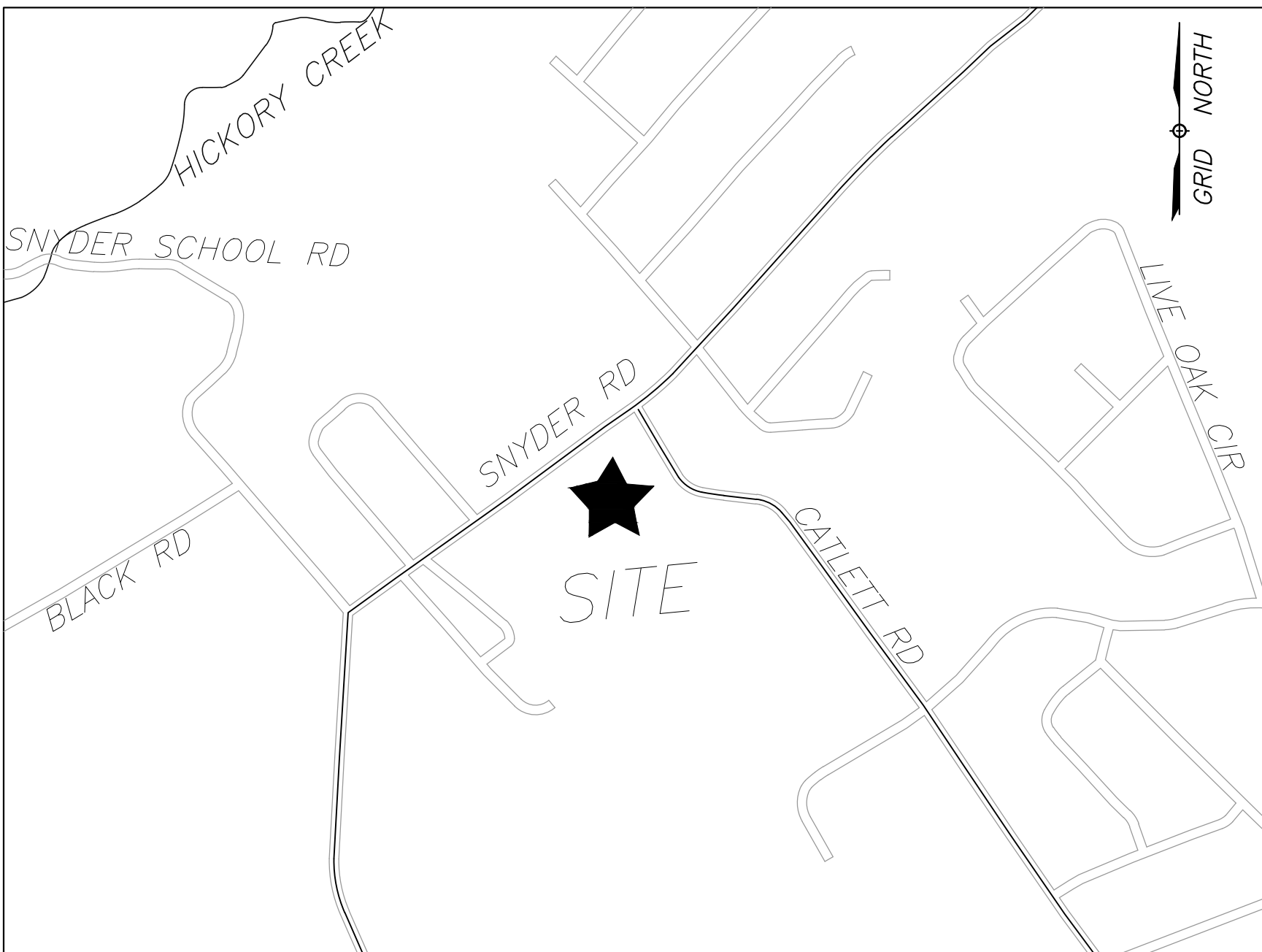


CONCEPT PLAN

U.E.I. PROJECT NO. 2404015

CATLETT ROAD SUBDIVISION

SITE ADDRESS: 1141 CATLETT ROAD, KNOXVILLE, TENNESSEE 37932
TAX MAP: 130, PARCEL: 160.00



LOCATION MAP

DEVELOPER:
LEONARD DEVELOPMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919
(865)970-9888



SITE ENGINEER:
URBAN ENGINEERING, INC.
CHRIS SHARP
10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

SPECIFICATIONS
EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.
ELECTRICAL - AS DIRECTED BY LENOIR CITY UTILITIES BOARD
GAS - AS DIRECTED BY KNOXVILLE UTILITIES BOARD
WATER & SEWER - AS DIRECTED BY WEST KNOX UTILITY DISTRICT
TELEPHONE - AS DIRECTED BY AT&T
CABLE - AS DIRECTED BY COMCAST
SITE DEVELOPMENT - KNOX COUNTY STANDARDS AND SPECIFICATIONS

