

NOTE:
THREE DAYS PRIOR TO ANY EARTHWORK
OR CONSTRUCTION CONTRACTOR MUST
CONTACT:
TENNESSEE ONE-CALL
1-800-351-1111
RECORD AND SAVE YOUR CONFIRMATION
NUMBER.

NOTE:

CONTRACTOR TO NOTIFY ENGINEER
BEFORE START OF CONSTRUCTION

NOTE:

CONTRACTOR IS RESPONSIBLE FOR
ALL TRENCH SAFETY

CONTRACTOR SHALL SHORE AND
BRACE ALL OPEN CUT TRENCHES AS
REQUIRED BY STATE AND FEDERAL
LAWS AND LOCAL ORDINANCES; TO
CONFORM WITH RECOMMENDATIONS
SET FORTH IN AGC MANUAL OF
ACCIDENT PREVENTION IN
CONSTRUCTION; TO PROTECT LIFE,
PROPERTY, OR WORK; TO AVOID
EXCESSIVELY WIDE CUTS IN
UNSTABLE MATERIAL.

OSHA RULES SHALL BE ABIDED BY.

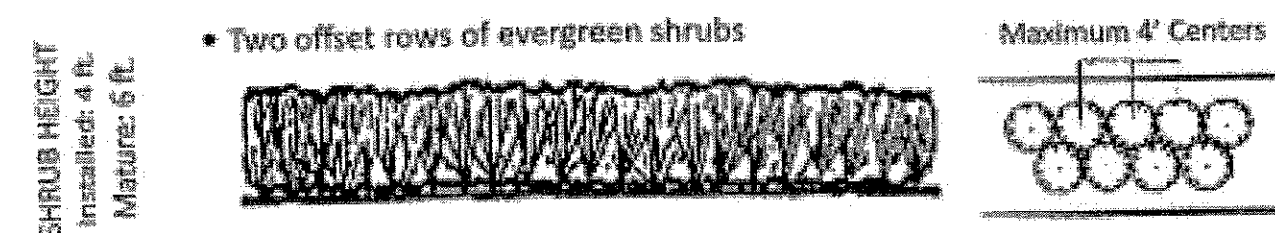


Design Guidelines Landscape Screening

Type "B" Screen: Continuous

APPROPRIATE LOCATION: Screening parking and loading areas from
adjoining residential and office districts

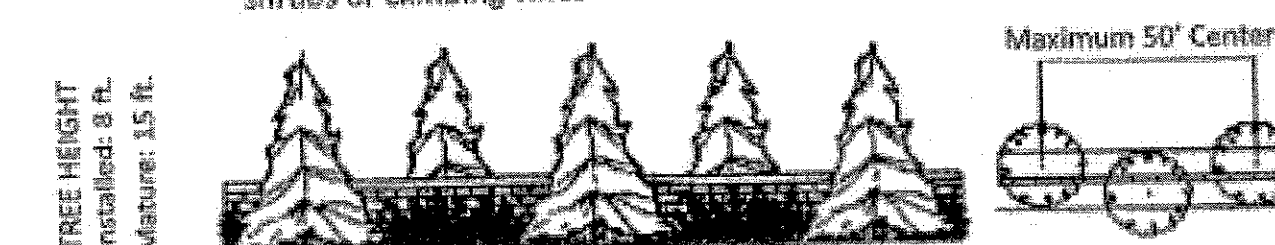
NOTE: Landscape buffer strips should be a minimum of 12 feet in width,
and sown with grass or ground cover for their full width, allowing for
mulch at the base of plantings.



