

LEGEND

[Pattern]	ASPHALT PWMT (COVERED)
[Pattern]	ASPHALT PWMT (NOT COVERED)
[Pattern]	CONCRETE SIDEWALK
[Pattern]	OPEN SPACE
[Pattern]	USABLE PRIVATE OPEN SPACE
[Pattern]	LEVELS 2 & 3 EXTENTS

AREA CALCULATIONS:

PARCEL AREA =	7845.9 SF
OPEN AREA COVERAGE =	2377.33 SF
OPEN AREA COVERAGE % =	(2377.33/7845.9)*100 = 30.3%
BUILDING COVERAGE =	5468.58 SF
BUILDING COVERAGE % =	(5468.58/7845.9)*100 = 69.7%
FLOOR AREA RATIO =	18,723 SF/7,845.9 SF = 2.39

TREE CALCULATIONS:

OPEN AREA =	2377.33 SF (0.06 ACRES)
REQUIREMENT =	8 (2" CALIPER) TREES/ACRE OF OPEN SPACE
	= 8 TREES*(0.06 ACRES)
	= 0.48 TREES
	(AT LEAST ONE 2"-CALIPER TREE WILL BE PROVIDED)

SUMMARY:

GROUND FLOOR TOTAL AREA:	2,498 SF
GROUND FLOOR RESIDENTIAL AREA:	345 SF
LEVEL 2 AREA:	5,474 SF
LEVEL 3 AREA:	5,534 SF
ROOF TOTAL AREA:	5,217 SF
ROOF ENCLOSED AREA:	1,533 SF
TOTAL SQUARE FOOTAGE:	18,723 SF
# OF UNITS:	6 UNITS

PARKING PROVIDED:	
STANDARD:	10 SPACES (GARAGE)
COMPACT:	00 SPACES
	10 SPACES

PARKING REQUIREMENTS:	
MAXIMUM (3 SPACES/1,000 SF):	57 SPACES
MAXIMUM (2 SPACES/UNIT):	12 SPACES

BIKE PARKING:	
PROVIDED:	GARAGE SPACE
REQUIRED:	N/A SPACES

- NOTES:**
- NO PORTION OF THE BUILDING, INCLUDING FOOTERS, SHALL ENCR OACH INTO THE ROW.
 - WASTE IS TO BE SERVICED PRIVATELY. CONTAINERS SHALL BE STORED IN INDIVIDUAL UNIT GARAGES.

NOTE: MAILBOXES ARE TO BE RELOCATED BY THE CONTRACTOR DURING CONSTRUCTION. EXISTING SIDEWALKS ARE TO BE TEMPORARILY RELOCATED DURING CONSTRUCTION. CONTRACTOR TO RELOCATE MAILBOXES AFTER COMPLETION OF THEIR RESPECTIVE PORTIONS.

GROUND LEVEL / SITE PLAN
1"=10'

ISSUE DESCRIPTION	
NO.	DATE
1	05/02/2025
REVISED PER CITY OF KNOXVILLE COMMENTS	

PRELIMINARY FOR REVIEW ONLY

IF THIS DOCUMENT IS NOT SIGNED, SEALED, AND DATED, IT MAY NOT BE USED FOR CONSTRUCTION.

PHILLIPS AVENUE
1013 PHILLIPS AVE
KNOXVILLE, TENNESSEE

PROJECT:

CANNON & CANNON INC

10025 Investment Drive, Suite 120
Knoxville, TN 37932

865.670.8555
www.cci-corp.com

CLIENT:

CCI PROJ. NO.	01778-0004
DATE:	03/31/2025
PM/PC:	BCW
DRAWN BY:	BCW

SITE LAYOUT PLAN

C101



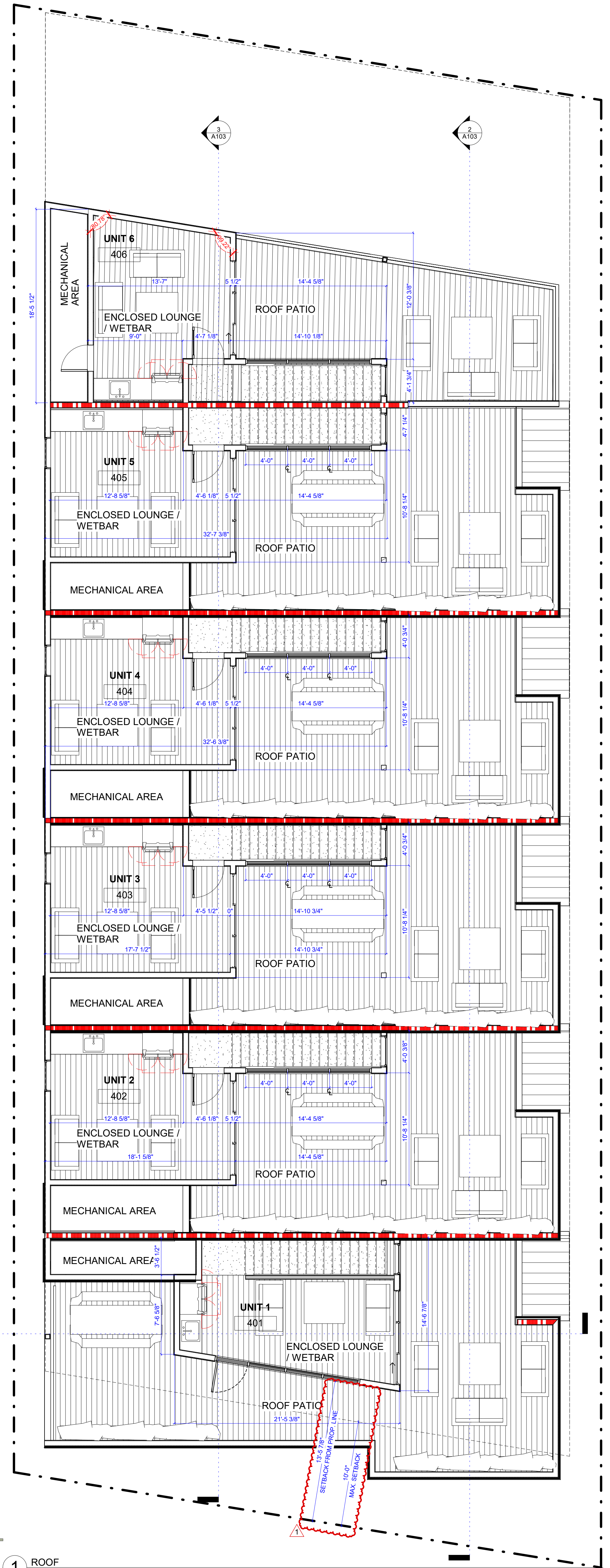


OPENING RATIO ON PRINCIPLE FRONTAGE:
WALL AREA = 1536 SF
GLAZING AREA = 398 SF
OPENING RATIO = 25.7%



3 SOUTH ELEVATION (PHILLIPS AVE.)
1/8" = 1'-0"

2 EAST ELEVATION (FOGGY BOTTOM)
1/8" = 1'-0"



1 ROOF
3/16" = 1'-0"

NOT FOR CONSTRUCTION

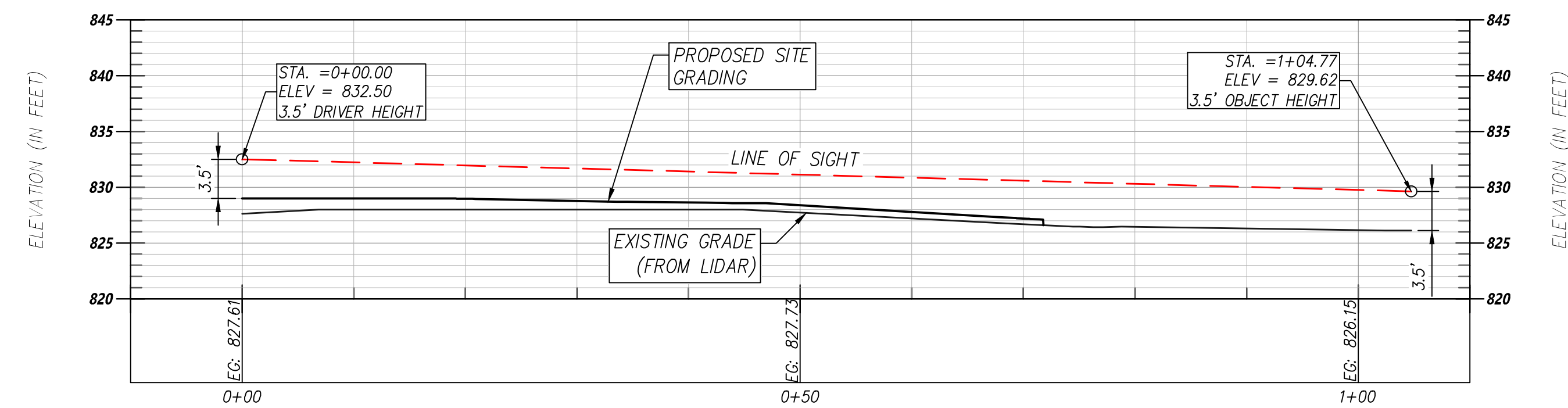
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Drawing Set		
CONCEPTUAL		
Project Information		
1013 PHILLIPS AVE		
MULTIFAMILY		
ZONING SW-2		
Code Information		
Type of Const.: VA		
Occupancy Class: R-2		
Fire Protection Systems:		
Smoke Alarm		
NFPA 101		
ASHRAE		
