

7-B-21-SU
5/24/2021

- NOTES:
- EXISTING MONUMENTS RECOVERED AS SHOWN.
 - EXISTING CONTOURS FROM TOPOGRAPHIC SURVEY.
 - LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES NOT SHOWN. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATIONS AND DEPTHS.

CLT MAP: 094-E GROUP: N
PARCEL: 008

DEED: 20191231-0044035

ZONING: DK-E

TOTAL NUMBER OF LOTS: 1
TOTAL NUMBER OF PARCELS: 1

WARD: 06
CITY BLOCK: 08121

PARCEL AREA: 28,305 SQ FT (0.65 AC)

PROPERTY ADDRESS:
530 W FIFTH AVE

BARBER McMURRY
architects since 1915

505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242
bma1915.com

PROJECT NUMBER
194400

PROJECT NAME
METROPOLITAN DRUG COALITION

OWNER
MDC

PROJECT ADDRESS
**530 W FIFTH AVE
KNOXVILLE, TN 37917**

CONSULTANTS
ENGINEER:
ROBERT G. CAMPBELL & ASSOCIATES
7523 TAGGART LANE
KNOXVILLE, TN, 37938
PHONE: 865-947-5996

OWNER: METRO DRUG COALITION, INC.
4930 LYONS VIEW PIKE
KNOXVILLE, TN 37919

PARTNER-IN-CHARGE	RKD
PROJECT MANAGER	RKD
DRAWN BY	GMT
REVIEWED BY	RKD
ISSUE DATE	05.14.2021
REVISIONS	

C101

CIVIL SURVEY &
EXISTING SITE LAYOUT

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NOTES:

- 1) EXISTING MONUMENTS RECOVERED AS SHOWN.
- 2) EXISTING CONTOURS FROM TOPOGRAPHIC SURVEY. (NAVD 1988)
- 3) LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES NOT SHOWN. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATIONS AND DEPTHS.
- 4) CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY PRACTICES.
- 5) EROSION CONTROL MEASURES SHOWN ON OTHER SHEETS ARE A MINIMUM. THE CONTRACTOR IS RESPONSIBLE FOR CONTROL OF EROSION ON SITE. ADDITIONAL ITEMS MAY BE REQUIRED.
- 6) A UTILITY AND DRAINAGE EASEMENT EXISTS TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY. A UTILITY AND DRAINAGE EASEMENT EXISTS FIVE (5) FEET IN WIDTH ALONG ALL OTHER EXTERIOR LOT LINES AND ALONG BOTH SIDES OF ALL INTERIOR LOT LINES.
- 7) THE CONTRACTOR SHALL HAVE A STAMPED AND SIGNED COPY OF THIS PLAN ON SITE AT ALL TIMES DURING CONSTRUCTION
- 8) NO SLOPES SHALL BE STEEPER THAN 2H:1V
- 9) REDUCTION OF SITE IMPERVIOUS AREA TO LESS THAN 0.5 ACRES TO BE VERIFIED BY CITY OF KNOXVILLE DURING DEVELOPMENT CERTIFICATION.
- 10) VARIANCE APPROVED BY THE KNOXVILLE BOARD OF ZONING APPEALS ON JUNE 15, 2021 FOR REDUCTION OF THE PARKING AISLE WIDTHS.

NOTES:

- 1) ALL TREES SHALL BE PROPERTY MAINTAINED TO ENSURE THEIR SURVIVAL. ANY TREE WHICH FAILS TO SURVIVE SHALL BE REPLACED.
- 2) DECIDUOUS TREE SPECIES WILL BE RED MAPLE, FLOWERING DOGWOOD, RED OAK, TULIP POPLAR, SYCAMORE, AND REDBUD. A COMBINATION OF AT LEAST THREE (3) DIFFERENT SPECIES WILL BE PLANTED.
- 3) EVERGREEN TREES WILL INCLUDE AMERICAN HOLLY, EASTERN WHITE PINE, VIRGINIA PINE, SHORT LEAF PINE, CAROLINA HEMLOCK, CANADIAN HEMLOCK, EASTERN RED CEDAR, OR FRAZIER FIR. A COMBINATION OF AT LEAST THREE (3) DIFFERENT SPECIES WILL BE PLANTED.
- 4) 50% OF TREES WILL HAVE A MATURE HEIGHT OF AT LEAST 50 FEET.
- 5) SHRUBS TO BE PLANTED INCLUDE PFITZER'S JUNIPER AS SHOWN, AND A COMBINATION OF AZALEA, MYRTLE, RHODODENDRON, AND OTHER ORNAMENTAL VARIETIES.
- 6) REMAINING AREAS WILL BE SEEDED OR SODDED WITH A MIXTURE OF LAWN GRASSES.