SHEET INDEX

TITLE

TITLE SHEET
KEY SHEET / TYPICAL SECTION
SITE PLAN
ROAD PROFILES

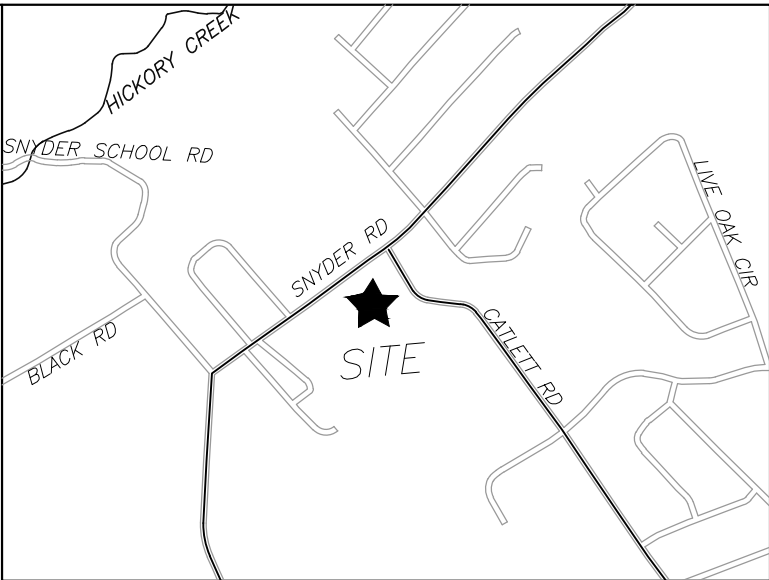
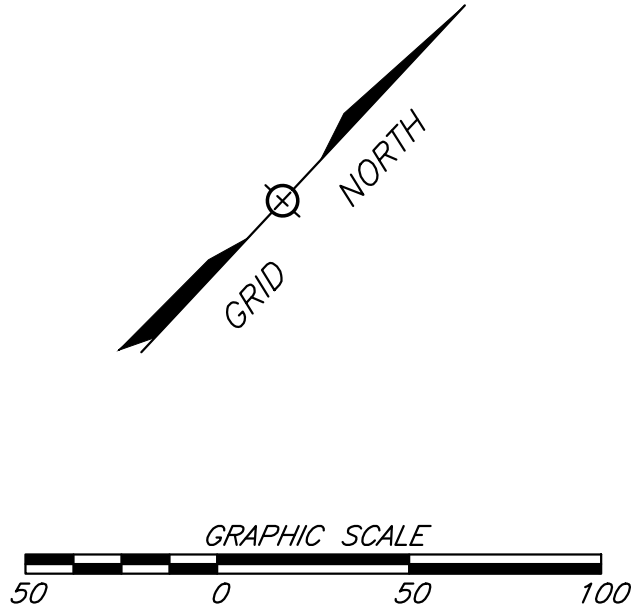
SHEET

C-0
C-1
C-2 & C-3
C-4

Rev 5.21.2024

MPC FILE# 6-SA-24-C / 6-A-24-DP

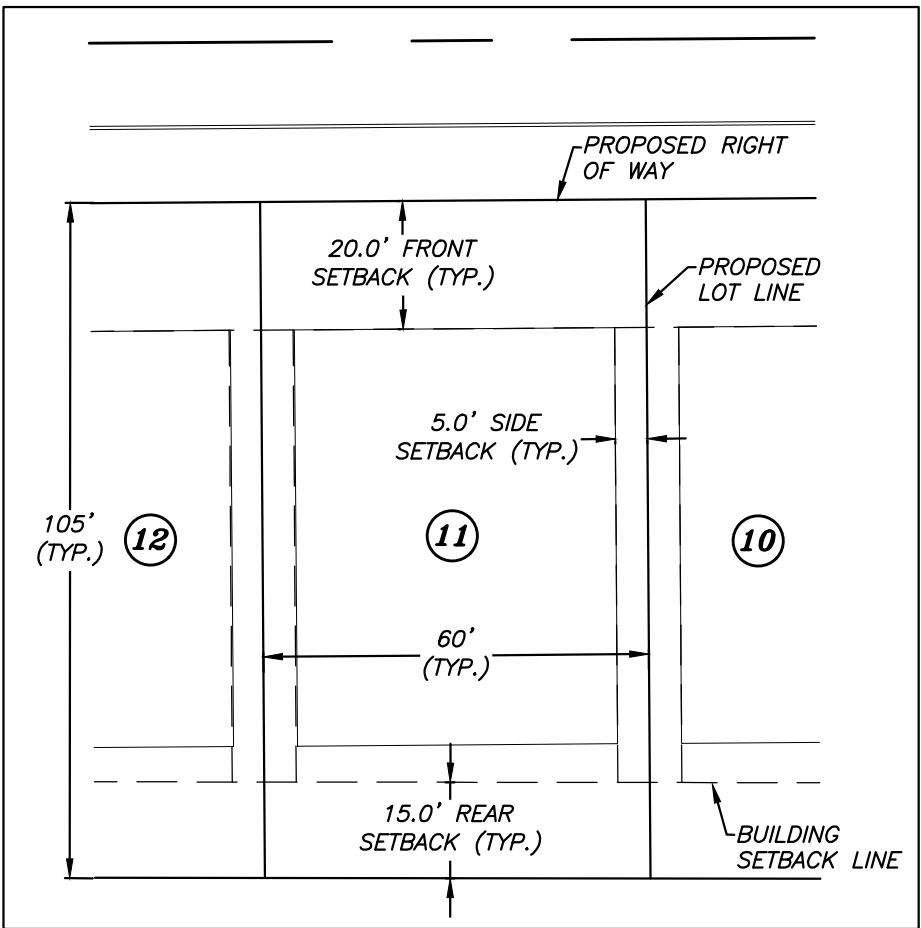
2	5/22/24	SUBMITTAL 2
ISSUE NO.	DATE	DESCRIPTION



LOCATION MAP

SITE PLAN NOTES:

1. THIS PROPERTY IS ZONED 'PR'. REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: HOUSES, TWENTY (20) FEET
PERIPHERY: THIRTY FIVE (35) FEET (MINIMUM)
SIDE: FIVE (5) FEET
REAR: FIFTEEN (15) FEET
2. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
3. HORIZONTAL COORDINATES ARE TENNESSEE STATE PLANE. VERTICAL DATUM IS NAVD88.
4. ALL WORK SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S SPECIFICATIONS FOR SITE DEVELOPMENT.
5. THE CURRENT TOTAL AREA OF THE DEVELOPMENT IS 10.2 ACRES.
6. THE DEVELOPMENT PROPOSES 33-UNITS (3.2 UNITS PER ACRE).
7. PROPOSED OPEN SPACE (INCLUDING EASEMENTS, & AREAS WITHIN STORM WATER DETENTION AREAS) = 1.5± ACRES (14.7%)
8. THE PROPOSED LOTS SHALL HAVE VEHICULAR ACCESS TO INTERNAL ROADS ONLY.
9. A HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED TO ADDRESS MAINTENANCE OF THE COMMON AREAS.
10. 10' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL EXTERIOR BOUNDARY LINES AND PUBLIC RIGHT OF WAY. 5' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL INTERIOR LOT LINES EXCEPT WHEN UNDER BUILDINGS.
11. THE TOTAL AREA OF THE PROPERTY COVERED BY HILLSIDE PROTECTION IS 3.21 ACRES.
12. SEE THIS SHEET FOR INTERNAL STREETS TYPICAL SECTION.



TYPICAL LOT DETAIL
SCALE: 1"=30'

Certification of Concept Plan by Registered Engineer
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.
Registered Engineer *Christopher A. Sharp*
Christopher A. Sharp, P.E.
Tennessee License No. 108984
Date: 5/22/2024

SHEET C-2

SHEET C-3

SHEET C-1

KEY SHEET / TYPICAL SECTION
CATLETT ROAD SUBDIVISION

SITE ADDRESS: 1141 CATLETT ROAD (37932)

DEVELOPER: LEONARD DEVELOPMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919
(865) 970-9888

DIST. NO. W6 KNOX CO., TN.
SCALE: 1"=50' APRIL 12, 2024
TAX MAP: 130 PARCEL: 160.00

URBAN ENGINEERING, INC.
10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

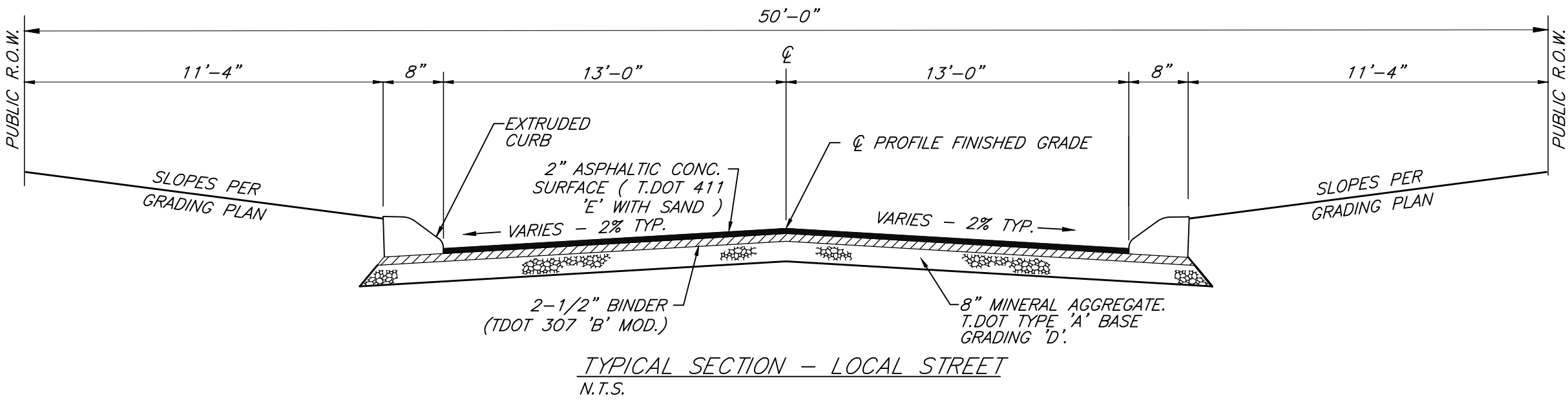
DWN: CLM CHK: CAS DWG. NO. 2404015

REFERENCE:
DEED BOOK: 1449, PAGE: 708

ALTERNATIVE DESIGN STANDARD REQUESTS:

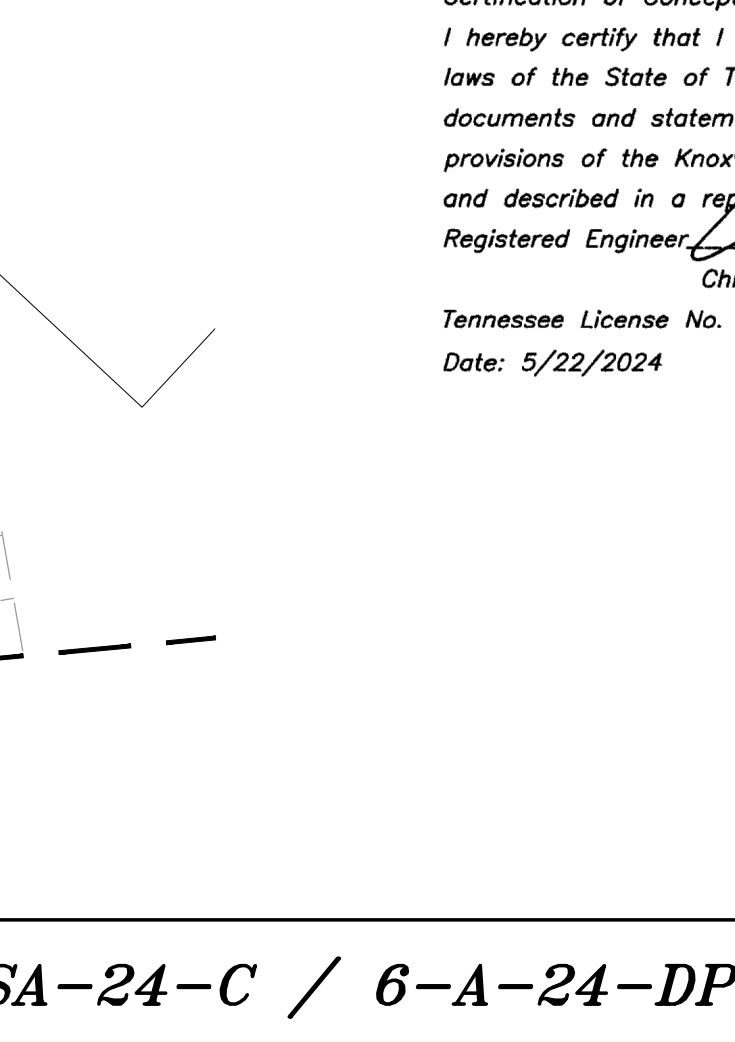
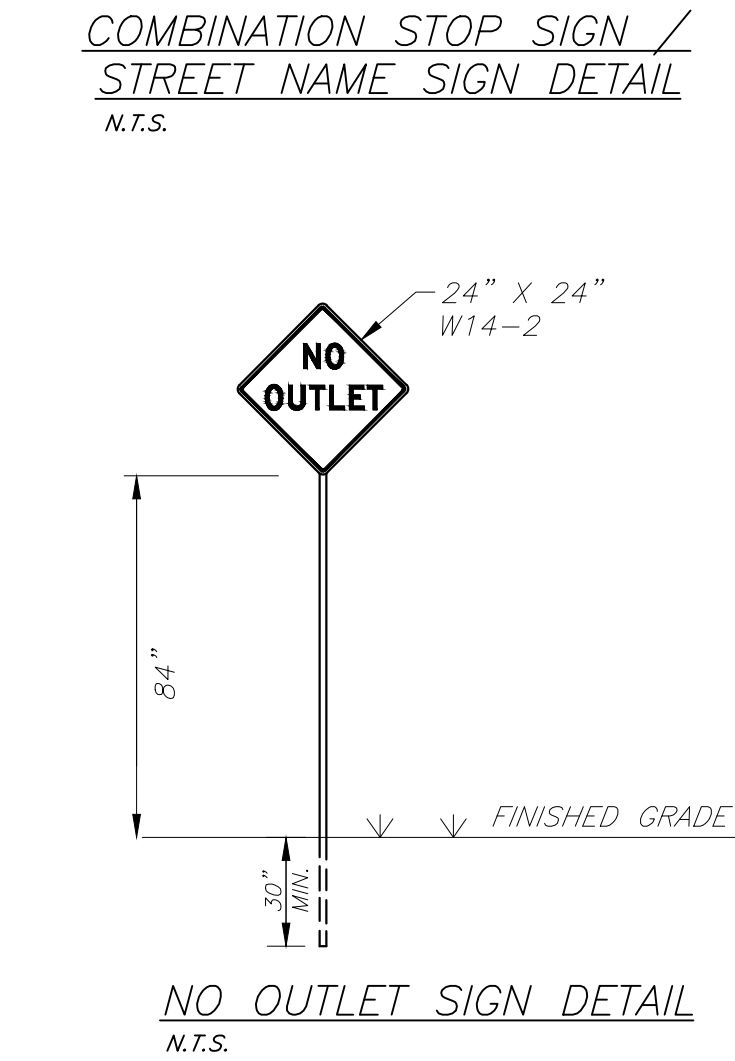
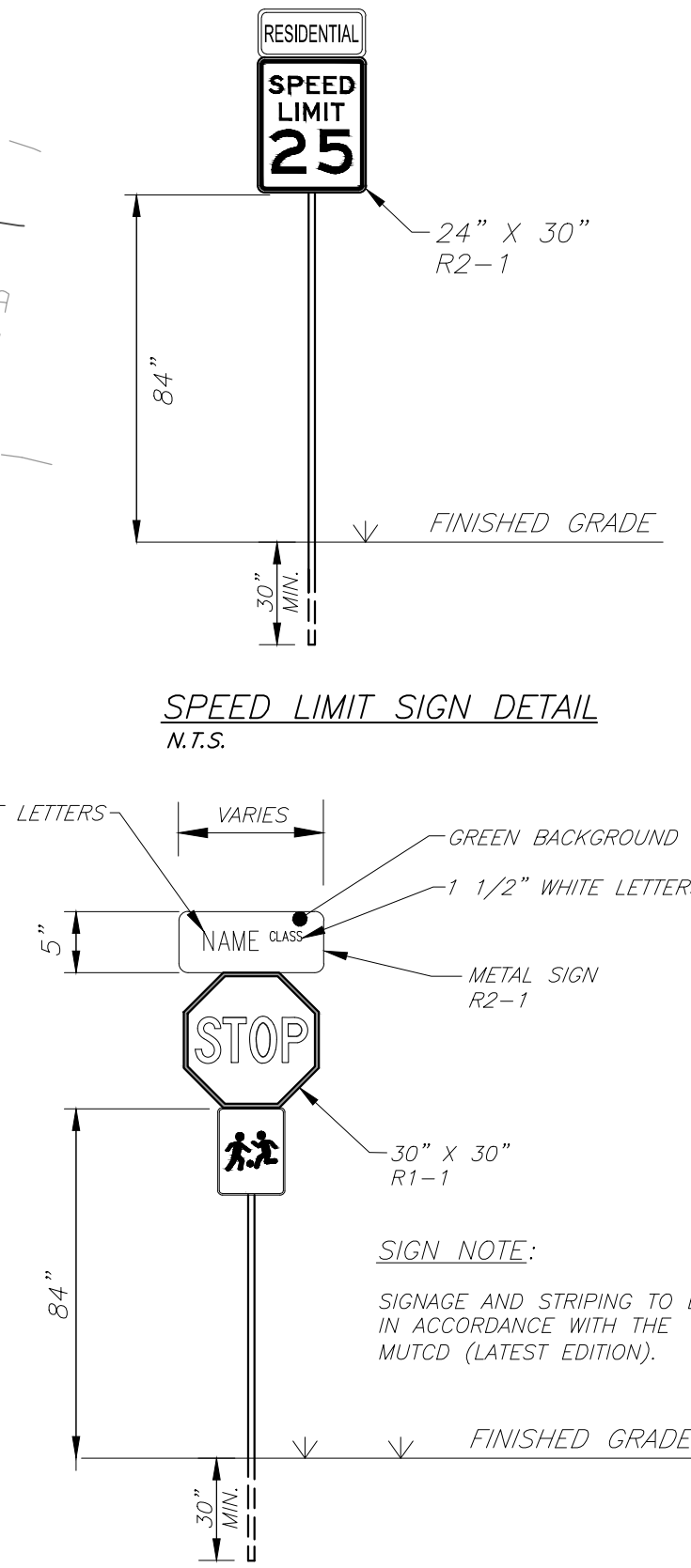
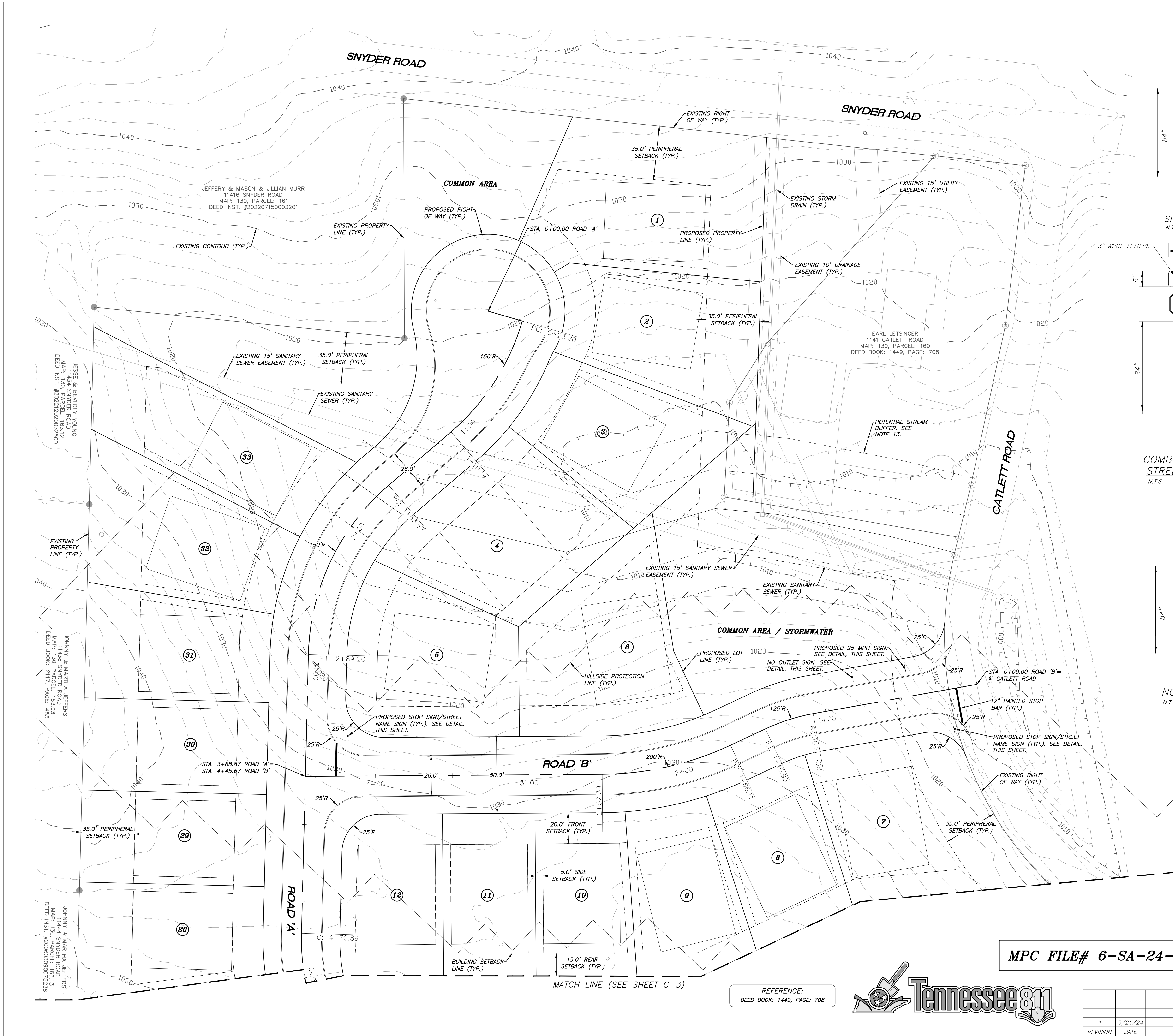
1. REDUCE K VALUE FROM 25 TO 20 BETWEEN STATIONS 1+40.22 AND 3+69.02 (ROAD B)
2. INCREASE THE CENTERLINE GRADE FROM 1% TO 2% AT THE INTERSECTION OF ROAD B AND CATLETT ROAD.
3. INCREASE THE CENTERLINE GRADE FROM 1% TO 1.5% AT THE INTERSECTION OF ROADS A AND B.

