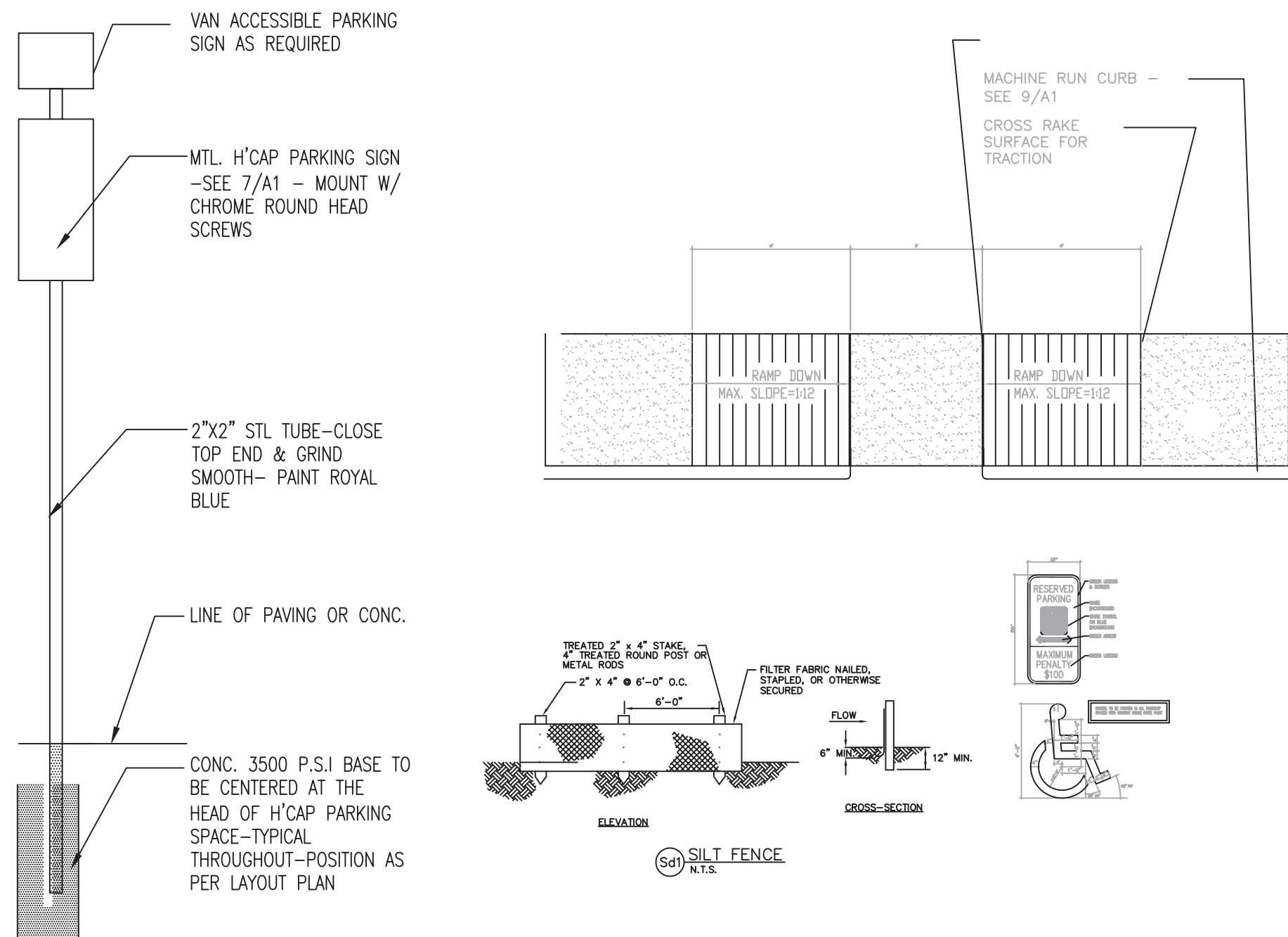


GENERAL NOTES:

- Contractor shall get himself familiar with the site, existing features, drainage, soil properties, and other requirements before proceeding the work.
- Contractor shall survey, verify, and investigate all underground, topographic information, and soil characteristic before proceeding work. Contractor shall obtain authorization prior to making changes to or interruption of utilities and shall minimize the effect on their operation prior to any excavation, or removal of any pipe from service. Contractor shall relocate all utility lines, cables, wiring and existing piping before beginning to work.
- Contractor shall comply with the construction safety standards, OSHA, 1999 Standard building codes and all prevailing construction standards.
- Contractor shall verify all measurements, property information, before committing to work or proceeding to work.
- All Structural steel shall conform to the latest AISC specification and codes of standard practice for the design, fabrication and erection, of structural steel for buildings and to section 4.71 fabrication and erection of structural steel.
- All welding shall conform to the AWS structural welding code. All operators shall be qualified by the test prescribed in AWS standard qualification procedure.
- Materials**
 - Structural steel - ASTM A-36
 - Welded connections - Conforming to ASTM A-233, class E 70XX
 - Concrete:** All concrete work shall comply to (3000 psi @ 28 days compressive strength) the latest ACI specification (ACI 318) for building code requirements.

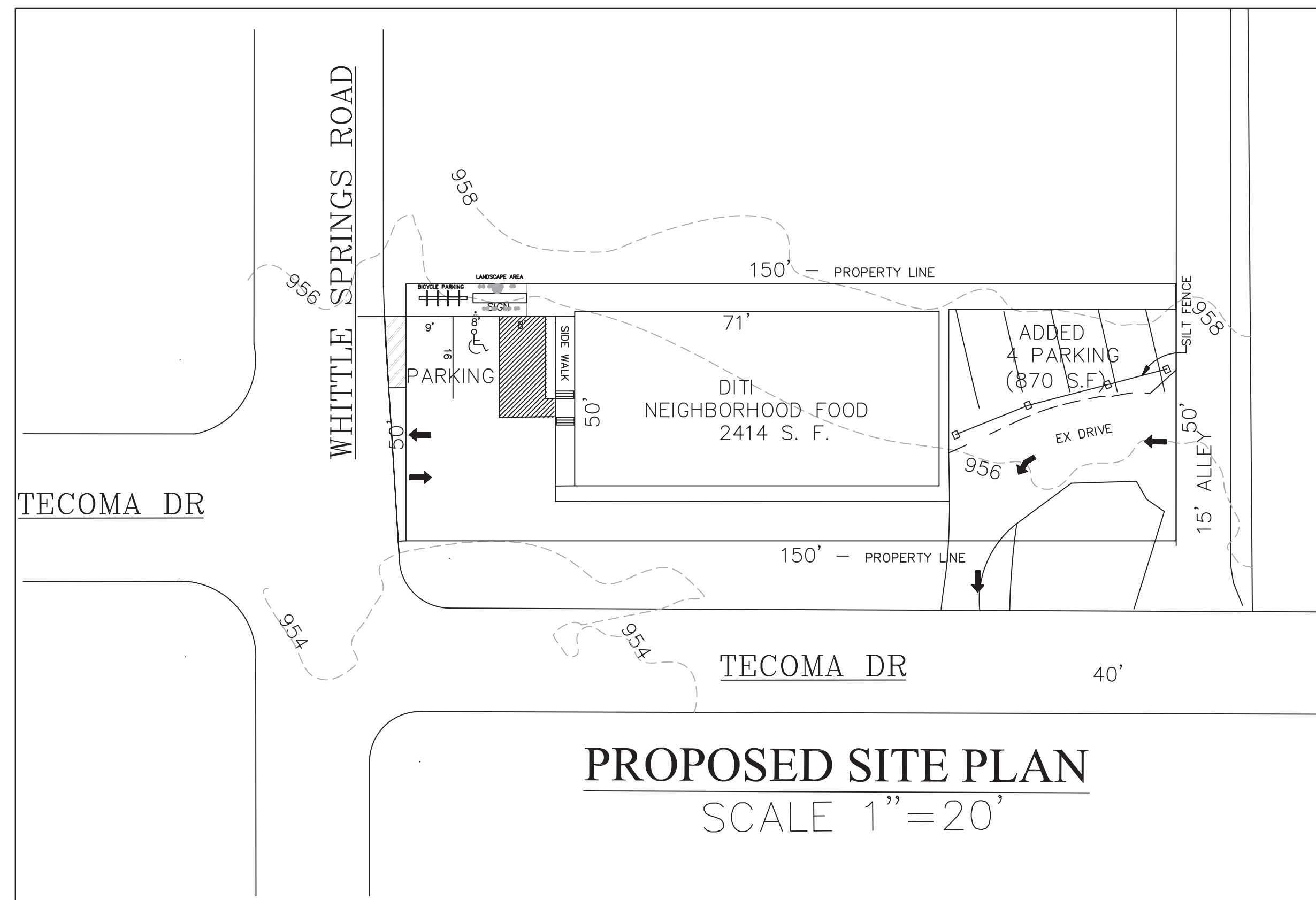
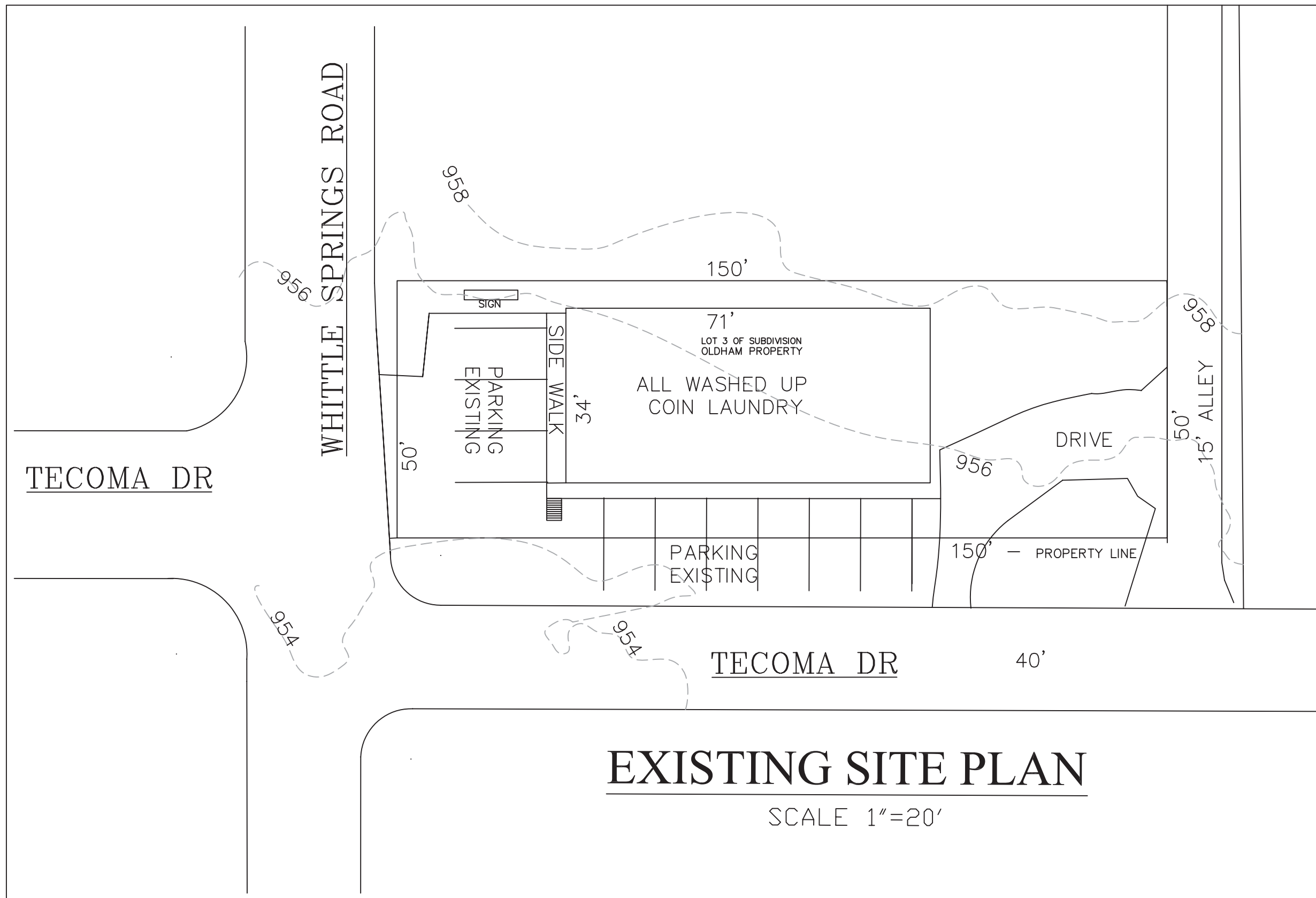
EROSION CONTROL NOTES:

- Erosion control practices must comply with the minimum best management practices for storm water management and erosion control in compliance with Tennessee Department of Environment and City of Knoxville.
- The installation of erosion control measures are to be accomplished prior to any other construction on the site and maintained until permanent ground cover is established.
- Disturbed area shall be stabilized with sod or permanent seeding, as soon as per erosion and sedimentation control requirements per Tennessee Department of Environment and City of Knoxville.
- See City of Knoxville Land Development Manual, BMP Manual and TDOT Standards for additional details prior to any work.



PROPOSED IMPROVEMENT BY OWNER:
IADDED PARKING AND LANDSCAPE AREA
PER CITY COMMENTS.

IT IS UNDERSTOOD THAT THE CONTRATOR SHALL
ASSUME ALL RESPONSIBILITY FOR FINAL COORDINATION OF
MATERIALS AND METHODS WITH THE OWNER.
Any wall, beam, or a structural member
shall be reviewed carefully prior to its removal.



DISTURBED AREA=870-225=645 SF (0.01 AC)
NO CHANGE IN GRADING

PROJECT NAME: DITI NEIGHBORHOOD MARKET
FOOD MARKET/GROCERY STORE
RETAIL (PREVIOUSLY WASH UP COIN LAUNDRY)

OWNER'S NAME: RAMESH PATEL,
3700 WHITTLE SPRINGS ROAD
CONTACT: GIRISH THAKKAR, SCHEMATIC DESIGN, INC
865 531 7101
EMAIL: schematicdesign@gmail.com

APPLICABLE CODES: 2018 IBC BUILDING CODE
2018 INT. ENERGY CONSERVATION CODE
2017 EDITION OF NATIONAL ELECTRICAL CODE
2018 INT. EXISTING BUILDING CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
NFPA 101 SAFETY CODE
2009 ICC A117.1 EDITION OF

