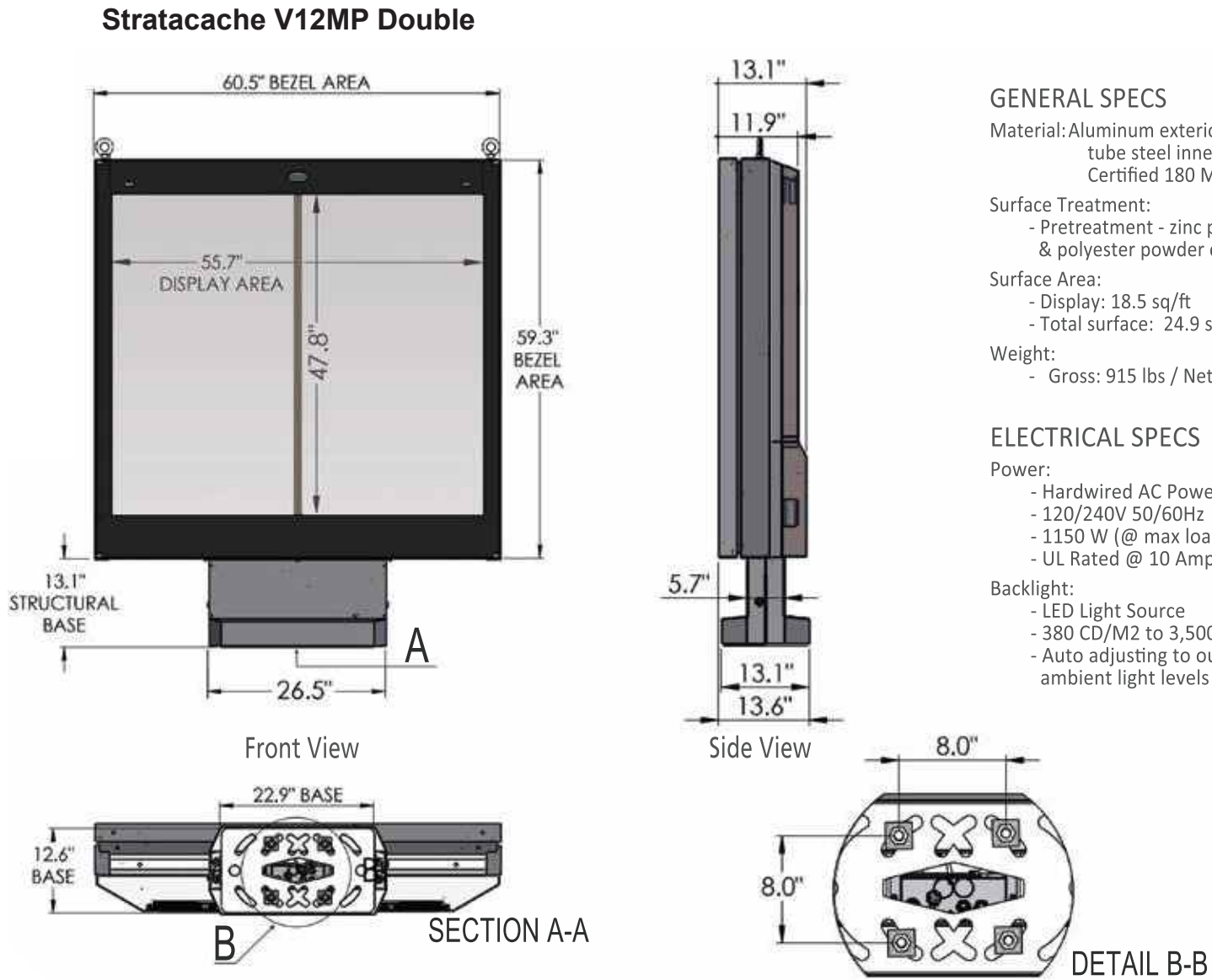
- 380 CD/M2 to 3,500 CD/M2

- Auto adjusting to outdoor ambient light levels

Specifications:

Notes:

Foundation by GC



GENERAL SPECS

Material: Aluminum exterior with tube steel inner frame. Certified 180 MPH

Surface Treatment:

- Pretreatment - zinc primer & polyester powder coating

Surface Area:

- Display: 18.5 sq/ft
- Total surface: 24.9 sq/ft

Weight:

- Gross: 915 lbs / Net: 705 lbs

ELECTRICAL SPECS

Power:

- Hardwired AC Power
- 120/240V 50/60Hz
- 1150 W (@ max load)
- UL Rated @ 10 Amp

Backlight:

- LED Light Source
- 380 CD/M2 to 3,500 CD/M2
- Auto adjusting to outdoor ambient light levels

Product Model #: STR-D12-120		STRATACACHE 40 N. Main Street Dayton, Ohio 45423 1-800-244-8915	Drawing #: STR-D12 v1.1
Project #:			Date: 2019-12-03
Date: 2019-12-03			Author: B. Pupo

6-E-25-SU
Revised: 5/21/2025

K

TAC-DMB-GC-FOUNDATION

DMB- New Foundation provided by GC.

DETAILS

Dimensions:

Height: 4'-11"

Width: 5'-0 1/2"

SqFt: 3.875

Quantity: 2

Illumination:

Internal

Electrical Requirements:

Power:

- Hardwired AC Power

- 120/240V 50/60Hz

- 1150 W (@ max load)

- UL Rated @ 10 Amp

Backlight:

- LED Light Source

- 380 CD/M2 to 3,500 CD/M2

- Auto adjusting to outdoor ambient light levels

Specifications:

Notes:

FOUNDATION DETAILS

The diagram shows a 'ROD TEMPLATE' with a diamond-shaped cutout. Dimensions include a top width of 8.00, a bottom width of 10.00, and a height of 10.00. The cutout has a top width of 4.50 and a bottom width of 9.00. A note indicates '<MOD-DIAM>0.77'. Below the template is an 'Isometric View' showing the diamond shape in 3D. A small dimension of 0.06 is shown for the thickness of the template.