1	5/22/24	SUBMITTAL 2	CAS	
REVISION	DATE	DESCRIPTION	BY	



TYPICAL SECTION - LOCAL STREET
N.T.S.





- SITE PLAN NOTES:**
- THIS PROPERTY IS ZONED 'PR'. REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: HOUSES, TWENTY (20) FEET
PERIPHERY: THIRTY FIVE (35) FEET (MINIMUM)
SIDE: FIVE (5) FEET
REAR: FIFTEEN (15) FEET
 - THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 - HORIZONTAL COORDINATES ARE TENNESSEE STATE PLANE. VERTICAL DATUM IS NAVD88.
 - ALL WORK SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S SPECIFICATIONS FOR SITE DEVELOPMENT.
 - THE CURRENT TOTAL AREA OF THE DEVELOPMENT IS 10.2 ACRES.
 - THE DEVELOPMENT PROPOSES 33-UNITS (3.2 UNITS PER ACRE).
 - PROPOSED OPEN SPACE (INCLUDING EASEMENTS, & AREAS WITHIN STORM WATER DETENTION AREAS) = 1.5± ACRES (14.7%).
 - THE PROPOSED LOTS SHALL HAVE VEHICULAR ACCESS TO INTERNAL ROADS ONLY.
 - A HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED TO ADDRESS MAINTENANCE OF THE COMMON AREAS.
 - 10' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL EXTERIOR BOUNDARY LINES AND PUBLIC RIGHT OF WAY. 5' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL INTERIOR LOT LINES EXCEPT WHEN UNDER BUILDINGS.
 - THE TOTAL AREA OF THE PROPERTY COVERED BY HILLSIDE PROTECTION IS 3.21 ACRES.
 - SEE SHEET C-1 FOR INTERNAL STREETS TYPICAL SECTION.
 - A BLUE LINE APPEARS ON THE USGS QUAD MAP. A HYDROLOGIC DETERMINATION IS BEING PERFORMED TO ASSESS THE WATERBODY'S CLASSIFICATION.

Certification of Concept Plan by Registered Engineer
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Max County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.
Registered Engineer: *Christopher A. Sharp, P.E.*
Tennessee License No. 108984
Date: 5/22/2024

SHEET C-2

SITE PLAN
CATLETT ROAD SUBDIVISION
SITE ADDRESS: 1141 CATLETT ROAD (37932)

DEVELOPER: **LEONARD DEVELOPMENT, LLC**
119 WESTFIELD ROAD
KNOXVILLE, TN 37919
(865) 970-9888

DIST. NO. W6 KNOX CO., TN.
SCALE: 1"=30' APRIL 12, 2024
TAX MAP: 130 PARCEL: 160.00

URBAN ENGINEERING, INC.
10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

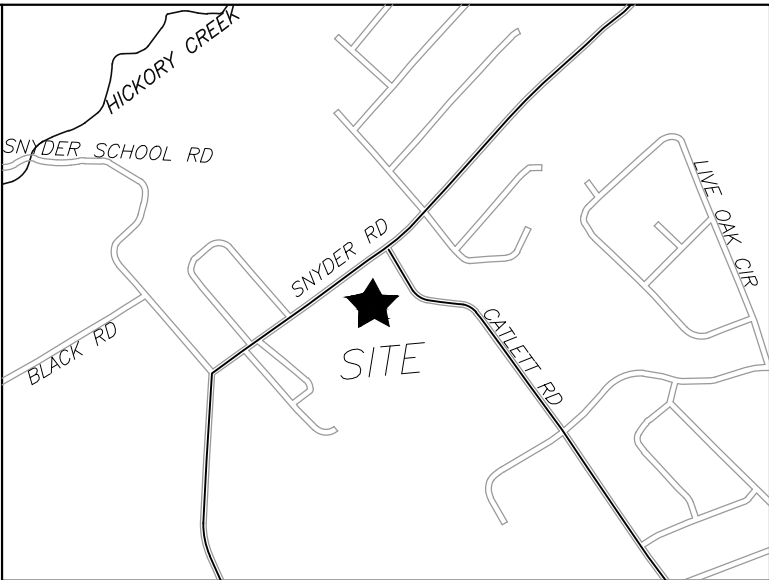
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MPC FILE# 6-SA-24-C / 6-A-24-DP