ZONING: RN-2
SETBACK: FRONT 20' REAR 25'
SIDE 5' CORNER SIDE 12.
CITY OF KNOXVILLE ZONING ORDINANCE

OCCUPANCY: FOOD PANTRY - GROUP M - Mercantile

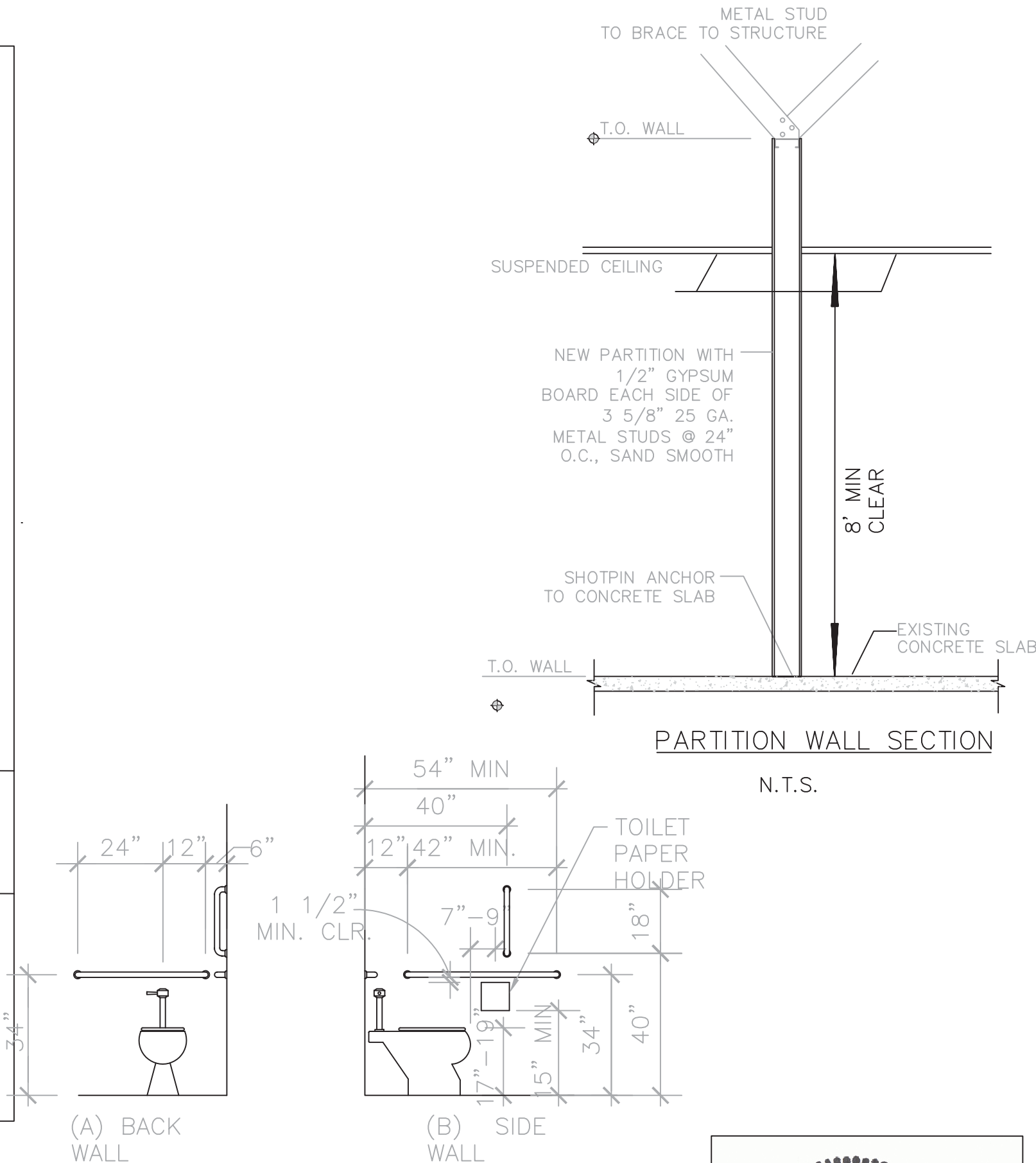
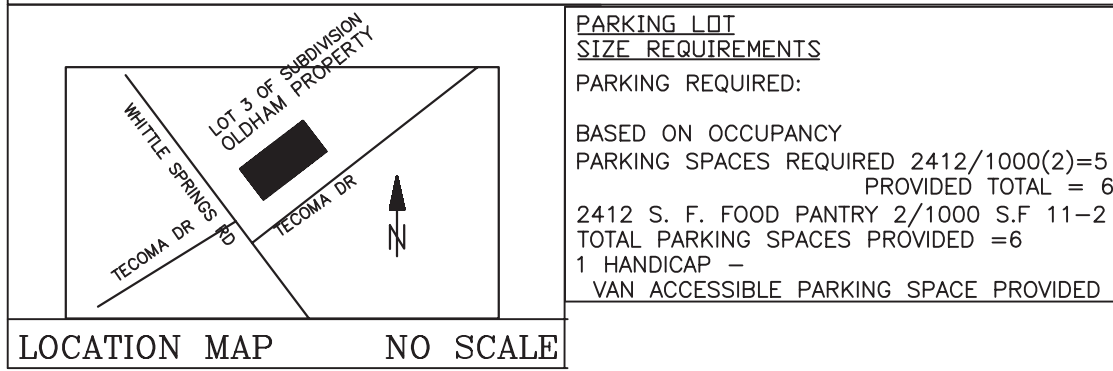
CONSTRUCTION TYPE: TYPE V, UNPROTECTED, NONSPRINKLED
BLOCK & FRAME

ACTUAL BUILDING AREA: 2,414 S.F.

