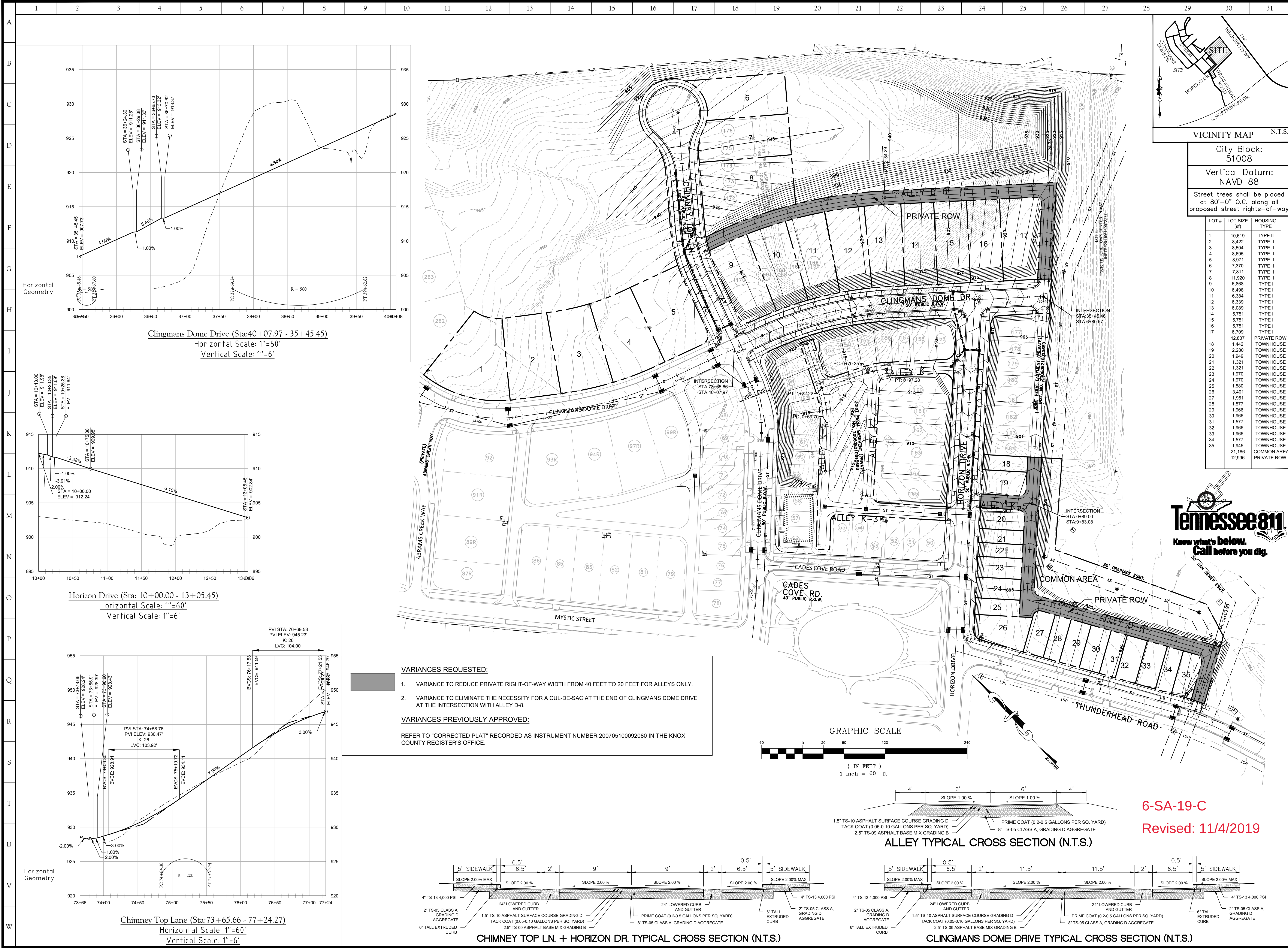




VICINITY MAP N.T.S.