UL Rated Assemblies		
Shop drawings will be submitted for all fire protection systems.		

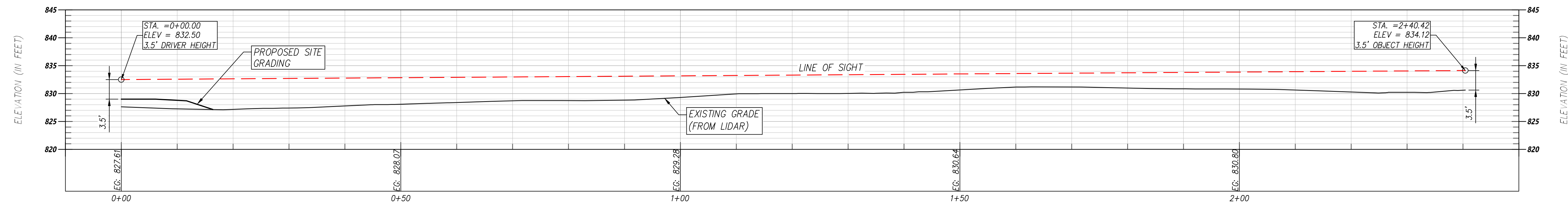
Drawing Information		
Revisions		
No.	Description	Date
1	SWARC COMMENTS	05.01.25
Project Number 24134		
Issue Date 03.27.2025		
Drawn By Author		
Checked By DML		
Scale As indicated		
FLOOR PLAN AND ELEVATIONS		



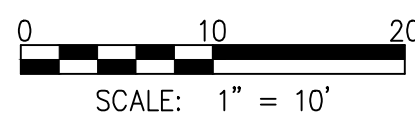
GROUND LEVEL / SITE PLAN
1"=20'



LINE OF SIGHT-LEFT PROFILE



LINE OF SIGHT-RIGHT PROFILE



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PROJECT:	
PHILLIPS AVENUE 1013 PHILLIPS AVE KNOXVILLE, TENNESSEE	
CLIENT:	
CCI PROJ. NO. 01778-0004	
DATE: 05/02/2025	
PM/PC: BCW	
DRAWN BY: BCW	
SIGHT TRIANGLES	
X101	