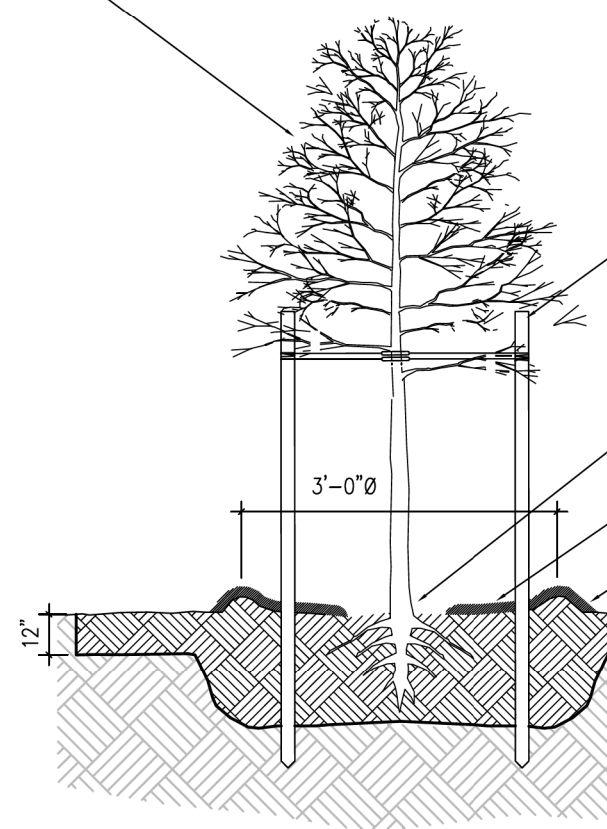
LEGEND

- EIP EXISTING IRON PIN (FOUND)
- MAG MAG NAIL (FOUND)
- G.M. GAS METER
- W.M. WATER METER
- W.V. WATER VALVE
- L.P. LIGHT POLE
- M.H. MANHOLE
- X.F.H. FIRE HYDRANT
- P.T. POWER/TELEPHONE/CABLE
- C.C.M. CITY CONTROL MONUMENT
- G GAS LINE (TYP)
- SA SANITARY SEWER (TYP)
- W WATER LINE (TYP)
- GD GUTTER DOWNSPOUT
- PG PROPOSED GRASS YARD
- PP PROPOSED PAVEMENT
- PC PROPOSED CONCRETE

TREE SPECIES TOTALS

- 2 - LARGE DECIDUOUS TREES (RED MAPLE, SUGAR MAPLE, TULIP POPLAR)
- 1 - LARGE EVERGREEN TREE (SHORTLEAF PINE, PITCH PINE, WHITE PINE)
- 1 - MEDIUM TREE (WEEPING WILLOW, RIVER BIRCH, AMERICAN HOLLY)
- 1 - SMALL TREE (REDBUD, DOGWOOD, MAGNOLIA)
- 1 - FRUIT TREE (PEACH, PEAR, CHERRY, APPLE, WALNUT)

PRUNE ANY BROKEN BRANCHES FOUND IN THE CANOPY.



TREE PLANTING
TYPICAL DETAIL
NO SCALE

LEGEND

- LARGE DECIDUOUS TREE
MATURE HEIGHT: +50'
- EVERGREEN TREE
MATURE HEIGHT: +50' (LARGE)
- MEDIUM TREE
MATURE HEIGHT: 30'-50'
- SMALL TREE
MATURE HEIGHT: LESS THAN 30'
- FRUIT TREE

SUMMARY OF IMPERVIOUS & IMPERVIOUS AREAS:

TOTAL PARCEL AREA: 28,305 SQ FT

TOTAL DISTURBED AREA: 5,500 SQ FT

IMPERVIOUS AREAS:

EXISTING = 25,695 SQ FT

REDUCTION = 5,242 SQ FT

PROPOSED NEW = 882 SQ FT

NET IMPERVIOUS AREA = 21,335 SQ FT (0.49 AC)

VEHICULAR USE AREA:

EXISTING = 11,650 SQ FT

REDUCTION = 2,104 SQ FT

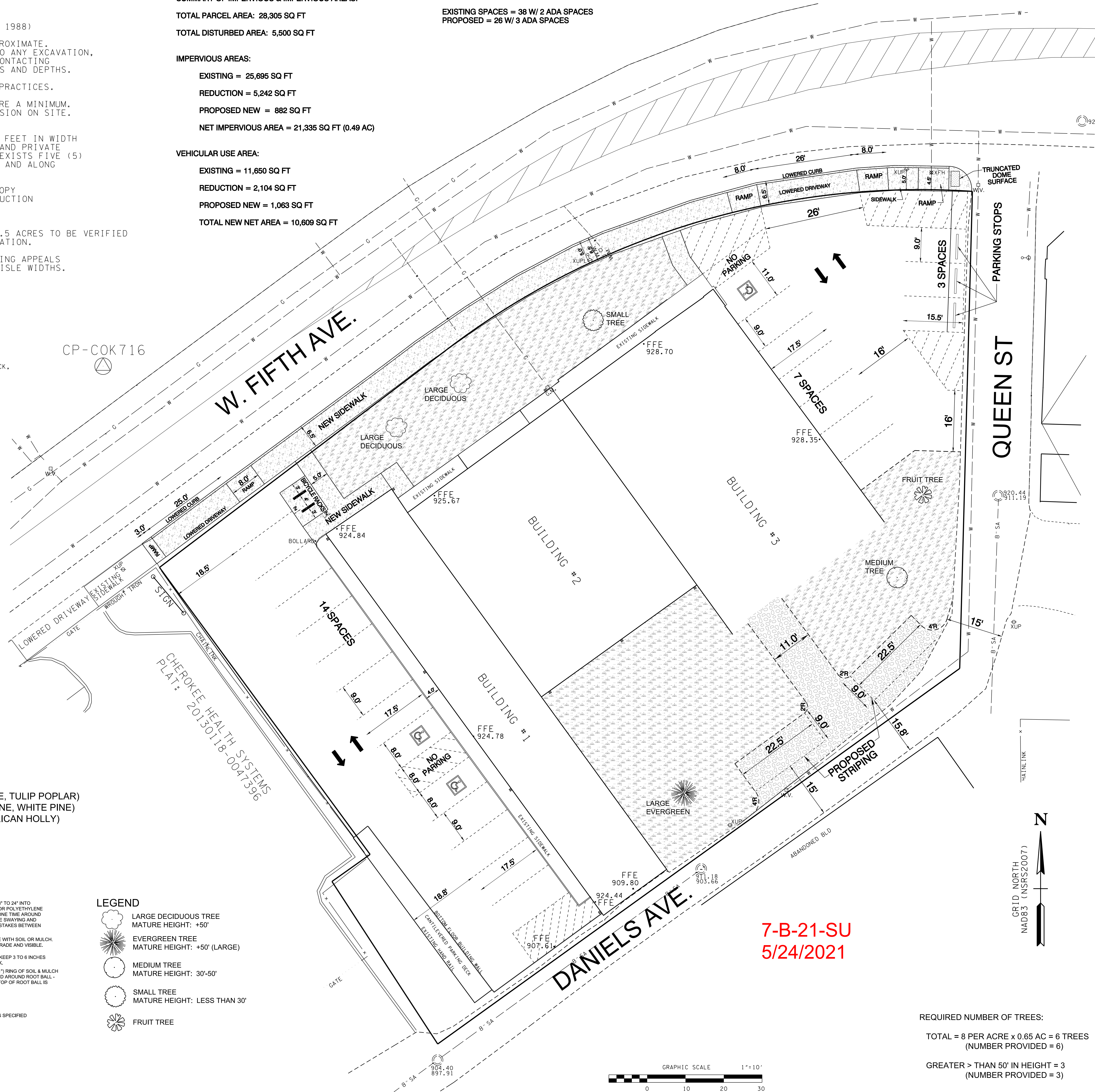
PROPOSED NEW = 1,063 SQ FT

TOTAL NEW NET AREA = 10,609 SQ FT

PARKING SUMMARY

EXISTING SPACES = 38 W/ 2 ADA SPACES

PROPOSED = 26 W/ 3 ADA SPACES



7-B-21-SU
5/24/2021

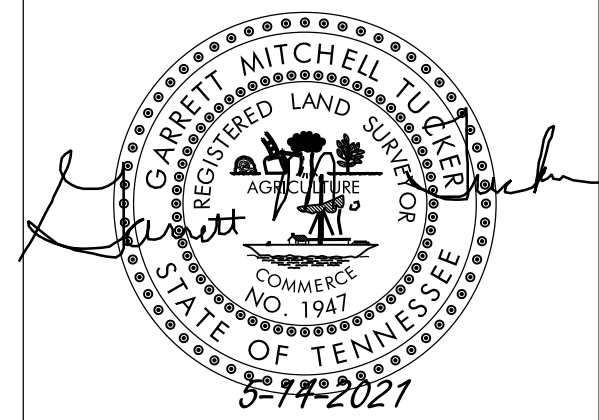
REQUIRED NUMBER OF TREES:

TOTAL = 8 PER ACRE x 0.65 AC = 6 TREES
(NUMBER PROVIDED = 6)