City Block: 51008

Vertical Datum: NAVD 88

Street trees shall be placed at 80'-0" O.C. along all proposed street rights-of-way

LOT #	LOT SIZE (S)	HOUSING TYPE
1	10,619	TYPE II
2	8,422	TYPE II
3	8,504	TYPE II
4	8,695	TYPE II
5	8,971	TYPE II
6	7,370	TYPE II
7	7,811	TYPE II
8	11,920	TYPE II
9	6,868	TYPE I
10	6,498	TYPE I
11	6,384	TYPE I
12	6,339	TYPE I
13	6,089	TYPE I
14	5,751	TYPE I
15	5,751	TYPE I
16	5,751	TYPE I
17	6,709	TYPE I
18	12,837	PRIVATE ROW
19	1,442	TOWNHOUSE
20	2,280	TOWNHOUSE
21	1,949	TOWNHOUSE
22	1,321	TOWNHOUSE
23	1,970	TOWNHOUSE
24	1,970	TOWNHOUSE
25	1,580	TOWNHOUSE
26	3,401	TOWNHOUSE
27	1,951	TOWNHOUSE
28	1,577	TOWNHOUSE
29	1,966	TOWNHOUSE
30	1,966	TOWNHOUSE
31	1,577	TOWNHOUSE
32	1,966	TOWNHOUSE
33	1,966	TOWNHOUSE
34	1,577	TOWNHOUSE
35	1,945	TOWNHOUSE
	21,186	COMMON AREA
	12,996	PRIVATE ROW

STIE INCORPORATED

Civil Engineers ♦ Surveyors

10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (865) 777-4160
www.stie-incorporated.com



