

TOTAL AREA
9.71 Acres
422,785 sq. ft.
TOTAL BUILDING LOTS = 44

Planning Commission Certification of Approval for Recording - Final Plat

This is to certify that the subdivision plat shown herein has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and powers noted on this plat, and in the minutes of the Knoxville-Knox County Planning Commission, on this _____ day of _____, 20____, and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds, Pursuant to Section 15-1-405 of the Tennessee Code, Annotated, the approval of this plat by the Planning Commission shall not be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

Signed: _____
Date: _____

Zoning
Zoning Shown on Official Map: _____
By: _____
Date: _____

Addressing Department Certification

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville or Knox County Street Naming and Addressing Ordinance, the Addressing Guidelines and Procedures, and these regulations.

Signed: _____
Date: _____

Taxes and Assessments

This is to certify that all property taxes and assessments due on this property have been paid.

City Tax Clerk: Signed: _____
Date: _____

Knox County Trustee: Signed: _____
Date: _____

Knox County Department of Engineering and Public Works

The Knox County Department of Engineering and Public Works hereby approves this plat on this _____ day of 20____.

Engineering Director: _____

Certification of Approval of Public Sanitary Sewer System - Major Subdivisions

I hereby certify that the utility provider was contacted by the developer or owner of the property to determine the status of the public sanitary sewer system and the public sanitary sewer system was installed, or will be installed, in accordance with State and local regulations.

Utility Provider: _____
Authorized Signature for Utility: _____
Date: _____

Certification of Approval of Public Water System - Major Subdivisions

I hereby certify that the utility provider was contacted by the developer or owner of the property to determine the status of the public water system and the public water system was installed, or will be installed, in accordance with State and local regulations.

Utility Provider: _____
Authorized Signature for Utility: _____
Date: _____

Inspection of Completed Streets and Related Improvements

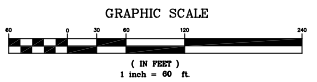
I, the undersigned, hereby certify this subdivision has been inspected and all streets and related improvements have been completed in a manner that meets all city standards and specifications and have been officially accepted as built by the appropriate official(s).

Signed: _____
Date: _____
Dept: _____
Title: _____

Guarantee of Completion of Stormwater Facilities

I, the undersigned, hereby certify that a bond or other security has been posted with the appropriate agency to ensure completion and stabilization of all stormwater facilities as shown on the stormwater plans which were approved _____ day of _____, 20____.

Signed: _____
Date: _____
Dept: _____
Title: _____



LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

LINE LEGEND

- SANITARY SEWER EASE.
- DRAINAGE EASE.
- SIGHT DISTANCE EASE.

SYMBOL LEGEND

- FOUND MONUMENTATION
- WITH SIZE & TYPE
- SET MONUMENTATION
- BEFORE NOTE 1)
- PERMANENT REFERENCE MARKERS
- WALLS
- S.S. = SANITARY SEWER EASEMENT
- D.E. = DRAINAGE EASEMENT

HOSKINS
087-009
DEED: 2225-1132
INST: 20070522-0095414

Certificate of Ownership and Control/ Dedication

MESANA INVESTMENTS LLC
1015 ASHLAND SPRINGS WAY
KNOXVILLE, TN 37922

(I, we), the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I am, we are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat

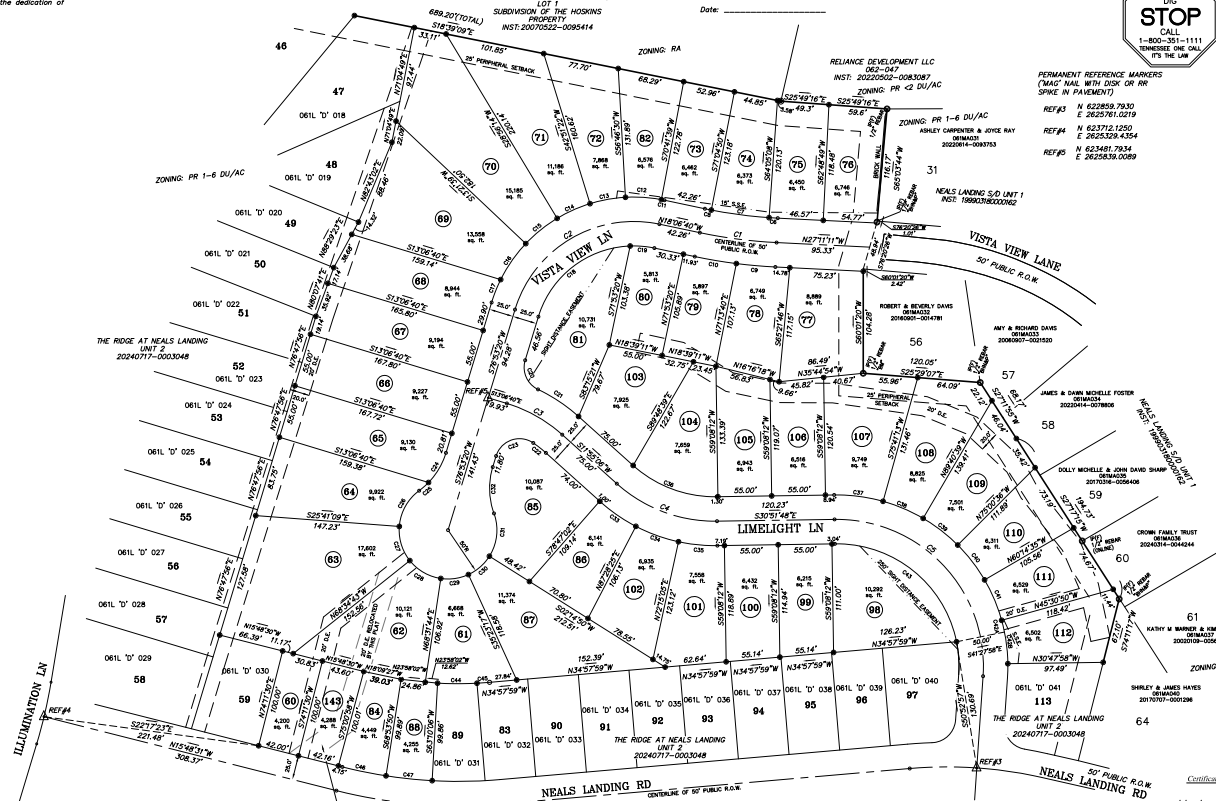
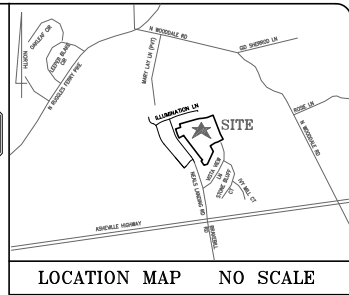
Owner(s) Printed Name: _____ Signature(s): _____
Date: _____

Property owners are responsible for maintenance of stormwater facilities. The covenant for maintenance of stormwater facilities is recorded as instrument #202213002218 and



PERMANENT REFERENCE MARKERS
WALL WITH DISE OR IR SPIKE IN PAVEMENT)

REF#1 N 622859.7930
E 2625761.0219
REF#2 N 623712.1250
E 2625328.4354
REF#3 N 623481.7254
E 2625339.0089



ADJOINER INFORMATION:

PARCELS: 061L '019-030 & 033-037

DR. HORTON INC.
1431 CENTROPART BLVD
SUITE 110
KNOXVILLE, TN 37923

PARCELS: 061L '019-031

JOSPHIA DELAMON & MORIAN HUNTDB
NEALS LANDING RD
KNOXVILLE, TN 37924

PARCELS: 061L '019-032

JEFFREY FAUL
264 NEALS LANDING RD
KNOXVILLE, TN 37924

PARCELS: 061L '019-034-041

MESANA INVESTMENTS LLC
1015 ASHLAND SPRINGS WAY
KNOXVILLE, TN 37922

CURVE TABLE

| CURVE | BEARING | CHORD | RADIUS | LENGTH |
|-------|-------------|--------|--------|--------|
| C1 | S22°30'52\" | 79.71 | 500.00 | 79.20 |
| C2 | N62°28'50\" | 177.60 | 127.50 | 188.41 |
| C3 | N00°24'47\" | 65.01 | 150.00 | 65.53 |
| C4 | S09°29'21\" | 109.42 | 150.00 | 112.00 |
| C5 | N40°20'02\" | 191.63 | 150.00 | 207.86 |
| C6 | S08°28'59\" | 8.90 | 475.00 | 6.90 |
| C7 | S02°30'59\" | 59.60 | 475.00 | 59.64 |
| C8 | S18°30'59\" | 6.70 | 475.00 | 6.70 |
| C9 | S24°59'57\" | 40.07 | 525.00 | 40.08 |
| C10 | S02°21'41\" | 43.06 | 525.00 | 43.07 |
| C11 | N18°42'21\" | 3.17 | 150.00 | 3.17 |
| C12 | N00°15'36\" | 36.83 | 150.00 | 36.83 |
| C13 | N40°11'04\" | 36.83 | 150.00 | 36.83 |
| C14 | N45°16'32\" | 41.50 | 150.00 | 41.52 |
| C15 | N00°12'25\" | 44.86 | 150.00 | 44.86 |
| C16 | N18°15'29\" | 25.78 | 150.00 | 25.77 |
| C17 | N61°26'38\" | 118.47 | 102.00 | 126.40 |
| C18 | N18°15'29\" | 24.68 | 150.00 | 24.67 |
| C19 | N00°12'25\" | 44.87 | 150.00 | 44.87 |
| C20 | N00°12'25\" | 16.41 | 125.00 | 16.43 |
| C21 | N42°14'20\" | 40.82 | 25.00 | 50.94 |
| C22 | S02°15'29\" | 35.77 | 150.00 | 35.77 |
| C23 | S21°06'50\" | 12.74 | 75.00 | 12.76 |