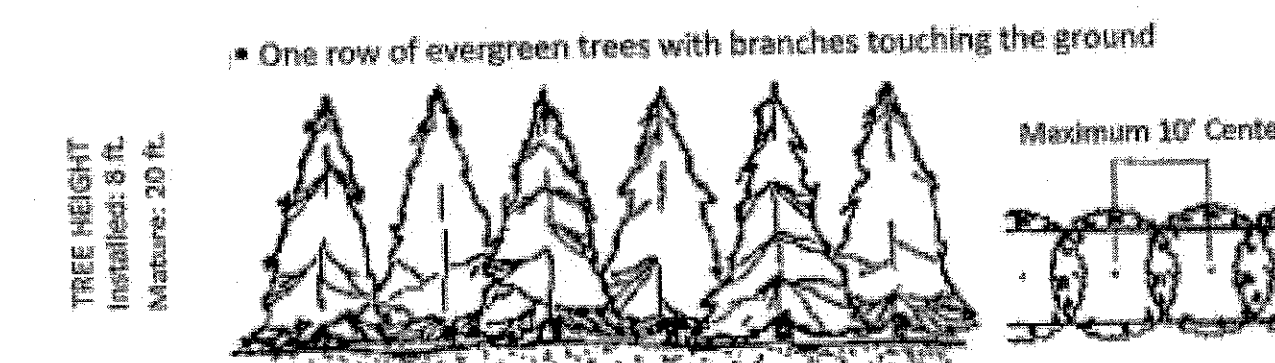
- Two offset rows of evergreen shrubs



- A continuous row of evergreen shrubs on a 3 ft. high earth berm



- A 5 ft. high masonry wall or timber fence with evergreen trees and low shrubs or climbing vines



- One row of evergreen trees with branches touching the ground

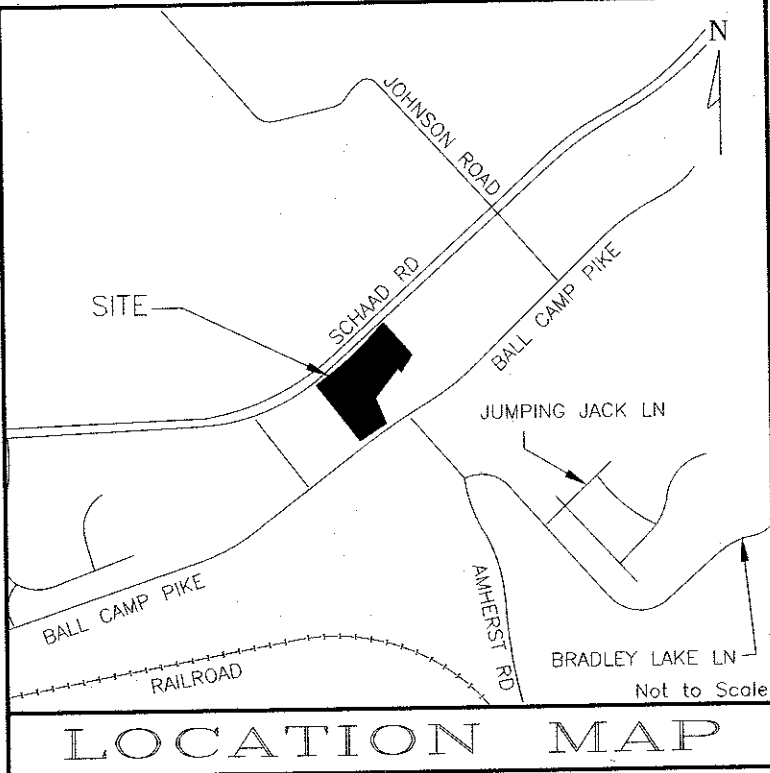
Knoxville-Knox County Planning | KnoxPlanning.org
400 Main Street, Suite 403 | Knoxville, TN 37902 | 865.215.2500

INTRODUCTION
Landscape screening reduces the impact of
intense development upon adjacent land
uses by providing visual
separation, reducing the transmission
of glare and air
pollution, and limiting
access. Screening
also promotes the
aesthetic appeal of
a neighborhood and
promotes higher
property values.

This series of design
guidelines defines
several types of
landscape screen.
Each type is applicable
to a certain intensity
of conflict between
adjacent land uses.
Each screen type is
illustrated by several
planting schemes with
an equivalent height,
density and opacity of
landscaping.