SITE AREA: 0.172 ACRES (7500 S.F.)

ALL WORK (IF ANY) SHALL BE INSTALLED BY A LICENSED
MECHANICAL CONTRACTOR. ALL MECHANICAL WORK SHALL MEET ALL LOCAL
STATE CODE AND ORDINANCES AND COMPLY WITH THE 2012 ICC MECH. CODES.

ALL WORK (IF ANY) SHALL BE INSTALLED BY A LICENSED
PLUMBING CONTRACTOR. ALL PLUMBING WORK SHALL MEET ALL LOCAL AND
STATE CODE AND ORDINANCES AND COMPLY WITH THE 2012 ICC PLUM. CODES



GRAB BARS PER SEC 604.5 OF ANSI A117.1 2009
STANDARDS OF ACCESSIBILITY.



7-A-21-SU
6/23/2021

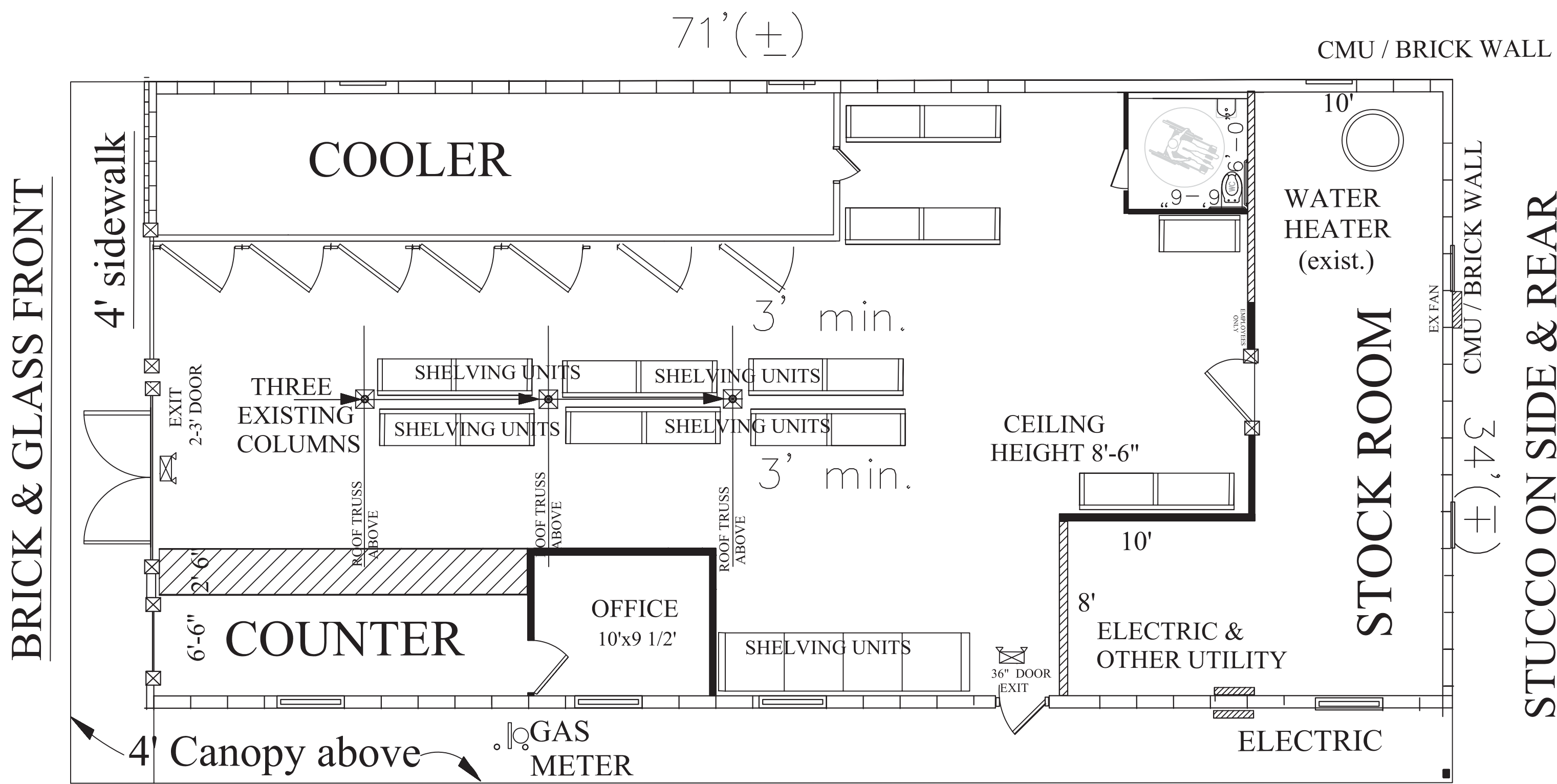
REVISIONS		
NO.	DATE	DESCRIPTION
0	04/15/21	INITIAL ISSUE
1	04/15/21	