The diagram shows a 'FOUNDATION SECTION (MENU BOARD)'. It includes a 'SIGNAGE FRAME, COORD. W/ SUPPLIER' with a width of '5'-2" MAX.' and a height of '5'-0" MAX.'. The frame is connected to a 'BASE PLATE PROVIDED BY SIGN MANUF.' which is 'SLOPE TOP TO SHED WATER'. The base plate is connected to a 'FINISH GRADE, COORD. W/ CIVIL DWGS.' with a '1'-2" gap. The foundation is '4'-5" MIN.' deep and has a '2'-0" DIAMETER'. It includes '(3)-#3 TIES IN THE TOP 5" O/C. 10" O/C THEREAFTER', 'CONDUITS BY OTHERS', '(4)-3/4"Ø ANCHOR BOLTS', and '(4)-#5 VERT. REINF. EQUALLY SPACED AROUND STIRRUPS'. A note states 'NOTE: ELECTRICAL CONDUIT NOT SHOWN FOR CLARITY.'.

6-E-25-SU
Revised: 5/21/2025

	LOCATION 5900 Kingston Pike # 5902 Knoxville, TN	PROJECT MANAGER Kayla Romanoff	CUSTOMER APPROVAL <div><div><input type="checkbox"/> Approved</div><div><input type="checkbox"/> Approved as Noted</div><div><input type="checkbox"/> Not Approved Resubmit with Changes</div></div> <div><div>Print Name</div><div>Title</div><div>Signature</div><div>Date</div></div>	<div>This document is the sole property of AGI, and all design, manufacturing, reproduction, use and sale rights regarding the same are expressly forbidden. It is subject under a confidential relationship, for a special purpose, and the recipient, by accepting this document assumes custody and agrees that this document will not be copied or reproduced in whole or in part, nor its contents revealed in any manner or to any purpose for which it was tendered, nor any special features peculiar to this design to be incorporated in other projects.</div>		Page 21 of 25
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L

TAC- P75-MU

75 SF Pylon with 20'-0" OAH Pole

DETAILS

Dimensions:

Height: 11'-6 9/16"

Width: 6'-11"

SqFt: 75

Quantity: 1

Illumination: Internal

Electrical Requirements:

Specifications:

Notes:

NOTE:

1.) PM TO SPECIFY GENERATION OF PYLON PRIOR TO FABRICATION.

2.) PM TO SPECIFY SECONDARY MESSAGE OPTION PRIOR TO FABRICATION.

3.) PM TO VERIFY V.O. DIMENSIONS PRIOR TO FABRICATION.

4.) PM TO SPECIFY GENERATION OF PYLON PRIOR TO FABRICATION.

5.) SHOP TO PROVIDE PAINT TO INSTALLER.

6.) INSTALLER TO PAINT CABINETS, RETAINERS AND COLUMNS PRIOR TO FACE INSTALLATION.



4th GENERATION PYLON ELEVATION

SIDE VIEW

6-E-25-SU
Revised: 5/21/2025

DETAILS

Dimensions:

Dimensions:
Height: as noted
Width: as noted
SqFt:

Quantity: 1

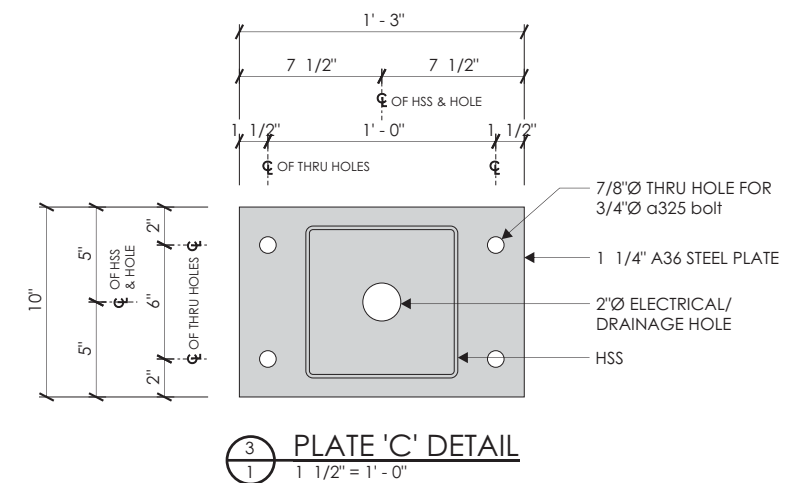
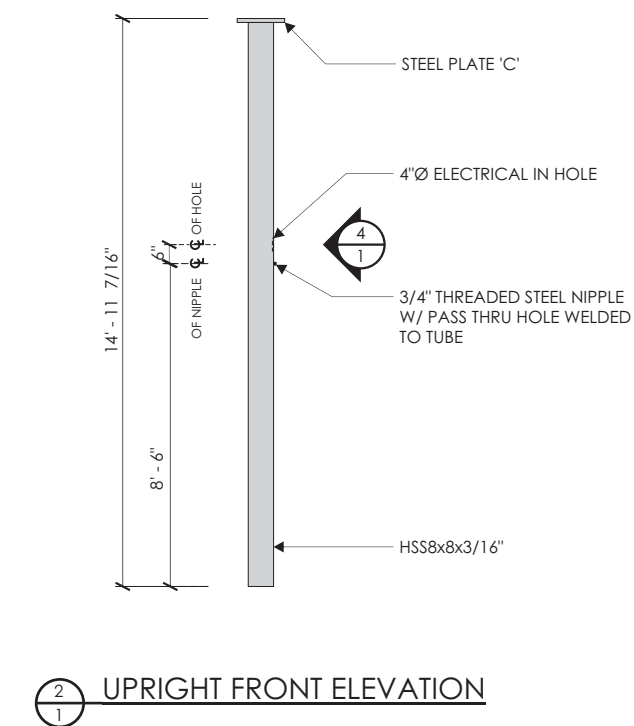
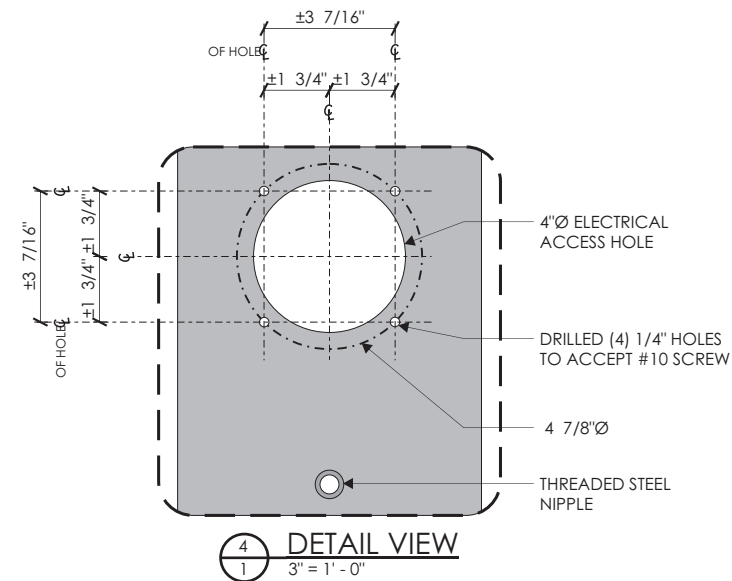
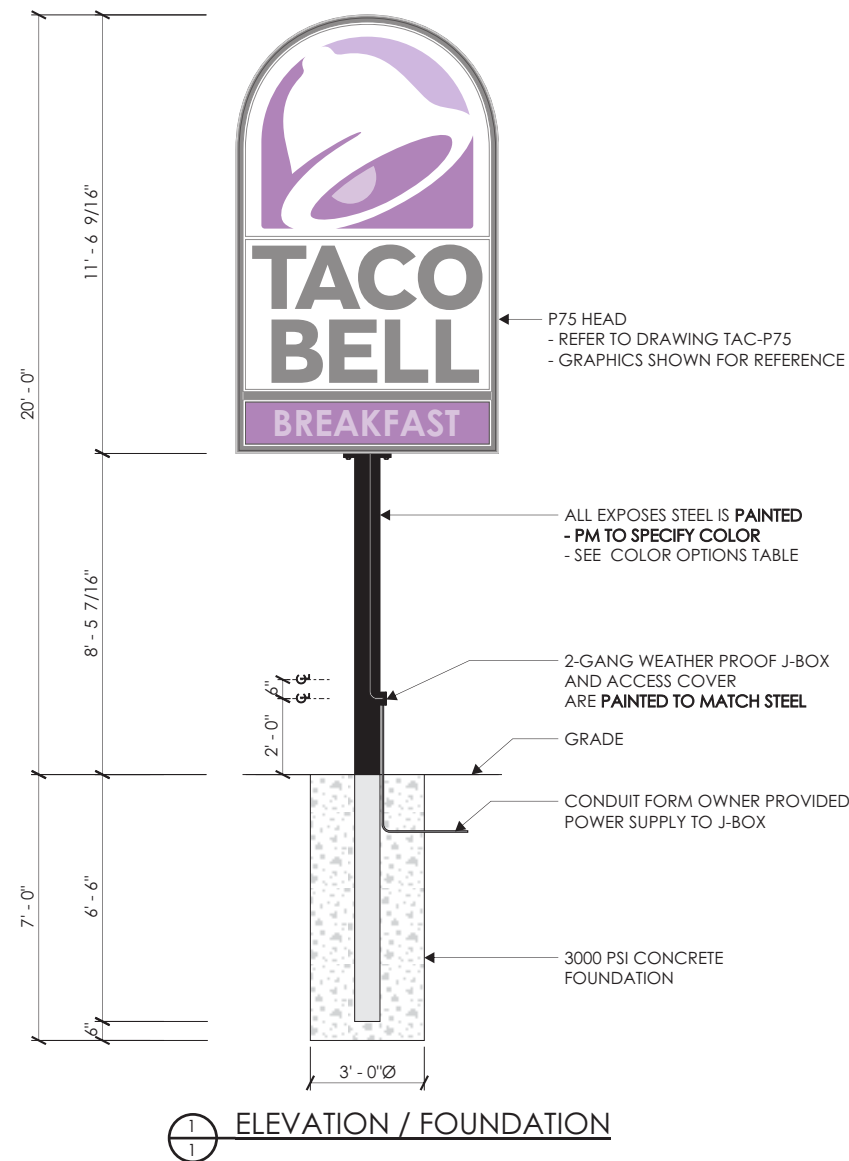
Illumination: Internal