Concept Plan - Overall

Northshore Town Center

Clingman Dome Drive
Knoxville, Tennessee

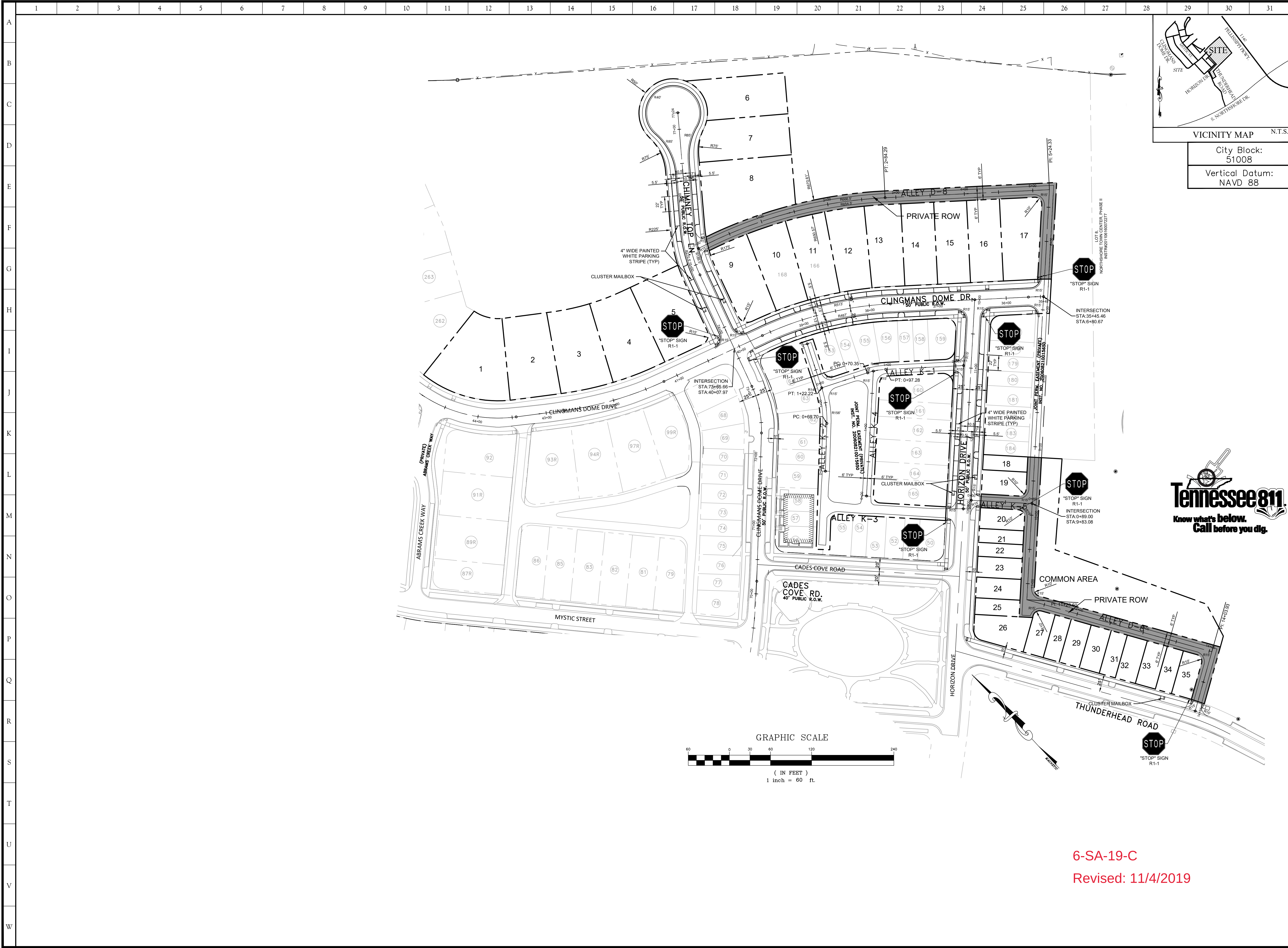
NMI Residential Investments, LLC

DRAWN BY: RWE DATE: 07/23/19

CHECKED BY: JRA FILE: 1758_CD_Concept

REVISIONS	
NO.	DATE
1	08/26/19
2	09/23/19
3	10/28/19
4	11/04/19

CP-1



VICINITY MAP N.T.S.

City Block:
51008

Vertical Datum:
NAVD 88

STIE
INCORPORATED
Civil Engineers ♦ Surveyors
10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (865) 777-4160
www.stie-incorporated.com