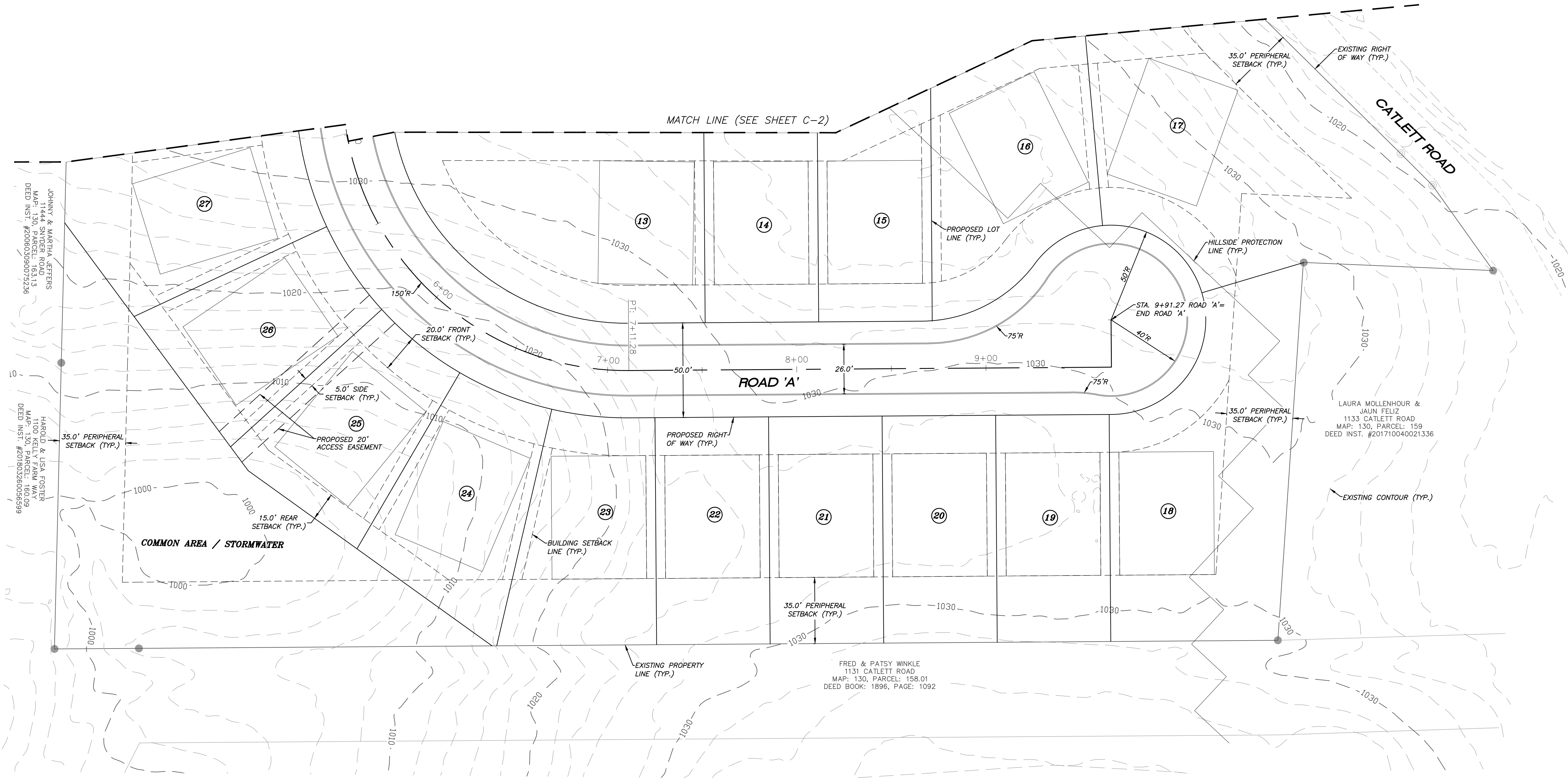
REFERENCE:
DEED BOOK: 1449, PAGE: 708



REVISION	DATE	DESCRIPTION	CAS	BY
1	5/21/24	SUBMITTAL 2		



LOCATION MAP



SITE PLAN NOTES:

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12. SEE SHEET C-1 FOR INTERNAL STREETS TYPICAL SECTION.

SHEET C-3

**SITE PLAN
CATLETT ROAD SUBDIVISION**

SITE ADDRESS: 1141 CATLETT ROAD (37932)

DEVELOPER: **LEONARD DEVELOPMENT, LLC**
119 WESTFIELD ROAD
KNOXVILLE, TN 37919
(865) 970-9888

DIST. NO. W6 KNOX CO., TN.
SCALE: 1"=30' APRIL 12, 2024
TAX MAP: 130 PARCEL: 160.00



URBAN ENGINEERING, INC.
10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 2404015

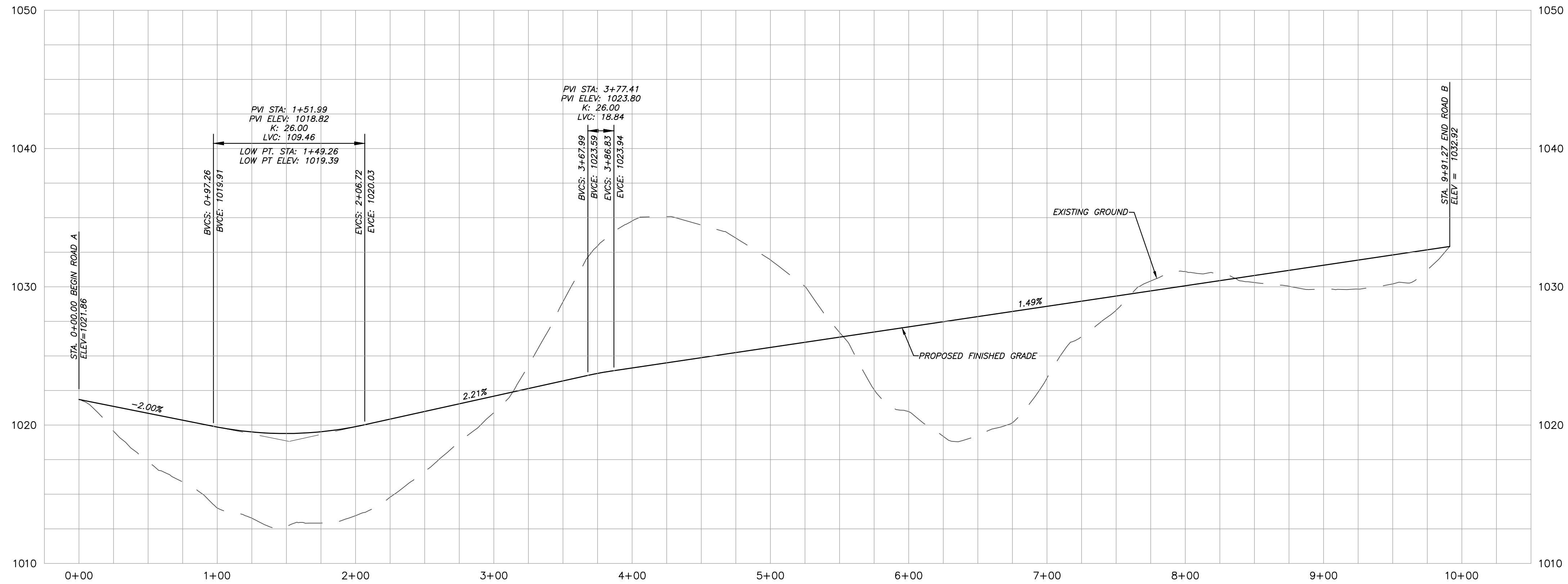
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Registered Engineer: *Christopher A. Sharp*
Christopher A. Sharp, P.E.