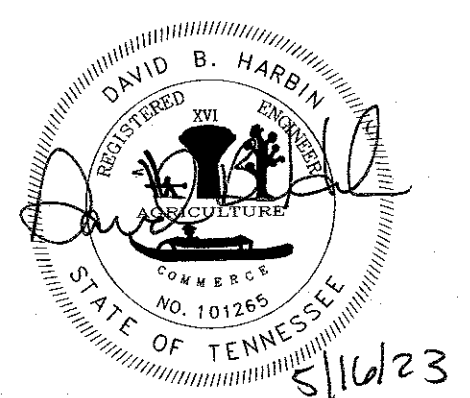
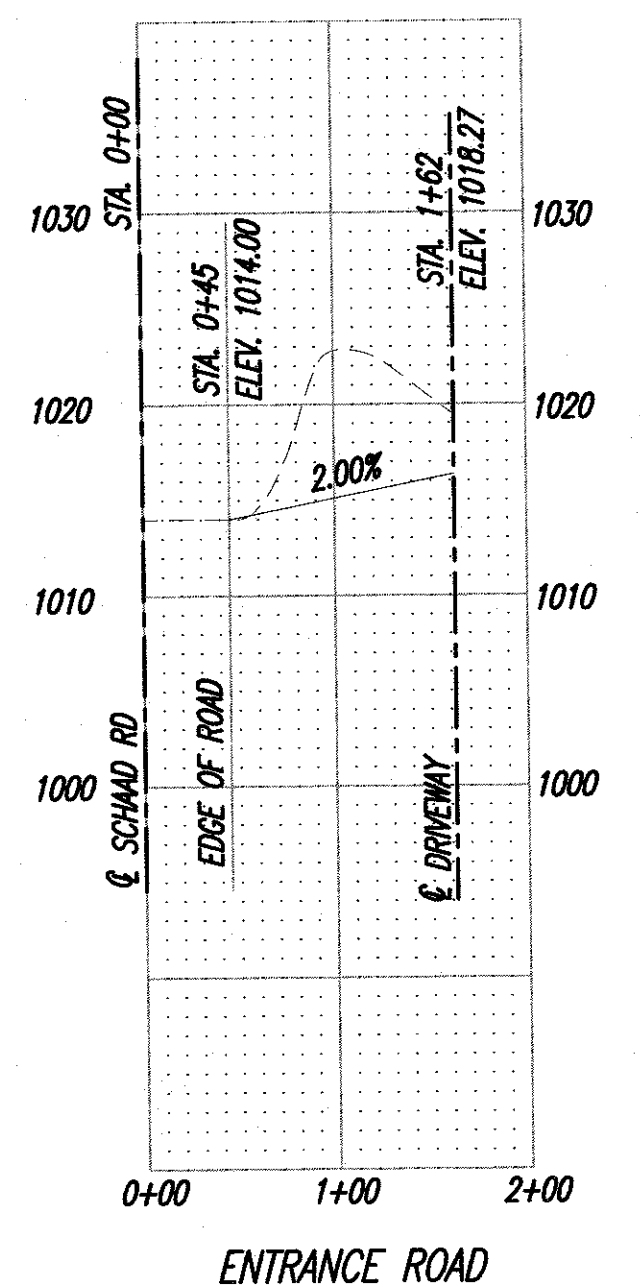
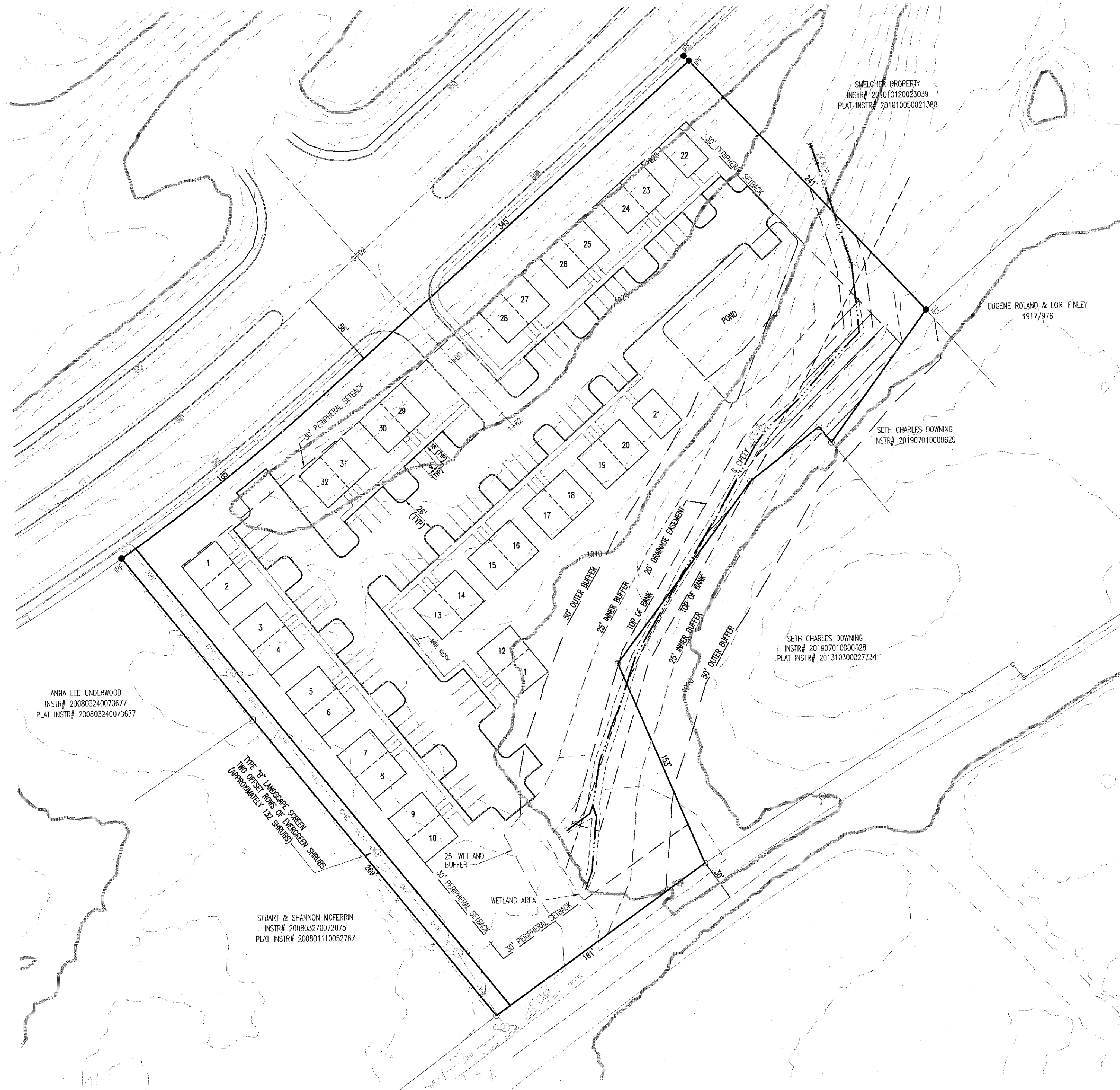
Planning uses these
guidelines to illustrate
desirable levels of
screening appropriate
to various site planning
situations. Creative
alternatives which
achieve a comparable
effect are encouraged.