Concept Plan - Layout

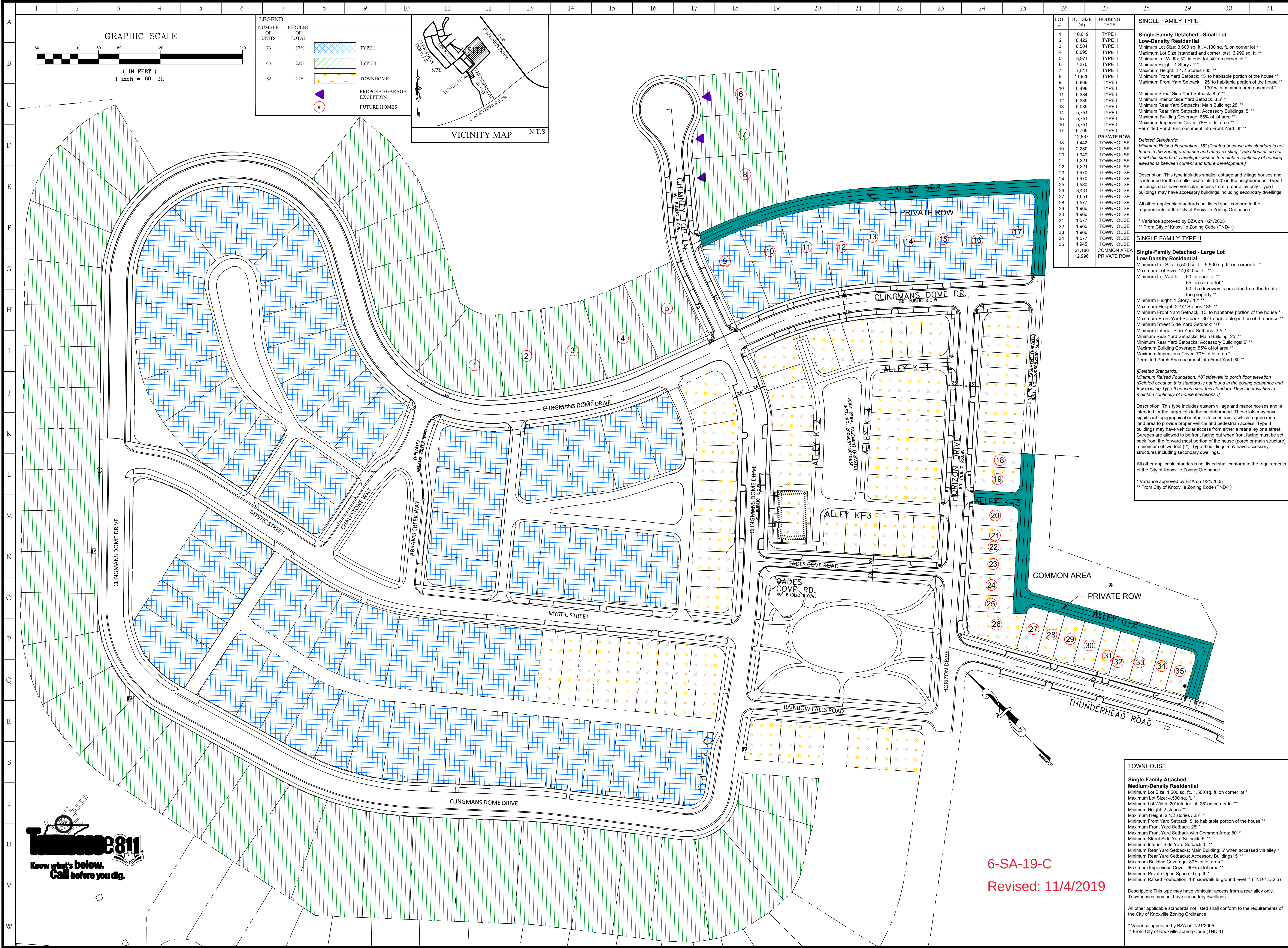
Northshore Town Center

Clingman Dome Drive
Knoxville, Tennessee
NMI Residential Investments, LLC

DRAWN BY: RME		DATE: 09/23/19
CHECKED BY: JRA		FILE: 1758_CD_Concept
REVISIONS		
NO.	DATE	COMMENTS
3	10/28/19	MPC Comments
4	11/04/19	MPC Comments

CP-3

6-SA-19-C
Revised: 11/4/2019



LOT #	LOT SIZE (sf)	HOUSING TYPE
1	10,619	TYPE II
2	8,422	TYPE II
3	8,504	TYPE II
4	8,695	TYPE II
5	8,971	TYPE II
6	7,370	TYPE II
7	7,811	TYPE II
8	11,920	TYPE II
9	6,868	TYPE I
10	6,498	TYPE I
11	6,384	TYPE I
12	6,339	TYPE I
13	6,089	TYPE I
14	5,751	TYPE I
15	5,751	TYPE I
16	5,751	TYPE I
17	6,709	TYPE I
18	12,837	PRIVATE ROW
19	1,442	TOWNHOUSE
20	2,280	TOWNHOUSE
21	1,949	TOWNHOUSE
22	1,321	TOWNHOUSE
23	1,321	TOWNHOUSE
24	1,970	TOWNHOUSE
25	1,580	TOWNHOUSE
26	3,401	TOWNHOUSE
27	1,951	TOWNHOUSE
28	1,577	TOWNHOUSE
29	1,966	TOWNHOUSE
30	1,966	TOWNHOUSE
31	1,577	TOWNHOUSE
32	1,966	TOWNHOUSE
33	1,966	TOWNHOUSE
34	1,577	TOWNHOUSE
35	1,945	TOWNHOUSE
	21,186	COMMON AREA
	12,996	PRIVATE ROW

SINGLE FAMILY TYPE I

Single-Family Detached - Small Lot
Low-Density Residential
Minimum Lot Size: 3,600 sq. ft., 4,100 sq. ft. on corner lot *
Maximum Lot Size (standard and corner lots): 6,999 sq. ft. **
Minimum Lot Width: 32' interior lot, 40' on corner lot *
Minimum Height: 1 Story / 12' *
Maximum Height: 2-1/2 Stories / 35' **
Minimum Front Yard Setback: 15' to habitable portion of the house **
Minimum Front Yard Setback: 25' to habitable portion of the house **
Minimum Street Side Yard Setback: 8.5' **
Minimum Interior Side Yard Setback: 3.5' **
Minimum Rear Yard Setbacks: Main Building: 25' **
Minimum Rear Yard Setbacks: Accessory Buildings: 5' **
Maximum Building Coverage: 65% of lot area **
Maximum Impervious Cover: 75% of lot area **
Permitted Porch Encroachment into Front Yard: 6ft **

Deleted Standards:
Minimum Raised Foundation: 18" (Deleted because this standard is not found in the zoning ordinance and many existing Type I houses do not meet this standard. Developer wishes to maintain continuity of housing elevations between current and future development.)