Electrical Requirements:

Specifications:

Notes:

- 1.) PM TO SPECIFY GENERATION OF PYLON PRIOR TO FABRICATION.
- 2.) PM TO SPECIFY SECONDARY MESSAGE OPTION PRIOR TO FABRICATION.
- 3.) PM TO VERIFY V.O. DIMENSIONS PRIOR TO FABRICATION.
- 4.) PM TO SPECIFY GENERATION OF PYLON PRIOR TO FABRICATION.
- 5.) SHOP TO PROVIDE PAINT TO INSTALLER.
- 6.) INSTALLER TO PAINT CABINETS, RETAINERS AND COLUMNS PRIOR TO FACE INSTALLATION.

6-E-25-SU
Revised: 5/21/2025

LOCATION
5900 Kingston Pike # 5902
Knoxville, TN

DESIGNER CM **DATE:** 03/27/2025

PROJECT MANAGER
Kayla Romanoff

CUSTOMER APPROVAL

Print Name	Title
-------------------	--------------

Signature	Date
-----------	------

- ☐ Approved
- ☐ Approved as Noted
- ☐ Not Approved
Resubmit with Changes

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M

TAC-KX-BELL-33P-HL-SO

Kitchen X Halo Lit Bell, 2'-8 7/8" x 3'-0", On Standoffs, Purple LEDs

DETAILS

Dimensions:

Height: 2'-8 7/8"

Width: 3'-0"

SqFt:

Quantity: 1

illumination: Halo-Lit

Electrical Requirements:

Voltage: 120/277V

Power Supply: Transformer box houses the power supply.

Carling-type external disconnect switch included

Wiring: 1/2" x 6' long flexible liquid-tight conduit whip to owner-provided power supply.

Plastic wall buster for LED wire pass-through

Installation: Mounts with 2" x 3/16" spacers and 1/4" hardware

Additional Notes: Uses Principal QWIK MOD 2 Purple LED Modules (Model: M-QMDX0-PL-LO)

Specifications:

Notes:

30" H, HALO-LIT (PURPLE)
BLACK CUT-OUT BELL SYMBOL SIGN.
STAND-OFF MOUNTED TO WALL.

2'-8"

+4' -0" A.F.F.
B/O SIGN

A 3D architectural rendering of a Taco Bell dining area. The scene shows a long counter with a purple and red wall. A woman is walking towards the counter. On the wall, there is a large, illuminated black cut-out bell symbol sign. The sign is mounted on a wall with a white baseboard. The rendering shows the sign in its intended environment, with other dining tables and chairs visible.

SIGN IS IN THE DINING AREA
CENTERED ON THE WALL TO
THE RIGHT OF THE RESTROOM
ENTRANCE, AND IS MOUNTED
4'-0" FROM THE FLOOR TO
THE BOTTOM OF THE SIGN.