Tennessee License No. 108984
Date: 5/22/2024

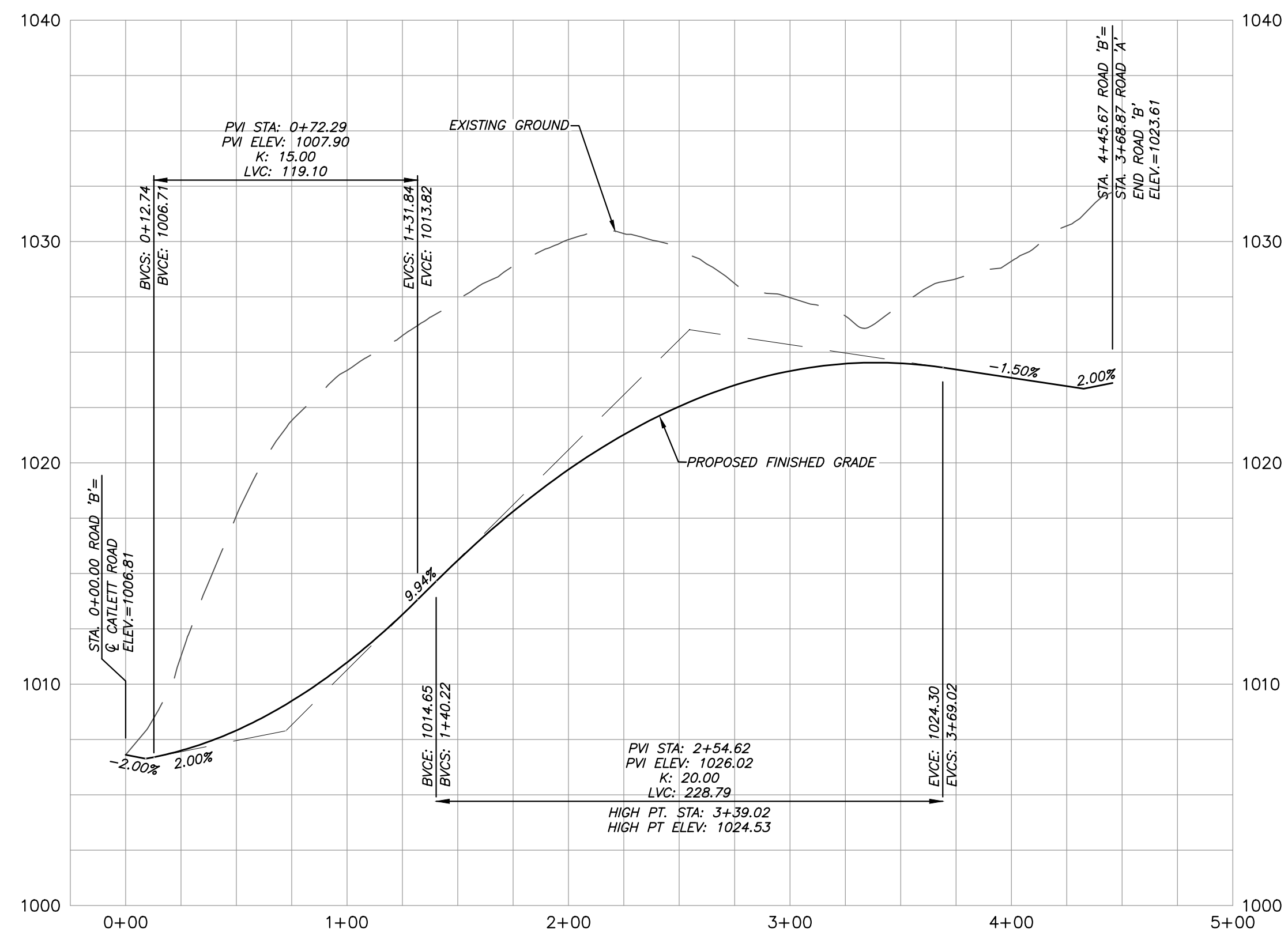
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MPC FILE# 6-SA-24-C / 6-A-24-DP

REVISION	DATE	DESCRIPTION	BY
1	5/21/24	SUBMITTAL 2	CAS



PROFILE--ROAD 'A'
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)



PROFILE--ROAD 'B'
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)

MPC FILE# 6-SA-24-C / 6-A-24-DP

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Registered Engineer: *Christopher A. Sharp*
Christopher A. Sharp, P.E.
Tennessee License No. 108984
Date: 5/22/2024

SHEET C-4

ROAD 'A' & 'B' PROFILE
CATLETT ROAD SUBDIVISION

SITE ADDRESS: 1141 CATLETT ROAD (379.32)

DEVELOPER: LEONARD DEVELOPMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919
(865) 970-9888

DIST. NO. W6 KNOX CO., TN.
SCALE: AS NOTED APRIL 12, 2024
TAX MAP: 130 PARCEL: 160.00



URBAN ENGINEERING, INC.
10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 2404015

REVISION	DATE	DESCRIPTION	CAS
1	5/22/24	SUBMITTAL 2	BY