The contents of these
guidelines are advisory
and are intended to
supplement, but
not replace, the
requirements of
the Knoxville Zoning
Ordinance and the
Knox County Zoning
Ordinance.



NOTES:

- ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAT.
- A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
- A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
- THIS PROPERTY CONSISTS OF 3.932 ACRES CONTAINING 32 TOWNHOMES.
- THIS PROPERTY IS ZONED PR.
- ALL ROAD PROFILES ARE BASED ON LIDAR CONTOURS.
- UTILITIES:
WATER: KNOXVILLE UTILITIES BOARD
SEWER: KNOXVILLE UTILITIES BOARD
ELECTRIC: KNOXVILLE UTILITIES BOARD
GAS: KNOXVILLE UTILITIES BOARD
TELEPHONE: AT&T
- GEOTECHNICAL ENGINEER SHALL CERTIFY THE SLOPE STABILITY ON ALL FILL SLOPES.
- BUILDING SETBACKS ARE AS FOLLOWS:
30' PERIPHERAL SETBACK ON ALL PROPERTY LINES
- EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS RESPONSIBLE TO FIELD LOCATE ALL UTILITIES, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION.



OWNER/DEVELOPER
SERGHEY BOTEZAT
8034 TEAGUE WAY
KNOXVILLE, TN 37938

Revised: 5/19/2023

6-F-23-DP



BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

DESIGNED DBH
DRAWN SEW
CHECKED DBH

1 5/16/23 KKCP COMMENTS

REVISION

APPR.

NO. DATE

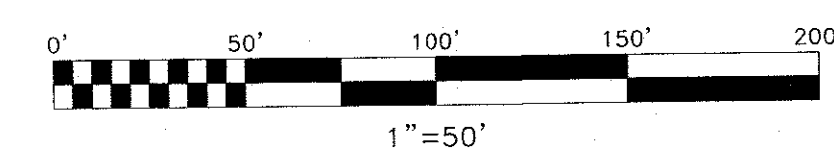
REVISION

APPR.

SCALE
HORIZONTAL: 1"= 50'
VERTICAL: 2" INTERVAL

DATE
04/24/2023

DEED REFERENCE: INSTR. #201311130030763
PLAT REFERENCE: INSTR. #201310300027734



SITE PLAN FOR
BOTEZAT-SCHAAD ROAD AT AMHERST ROAD
TAX MAP 92 PARCEL 4.05
6TH CIVIL DISTRICT, KNOX COUNTY, TENNESSEE

25193-SP

SHEET 3 OF 14 SHEET(S)

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