INTERIOR APPLICATION

6-E-25-SU
Revised: 5/21/2025

LOCATION

5900 Kingston Pike # 5902
Knoxville, TN

DESIGNER CM

DATE: 03/27/2025

PROJECT MANAGER

Kayla Romanoff

CUSTOMER APPROVAL

Print Name

Title

Signature

Date

☐ Approved

☐ Approved as Noted

☐ Not Approved
Resubmit with Changes

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N

TAC-KX-FCO-ISOPU-INT

Kitchen X Interior Flat Cut Out "In-Store Order Pick Up" Black Letterset
With Purple Arrow, Wall Mounted, 1'-10 3/4" OAH x 1'-7 1/8"

DETAILS

Dimensions:

Height: 1'-10 3/4"

Width: 1'-7 1/8"

SqFt:

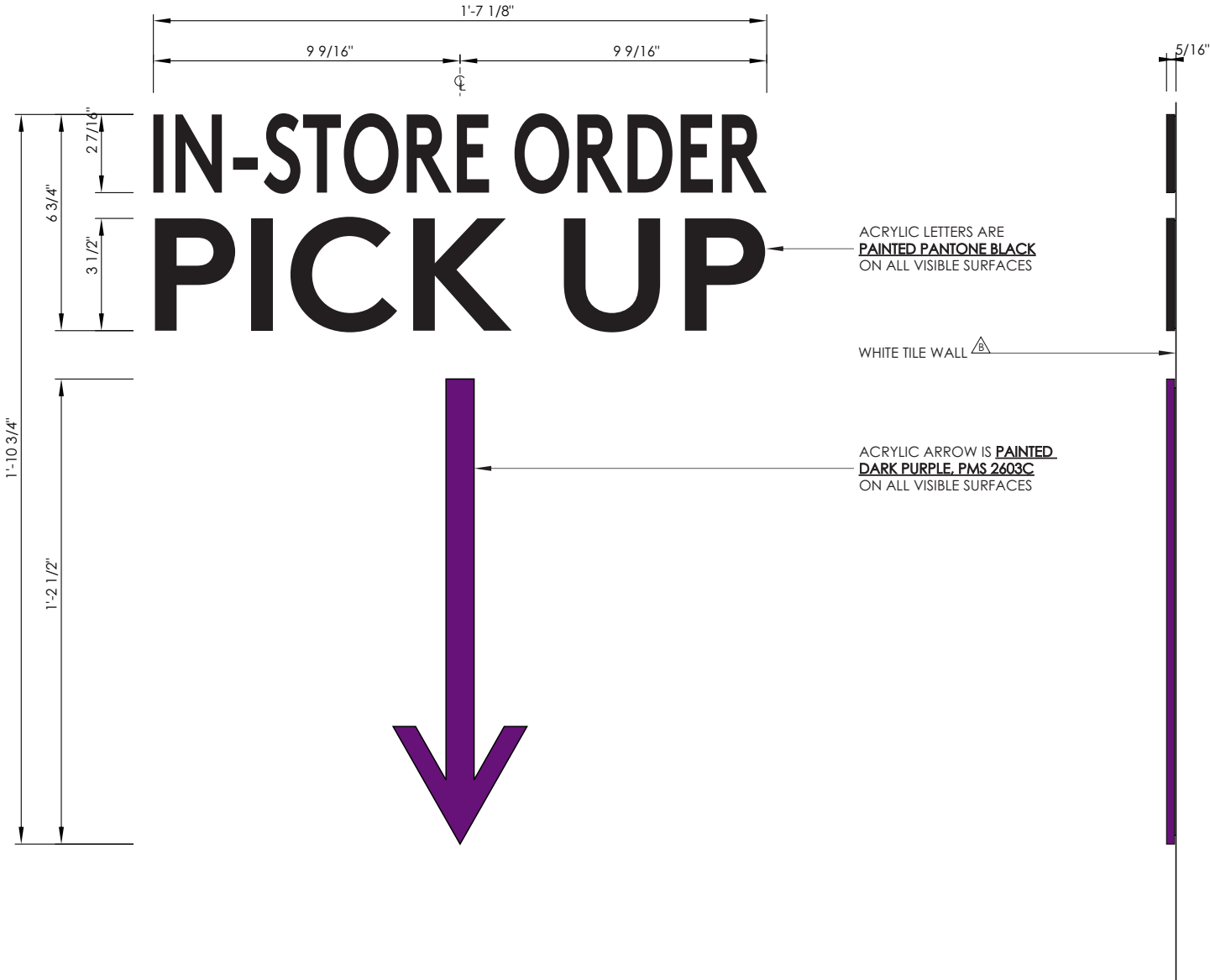
Quantity: 1

Illumination: None

Electrical Requirements:

Specifications:

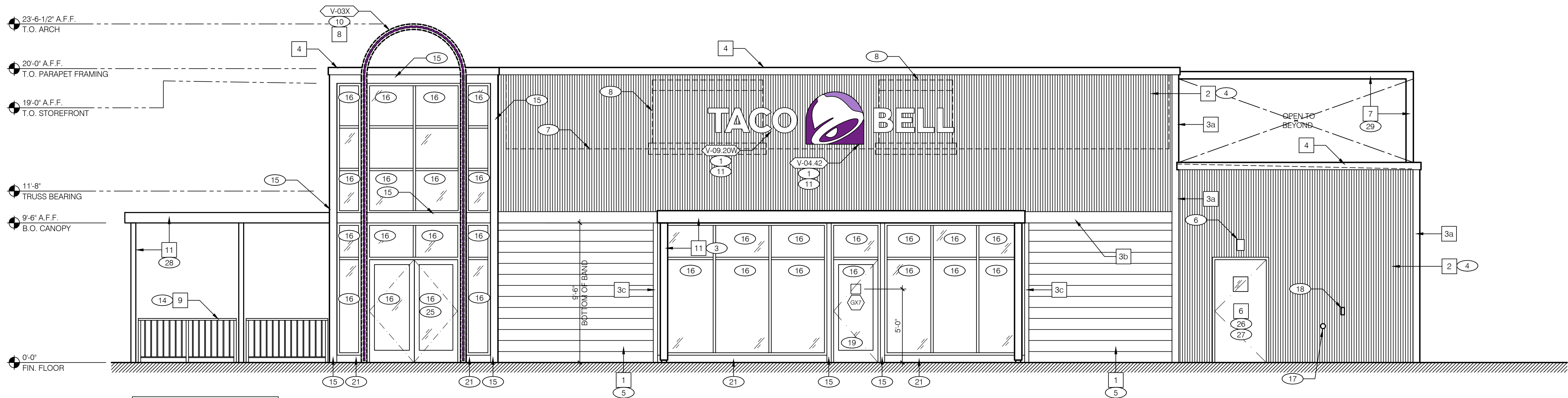
Notes:



PLACEMENT



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6-E-25-SU
Revised: 5/21/2025

WEST ELEVATION	1/4"=1'-0"	A
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1	Planning Comments	05.20.20
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SYMBOL	ITEM / MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	NOTES	CONTACT INFORMATION
CLADDING						
1	SIDING, LOWER HALF OF BUILDING	JAMES HARDIE	ARTISAN SQUARE CHANNEL SIDING, PRE-PRIMED, SMOOTH TEXTURE. 10.25" X 5/8"	SW6990 (CAVIAR)	9" EXPOSURE, 12-0" PLANKS.	X
2	SIDING, UPPER HALF OF BUILDING AND REAR	PAC-CLAD	BOX RIB 1 ARCHITECTURAL WALL PANELS - 24 GA. STEEL	MATTE BLACK	1-3/8" DEEP PANELS	X
TRIM						
3a	WALL TRIM: VERTICAL	JAMES HARDIE	PRIMED TRIM 5.5" X 1.0"	SW6990 (CAVIAR)	OVER 3/4" PLYWOOD, HARDIE OR MDF FILLER	X
3b	WALL TRIM: HORIZONTAL	JAMES HARDIE	PRIMED TRIM 7.25" X 1.0"	SW6990 (CAVIAR)	OVER 3/4" PLYWOOD, HARDIE OR MDF FILLER	X
3c	WALL TRIM: WINDOWS	JAMES HARDIE	PRIMED TRIM 3.5" X 1.0"	SW6990 (CAVIAR)	OVER 3/4" PLYWOOD, HARDIE OR MDF FILLER	X
METAL						
4	PARAPET CAP	X		SW6990 CAVIAR	X	X
5	DOWNSPOUTS, COLLECTOR BOXES, OVERFLOW SCUPPERS	X		SW6990 CAVIAR	X	X
6	SERVICE DOOR AND FRAME	X		SW6990 CAVIAR	X	X
7	METAL TUBE FRAME - REAR OF BUILDING	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
8	METAL ARCH TUBE FRAME (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
9	RAILINGS AND POSTS	AMERICAN RAILING SYSTEMS		PRE-FINISHED TO MATCH SW6990 CAVIAR (PREFERRED POWDER COATED)	SEE DETAIL 14/A6.2	X
10	NOT USED					X
11	EXTERIOR METAL CANOPIES, BRACKETS AND COLUMNS. (BY VENDOR)	X		PAINTED OR POWDERCOATED TO MATCH SW6990 CAVIAR	X	X
12	ACCENT PANEL (BY VENDOR)	BRIDGER STEEL	7.2 STRUCTURAL BOX RIB PANEL	REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
PAINT						
15	EXTERIOR PAINT	SHERWIN WILLIAMS	EXTERIOR PAINT (OR PRE-FINISHED TO MATCH)	SW6990 (CAVIAR)	X	X

COORDINATION NOTE:
CONTACT YOUR ALIGNED BRAND DESIGNER FOR ALTERNATIVE FINISHES

EXTERIOR FINISH SCHEDULE

E

MISCELLANEOUS

A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS

SEALERS (REFER TO SPECS)

A. SEALANT AT ALL WALL AND ROOF PENETRATIONS

B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.

THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS:

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR
INSTALLED SIGNAGE AND BUILDING ELEMENTS.

[illegible]

NOTE: REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION

GENERAL NOTES	C
----------------------	----------

- 1 BUILDING SIGN BY VENDOR. SEE ELECTRICAL PLANS.
- 2 DRIVE-THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 4 ARCHITECTURAL METAL PANELS.
- 5 HORIZONTAL WALL PLANKS.
- 6 WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0 AND ELECTRICAL DRAWINGS.
- 7 INDICATES TOP OF ROOF DECK.
- 8 ROOFTOP EQUIPMENT - SHOWN DASHED FOR REFERENCE.
- 9 BOLLARDS PER CIVIL.
- 10 ILLUMINATED METAL TUBE ARCH BY SIGN VENDOR.
- 11 VERIFY ALL UL RATED STICKERS ON SIGNS ARE NOT WITHIN CUSTOMER VISIBILITY WHEN ALLOWABLE. WHEN JURISDICTION REQUIRES CUSTOMER VISIBILITY, MAKE SURE STICKERS ARE NOT PROMINENTLY DISPLAYED. VENDOR STICKERS SHOULD NOT BE VISIBLE TO THE GENERAL PUBLIC.
- 12 MURAL. SEE ARTWORK SCHEDULE, SHEET A2.0.
- 13 ACCESS THRU PARAPET, 60" WIDE.
- 14 EXTERIOR RAILINGS AT SEATING AREA. SEE DETAIL 14/A6.2. SEE SITE PLAN FOR LOCATION.
- 15 METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (BLACK).
- 16 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW.
- 17 HOSE BIB - REFER TO PLUMBING DRAWINGS.
- 18 CO2 FILL VALVE @ 42" A.F.F..
- 19 PROVIDE "EXIT ONLY" SIGN (GXXX) AT 5'-0" A.F.F., AS ALLOWED BY AHJ.
- 20 SWITCHGEAR, PAINT TO MATCH WALL SURFACE.
- 21 CONCRETE BUILDING CURB SHALL BE PAINTED BLACK.
- 22 OVERFLOW SCUPPER
- 23 GAS METER. DO NOT PAINT METER.
- 24 NOT USED.
- 25 HANDICAP SIGNAGE; MOUNT AT 5'-0" A.F.F.
- 26 SECURITY DOOR. OWNER-SUPPLIED / G.C. INSTALL.
- 27 EMPLOYEE ACCESS DOOR.
- 28 PATIO CANOPY BY VENDOR.
- 29 PAINTED ALUMINUM FRAME WITH INTEGRATED LED LIGHTING BY VENDOR.
- 30 NOT USED.
- 31 ASSUME D/T LAND SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN. COORDINATE WITH CIVIL ENGINEER.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