Description: This type includes smaller cottage and village houses and is intended for the smaller width lots (<50') in the neighborhood. Type I buildings shall have vehicular access from a rear alley only. Type I buildings may have accessory buildings including secondary dwellings.

All other applicable standards not listed shall conform to the requirements of the City of Knoxville Zoning Ordinance.

* Variance approved by BZA on 1/21/2005
** From City of Knoxville Zoning Code (TND-1)

SINGLE FAMILY TYPE II

Single-Family Detached - Large Lot
Low-Density Residential
Minimum Lot Size: 5,500 sq. ft., 5,500 sq. ft. on corner lot *
Maximum Lot Size: 14,000 sq. ft. **
Minimum Lot Width: 50' interior lot **
55' on corner lot *
60' if a driveway is provided from the front of the property **
Minimum Height: 1 Story / 12' **
Maximum Height: 2-1/2 Stories / 35' **
Minimum Front Yard Setback: 15' to habitable portion of the house *
Maximum Front Yard Setback: 30' to habitable portion of the house **
Minimum Street Side Yard Setback: 10' *
Minimum Interior Side Yard Setback: 3.5' *
Minimum Rear Yard Setbacks: Main Building: 25' **
Minimum Rear Yard Setbacks: Accessory Buildings: 5' **
Maximum Building Coverage: 55% of lot area **
Maximum Impervious Cover: 70% of lot area *
Permitted Porch Encroachment into Front Yard: 6ft **

Deleted Standards:
Minimum Raised Foundation: 18" sidewalk to porch floor elevation (Deleted because this standard is not found in the zoning ordinance and few existing Type II houses meet this standard. Developer wishes to maintain continuity of house elevations.)

Description: This type includes custom village and manor houses and is intended for the larger lots in the neighborhood. These lots may have significant topographical or other site constraints, which require more land area to provide proper vehicle and pedestrian access. Type II buildings may have vehicular access from either a rear alley or a street. Garages are allowed to be front facing but when front facing must be set back from the forward most portion of the house (porch or main structure) a minimum of two feet (2'). Type II buildings may have accessory structures including secondary dwellings.

All other applicable standards not listed shall conform to the requirements of the City of Knoxville Zoning Ordinance.

* Variance approved by BZA on 1/21/2005
** From City of Knoxville Zoning Code (TND-1)

TOWNHOUSE

Single-Family Attached
Medium-Density Residential
Minimum Lot Size: 1,200 sq. ft., 1,500 sq. ft. on corner lot *
Maximum Lot Size: 4,500 sq. ft. **
Minimum Lot Width: 20' interior lot, 25' on corner lot **
Minimum Height: 2 stories **
Maximum Height: 2 1/2 stories / 35' **
Minimum Front Yard Setback: 5' to habitable portion of the house **
Maximum Front Yard Setback: 25' *
Minimum Front Yard Setback with Common Area: 80' *
Minimum Street Side Yard Setback: 5' **
Minimum Interior Side Yard Setback: 0' **
Minimum Rear Yard Setbacks: Main Building: 5' when accessed via alley *
Minimum Rear Yard Setbacks: Accessory Buildings: 5' **
Maximum Building Coverage: 80% of lot area **
Maximum Impervious Cover: 90% of lot area **
Minimum Private Open Space: 0 sq. ft. *
Minimum Raised Foundation: 18" sidewalk to ground level ** (TND-1 D.2.a)

Description: This type may have vehicular access from a rear alley only. Townhouses may not have secondary dwellings.

All other applicable standards not listed shall conform to the requirements of the City of Knoxville Zoning Ordinance.

* Variance approved by BZA on 1/21/2005
** From City of Knoxville Zoning Code (TND-1)

SIEB INCORPORATED
Civil Engineers ♦ Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
www.sieb-incorporated.com

Concept Plan - Lot Exhibit

Northshore Town Center

Clingman Dome Drive
Knoxville, Tennessee
NMI Residential Investments, LLC

DR-4-WN BY: WJE DATE: 09/23/19
CHECKED BY: JRA FILE: 1758 CD Concept

REVISIONS	
NO.	DATE
1	10/28/19
2	11/04/19
3	
4	

COMMENTS
MPC Comments
MPC Comments

CP-4



6-SA-19-C
Revised: 11/4/2019