SCHEMATIC DESIGN INC.
(ALL RIGHTS RESERVED)

Schematic Design, Inc.
CONSULTING ENGINEERS
CIVIL • SITE DEVELOPMENT • STRUCTURAL
TRANSPORTATION • STORMWATER MANAGEMENT
9047 Executive Park Dr., Ste. 226 • Knoxville, TN 37923
(865) 531-7101 • sdiengineers.com • Fax: (865) 531-7109

SITE PLAN/EROSION CONTROL PLAN
PROPOSED DITI NEIGHBORHOOD FOOD STORE
3700 WHITTLE SPRINGS ROAD
KNOXVILLE, TN 37917
PARCEL ID 070HB024

PROJECT NO.:
DRAWN BY: NSG
SCALE: AS NOTED
DATE:
04/15/21



PROPOSED FLOOR PLAN
SCALE 1/8"=1'-0"
RETAIL AREA =1250 S.F. TOTAL= 2400 S.F.

PROPOSED IMPROVEMENT BY OWNER:
REMOVE WASHERS, DRYERS, RELATED PLUMBING, ELECTRICAL, PARTITION WALLS, AND THEN BUILD NEW FLOOR PLAN RELATED PARTITION WALLS, COUNTER AND COOLER AREA AS SHOWN. REPAIR OR REWORK ROOF COVERING AND FRAMING. CONSTRUCT NEW ADA BATHROOM REPLACE FLOORING, UPGRADE HVAC SYSTEM, AND PAINT.

IT IS UNDERSTOOD THAT THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR FINAL COORDINATION OF MATERIALS AND METHODS WITH THE OWNER. ANY WALL, BEAM OR A STRUCTURAL MEMBER SHALL BE REVIEWED CAREFULLY PRIOR TO ITS REMOVAL.

NOTE:
MECHANICAL, PLUMBING AND ELECTRICAL DIAGRAMS IF SHOWN ON THESE PLANS ARE INTENDED TO PROVIDE THE MOST COMPLETE INFORMATION POSSIBLE. THEY ARE NOT TO BE CONSIDERED ENGINEERED PLANS. IF THE SERVICES OF A LICENSED ENGINEER ARE REQUIRED IT SHALL BE THE RESPONSIBILITY OF THE CLIENT TO COMMISSION SUCH SERVICES.

PROJECT NAME: DITI NEIGHBORHOOD MARKET
FOOD MARKET/GROCERY STORE
RETAIL (PREVIOUSLY WASH UP COIN LAUNDRY)

OWNER'S NAME RAMESH PATEL,
3700 WHITTLE SPRINGS ROAD
CONTACT: GIRISH THAKKAR, SCHEMATIC DESIGN, INC
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APPLICABLE CODES: 2018 IBC BUILDING CODE
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2018 INTERNATIONAL FUEL GAS CODE
NFPA 101 SAFETY CODE
2009 ICC A117.1 EDITION OF