KEY NOTES

CONTRACT DATE: 03.11.2019

BUILDING TYPE: KITCHEN-X V3.0

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 317170

STORE NUMBER: 46367

PA/PM: RS

DRAWN BY.: RS

JOB NO.: 2024088.0

KITCHEN-X V3.0

5900-5902 Kingston Pike
Knoxville, TN 37919

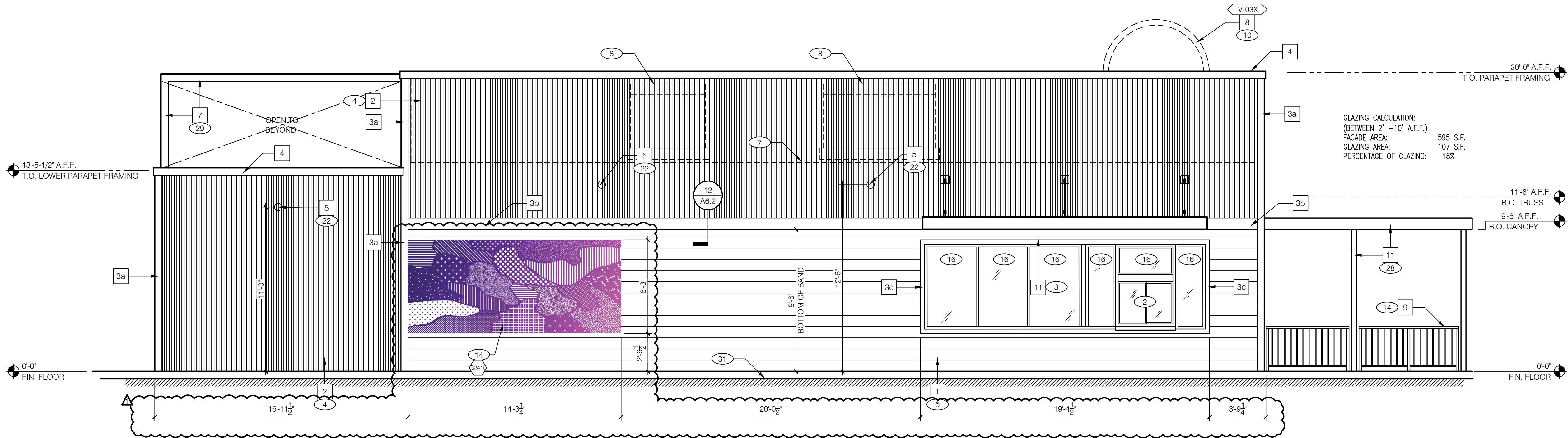


EXTERIOR ELEVATIONS

A4.0

PLOT DATE

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SEE SHEET A4.0 FOR KEYNOTES, FINISH SCHEDULE AND SIGNAGE SCHEDULE

EAST ELEVATION 1/4"=1'-0" **B**



PLAN SET ISSUE / REVISION HISTORY

1 Planning Comments 05.20.25

CONTRACT DATE: 03.11.25
BUILDING TYPE: KITCHEN-X V3.0
WM UPLOAD DATE:
BRAND DESIGNER: TS
SITE NUMBER: 317176
STORE NUMBER: 463675
PA/PM: RS
DRAWN BY.: RS
JOB NO.: 2024088.07

KITCHEN-X V3.0

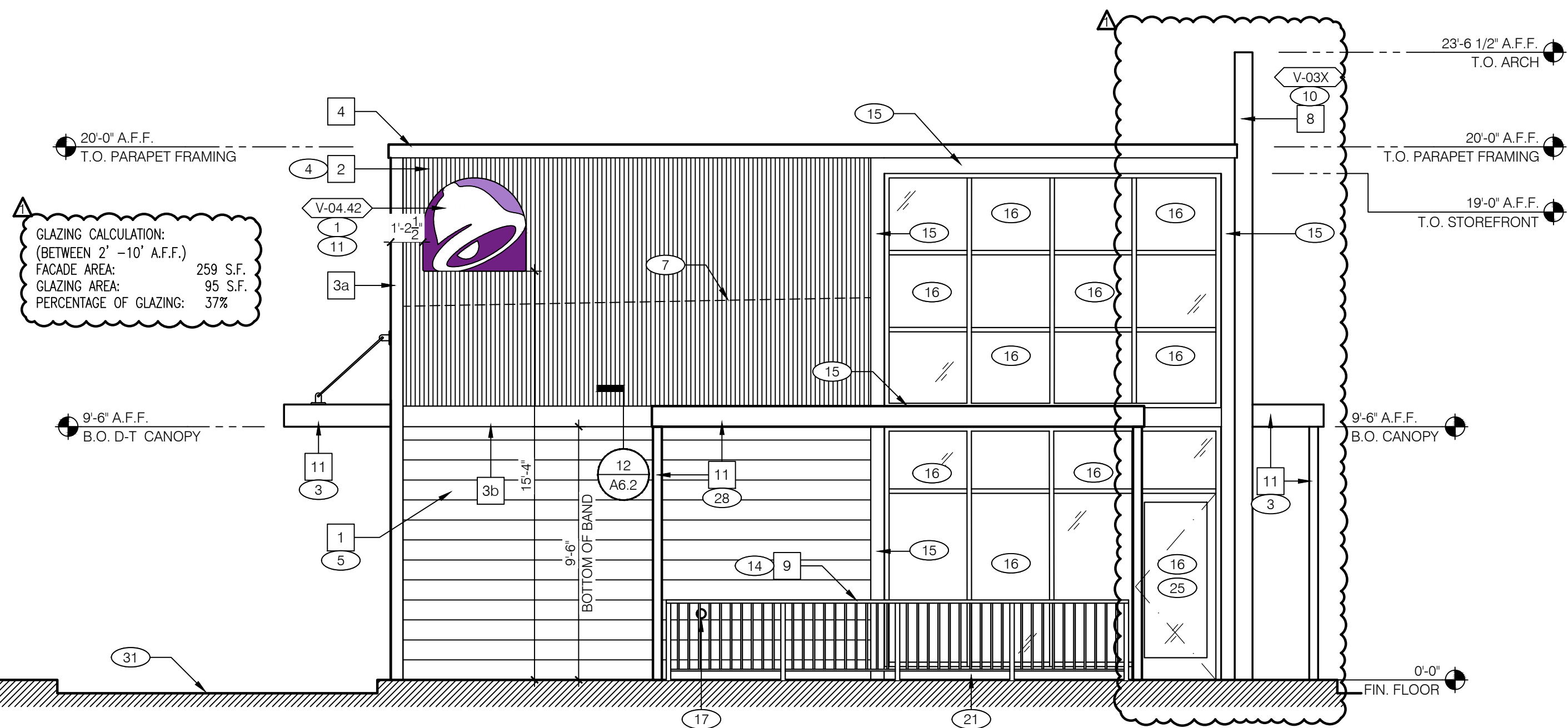
5900-5902 Kingdon Pike
Knoxville, TN 37919