CURVE TABLE

| CURVE | BEARING | CHORD | RADIUS | LENGTH |
|-------|-------------|--------|--------|--------|
| C24 | S89°02'11\" | 41.82 | 50.00 | 43.15 |
| C25 | S44°34'34\" | 36.56 | 100.00 | 37.43 |
| C26 | S00°01'29\" | 36.56 | 50.00 | 37.43 |
| C27 | S38°02'29\" | 28.52 | 50.00 | 28.52 |
| C28 | S71°01'29\" | 28.52 | 50.00 | 28.52 |
| C29 | N02°02'29\" | 44.02 | 50.00 | 45.58 |
| C30 | S08°27'19\" | 47.43 | 75.00 | 47.48 |
| C31 | S04°41'46\" | 44.00 | 175.00 | 44.12 |
| C32 | S10°08'15\" | 46.36 | 175.00 | 46.49 |
| C33 | S44°18'22\" | 39.91 | 175.00 | 40.06 |
| C34 | S09°28'21\" | 91.18 | 125.00 | 83.54 |
| C35 | N02°01'29\" | 55.58 | 175.00 | 55.55 |
| C36 | N06°39'43\" | 44.58 | 175.00 | 44.70 |
| C37 | N02°28'23\" | 44.68 | 175.00 | 44.80 |
| C38 | N02°28'23\" | 44.68 | 175.00 | 44.80 |
| C39 | N44°30'27\" | 12.36 | 175.00 | 12.36 |
| C40 | N13°07'18\" | 44.86 | 175.00 | 44.89 |
| C41 | N00°12'25\" | 44.86 | 175.00 | 44.89 |
| C42 | N18°15'29\" | 25.77 | 150.00 | 25.77 |
| C43 | N18°15'29\" | 33.53 | 175.00 | 33.58 |
| C44 | N00°12'25\" | 109.61 | 125.00 | 119.73 |
| C45 | S24°24'50\" | 40.33 | 375.00 | 40.33 |
| C46 | S41°38'52\" | 12.80 | 375.00 | 12.80 |
| C47 | S24°24'50\" | 40.33 | 375.00 | 40.33 |
| C48 | S24°24'50\" | 47.46 | 485.00 | 47.48 |

SURVEY FOR: **Eagle Bend Development**

1920 Ebenezer Road
Knoxville, Tennessee 37922
Phone: (865) 693-3356

FINAL PLAT OF:

THE RIDGE AT NEALS LANDING - UNIT 3
Lots 60-82, 84-88, 98-102, 104-112 & 143
Knoxville, Tennessee
District 8, Knox County, Tennessee

SHEET NO.
1 of 1
PROJECT NO.
4143-9

Certification of Final Plat - All Indicated Markers, Monuments and Benchmarks to be Set When Construction is Completed

I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents and statements conform to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations and as has been amended, described and justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as identified on the final plat. The bond or other security that is posted to guarantee the completion of streets and related improvements shall also guarantee the installation of the indicated permanent reference markers and monuments, and benchmarks and property monuments upon completion of the subdivision.

Registered Land Surveyor RYAN S. LYNCH
Tennessee License No. 2447
Date: 04/28/2025

Certification of Class and Accuracy of Survey

I HEREBY CERTIFY THAT THIS IS A CATEGORY "V" SURVEY IN ACCORDANCE WITH THE TENNESSEE STANDARDS OF PRACTICE.

Certification of the Accuracy of Survey

Survey accuracy shall meet the requirements of the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

I hereby certify that this survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

Registered Land Surveyor RYAN S. LYNCH
Tennessee License No. 2447
Date: 04-28-2025