ZONING: RN-2
SETBACK ; FRONT 20' REAR 25'
SIDE 5' CORNER SIDE 12.
CITY OF KNOXVILLE ZONING ORDINANCE

OCCUPANCY: GROUP M - Mercantile

CONSTRUCTION TYPE: TYPE V, UNPROTECTED, NONSPRINKLED
BLOCK & FRAME

ACTUAL BUILDING AREA: 2,414 S.F

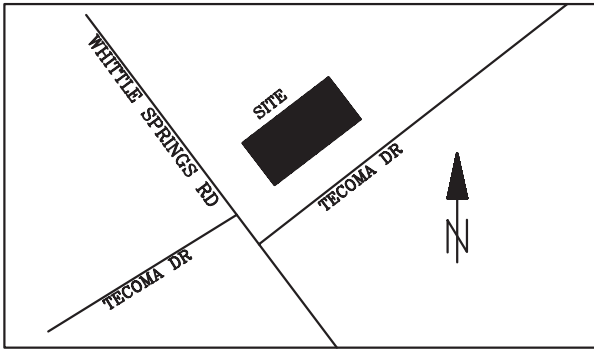
SITE AREA: 0.172 ACRES (7500 S.F.

ALL WORK (IF ANY) SHALL BE INSTALLED BY A LICENSED MECHANICAL CONTRACTOR. ALL MECHANICAL WORK SHALL MEET ALL LOCAL STATE CODE AND ORDINANCES AND COMPLY WITH THE 2012 ICC MECH. CODES.

ALL WORK (IF ANY) SHALL BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR. ALL PLUMBING WORK SHALL MEET ALL LOCAL AND STATE CODE AND ORDINANCES AND COMPLY WITH THE 2012 ICC PLUM. CODES

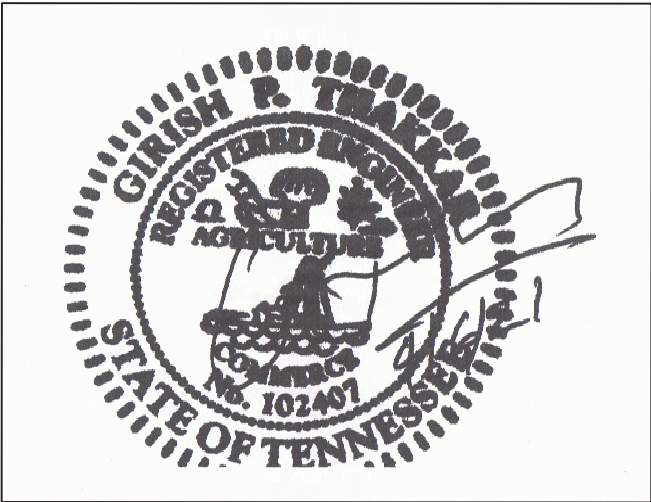
LEGEND

- EXISTING PARTITION WALL
- REMOVE PARTITION WALL
- NEW PARTITION WALL
2X4 METALSTUD WITH
1/2" DRYWALL ON
BOTH SIDES
- GLASS FRONT
- EXIT SIGN & EMERGENCY LIGHT WITH BATTERY PACK
WIRE TO LOCAL LIGHTING CIRCUIT
- EMERGENCY LIGHT WITH BATTERY PACK
WIRE TO LOCAL LIGHTING CIRCUIT
- 3' SWINGING DOOR
32" CLEAR
- PROTABLE EXTINGUISHER, 10LB. TYPE K @48" A.F.F. MAX.
ABC PROTABLE EXTINGUISHER, 10LB. @ 48" A.F.F. MAX.



LOCATION MAP NO SCALE

7-A-21-SU
6/23/2021



REVISIONS		
NO.	DATE	DESCRIPTION
0	04/15/21	ADDED PER CITY COMMENTS

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PROPOSED FLOOR PLAN

PROPOSED DITI NEIGHBORHOOD FOOD STORE
3700 WHITTLE SPRINGS ROAD
KNOXVILLE, TN 37917
PARCEL ID 070HB024

PROJECT NO.:

DRAWN BY: NSG
SCALE: AS NOTED

DATE:
04/15/21

C-2

General Layout of 5307 E. Emory Road Knoxville, TN 37938 as of 5/31/2021



In Black: 6 ft wood privacy fence completed

In Gray: Driveway expansion completed

Site Plan: 5307 E. Emory Road Knoxville, TN 39738



Future Construction if use of review is approved:

In Red: 6 ft chain link fence

In Yellow: 6 Foot Privacy Fence