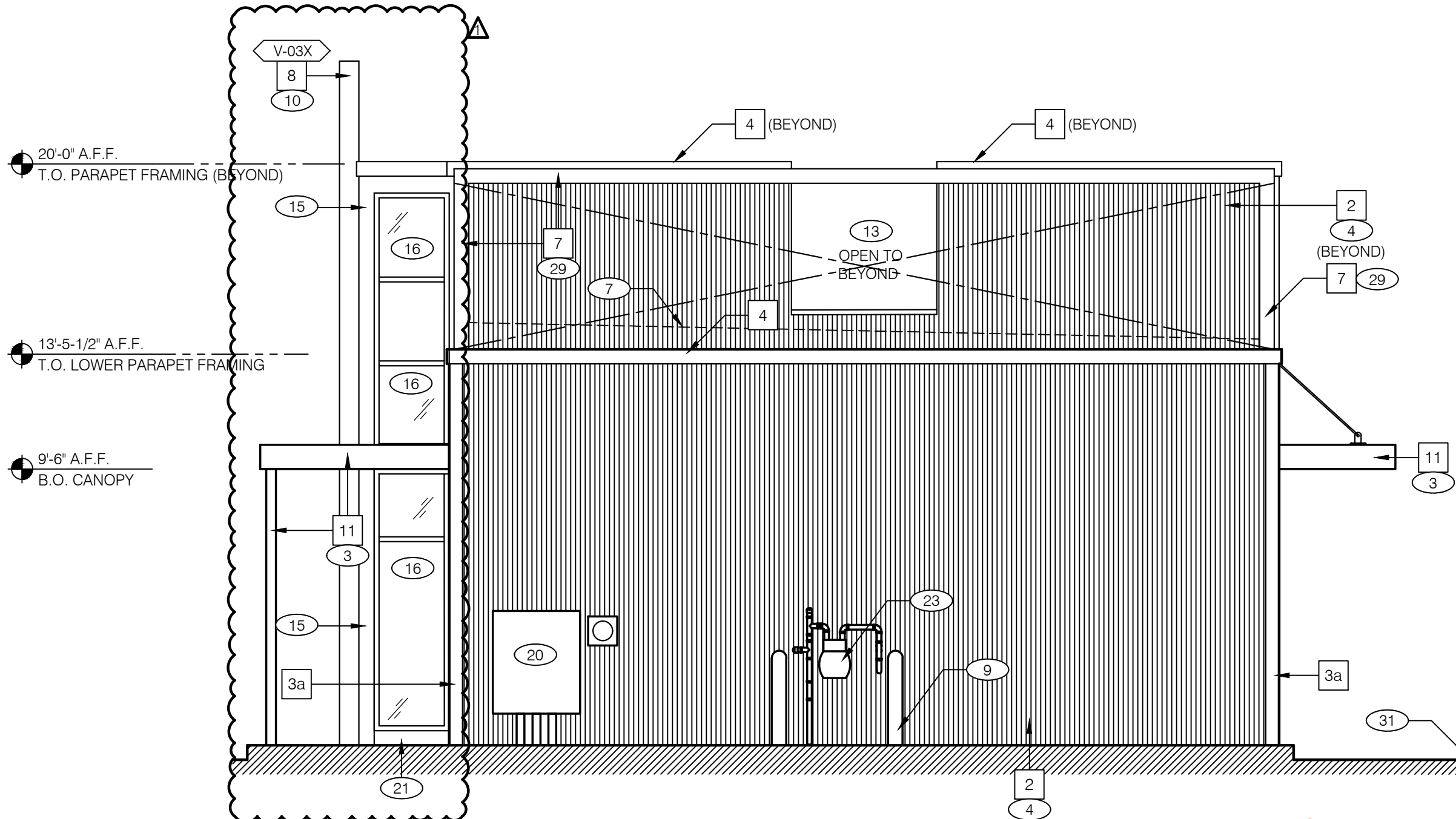
**EXTERIOR
ELEVATIONS**

A4.1

PLOT DATE:



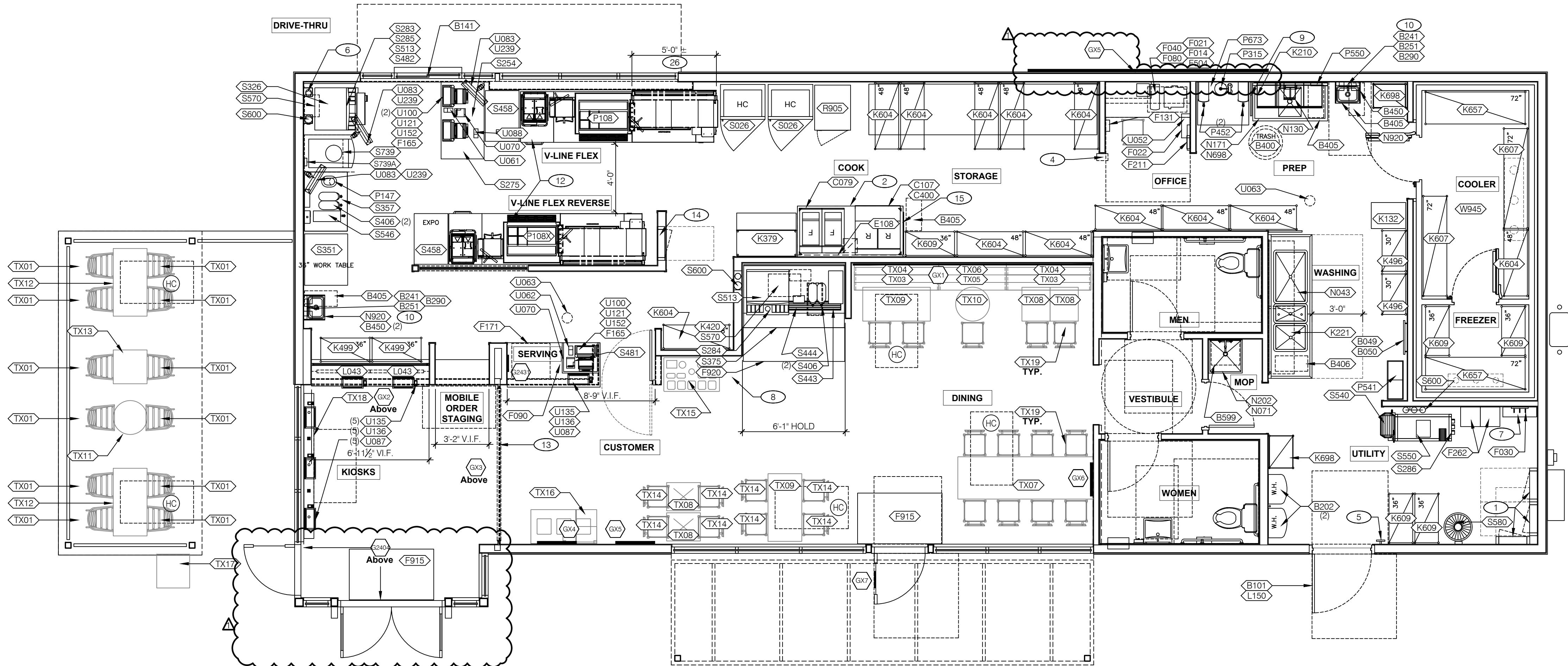
NORTH ELEVATION 1/4"=1'-0" **D**



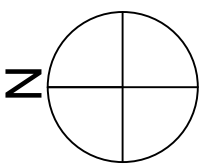
6-E-25-SU
Revised: 5/21/2025

SOUTH ELEVATION 1/4"=1'-0" **C**

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6-E-25-SU
Revised: 5/21/2025



EQUIPMENT AND SEATING PLAN 1/4"=1'-0" **A**

TAG	QTY	ITEM DESCRIPTION
TX01	12	PATIO CHAIR - 22 X 20 - EXTERIOR
TX02	0	BARREL BARSTOOL - 29 PURPLE WOOD SEAT
TX03	2	BENCH BACK REST - 48"
TX04	2	BENCH SEAT - 48"
TX05	1	BENCH BACK REST - 60"
TX06	1	BENCH SEAT - 60"
TX07	1	HUB TABLE - 96" - (NOT HIGH TOP)
TX08	4	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP
TX09	2	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP
TX10	1	SS TABLE - 24 DIA X 30 - 2 TOP
TX11	1	PATIO TABLE - 24 DIA X 30 - 2 TOP - EXTERIOR
TX12	2	PATIO TABLE ADA - 24 X 48 X 30 - 4 TOP - EXTERIOR
TX13	1	PATIO TABLE - 24 X 20 X 30 - 2 TOP - EXTERIOR
TX14	4	COUNTER TOP - 60" X 20" X 30"
TX15	1	CONDIMENT COUNTER - RECTANGLE
TX16	1	WASTE ENCLOSURE - 3 STREAM
TX17	1	WASTE ENCLOSURE - SINGLE - EXTERIOR
TX18	1	KIOSK TABLE W/ (2)CORE DRILLED SUPPORTS, (3)GROMMETS

FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N.

TAG	QTY	ITEM DESCRIPTION
TX19	13	CHAIR - LAMINATE SEAT

X	QTY	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
GX1	1				H 7'-0" X W 15'-0"	SEE A8.0
GX2	1				H 13'-0" X W 10'-0"	SEE A8.0
GX3	1				H 13'-0" X W 14'-0"	SEE A8.0
GX4	1				28x40	SEE A8.0
GX5	1				28x40	SEE A8.0
GX6	1				30"	SEE A8.0
GX7	1	"DO NOT ENTER" DOOR SIGN				SEE A4.0
GX8	1	MEDIA: 3M IJ 8150 LAM.: 3M IJ 8914			CUSTOM	SEE A1.1
GX9	1	IN-STORE ORDER PICK-UP SIGN				
GX10	1	EXTERIOR MURAL			CUSTOM	SEE A4.1

ARTWORK PROVIDED IS FPO (for placement only) REFER TO ARTWORK CATALOG ON TACOBELLPLANS.COM FOR 3 OTHER OPTIONS

ALL DIMENSIONS ON WALLS TO RECEIVE MURALS SHALL BE FIELD VERIFY PRIOR TO ORDERING AND LARGER THEN ACTUAL WALL FOR EDGE TO EDGE COVERAGE.

ARTWORK SCHEDULE

DECOR

- REFER TO SC SHEETS FOR SCOPE OF WORK FOR RESPONSIBILITIES.
- (HC) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

GENERAL NOTES

- ELECTRICAL PANELS.
- HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
- MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS, 32" AT DOORWAYS AND CASED OPENINGS. (42" AISLE REQUIRED WHEN AISLE SERVES MORE THAN 50 SEATS).
- ALERT LIGHT BOX FOR 3-COMP POWER SOAK.
- PULL STATION @ 3'-8" A.F.F.
- REFRIGERANT LINES RUN IN SS CHASE MOUNTED TO WALL.
- TCCB ENERGY MANAGEMENT BOX ABOVE COAT RACK F030.
- LOCATE BOOSTER SEATS OR HIGH CHAIRS AT THIS LOCATION.
- SPLASH GUARD.
- AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.
- GAS METER.
- FOR V-LINE FLEX SUB-EQUIPMENT SEE SHEETS A8.2 & A8.3.
- ROLL-UP GRILLE.
- LOCATION OF V-LINE ELECTRIC PANEL.
- HOOD END PANEL.
- STAINLESS STEEL CONCEALMENT PANEL BEHIND HIGH PORTION OF V-LINE AT WINDOW FROM TOP OF WINDOW SILL TO TOP OF HIGH EQUIPMENT.

STORAGE TYPE	LINEAR FT.
DRY STORAGE	46
COLD STORAGE	22
FROZEN STORAGE	12

SHELVING QUANTITIES

KEY NOTES



PLAN SET ISSUE / REVISION HISTORY

1 Planning Comments 05.20.25

CONTRACT DATE: 03.11.25

BUILDING TYPE: KITCHEN-X V3.0

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 317176

STORE NUMBER: 463675

PA/PM: RS

DRAWN BY.: RS

JOB NO.: 2024088.07

KITCHEN-X V3.0

5900-5902 Kingston Pike
Knoxville, TN 37919



**EQUIPMENT
AND SEATING
PLAN**

A2.0

PLOT DATE:

Taco Bell 5900 Kingston Pike Proposed Cemetery Fencing