GREATER > THAN 50' IN HEIGHT = 3
(NUMBER PROVIDED = 3)



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COALITION

OWNER
MDC

PROJECT ADDRESS
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KNOXVILLE, TN 37917

CONSULTANTS
ENGINEER:
ROBERT G. CAMPBELL & ASSOCIATES
1523 TAGGART LANE
KNOXVILLE, TN, 37938
PHONE: 865-947-5996



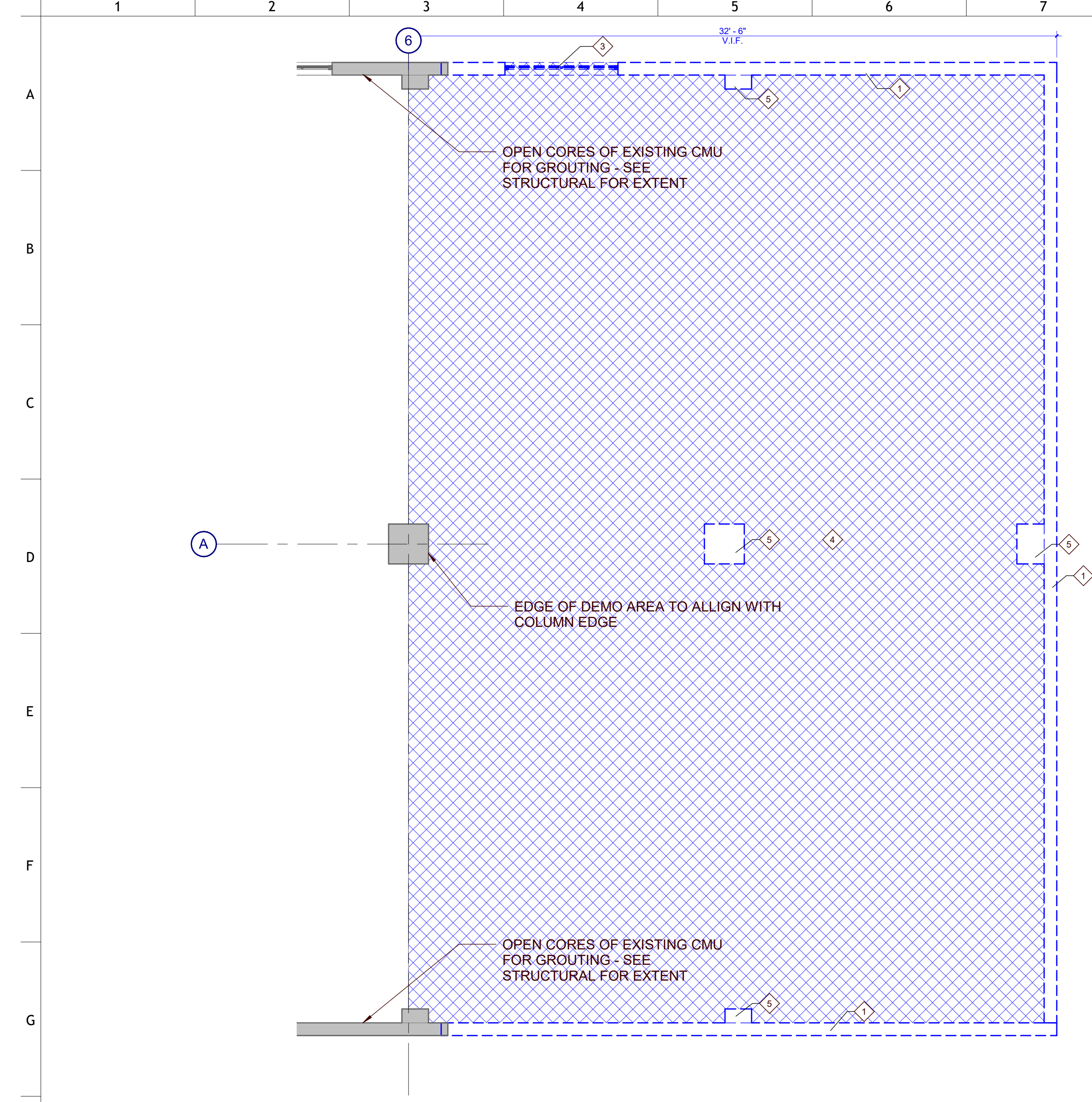
OWNER:
METRO DRUG COALITION, INC.
4930 LYONS VIEW PIKE
KNOXVILLE, TN 37919

PARTNER-IN-CHARGE	RKD
PROJECT MANAGER	RKD
DRAWN BY	GMT
REVIEWED BY	RKD
ISSUE DATE	05.14.2021

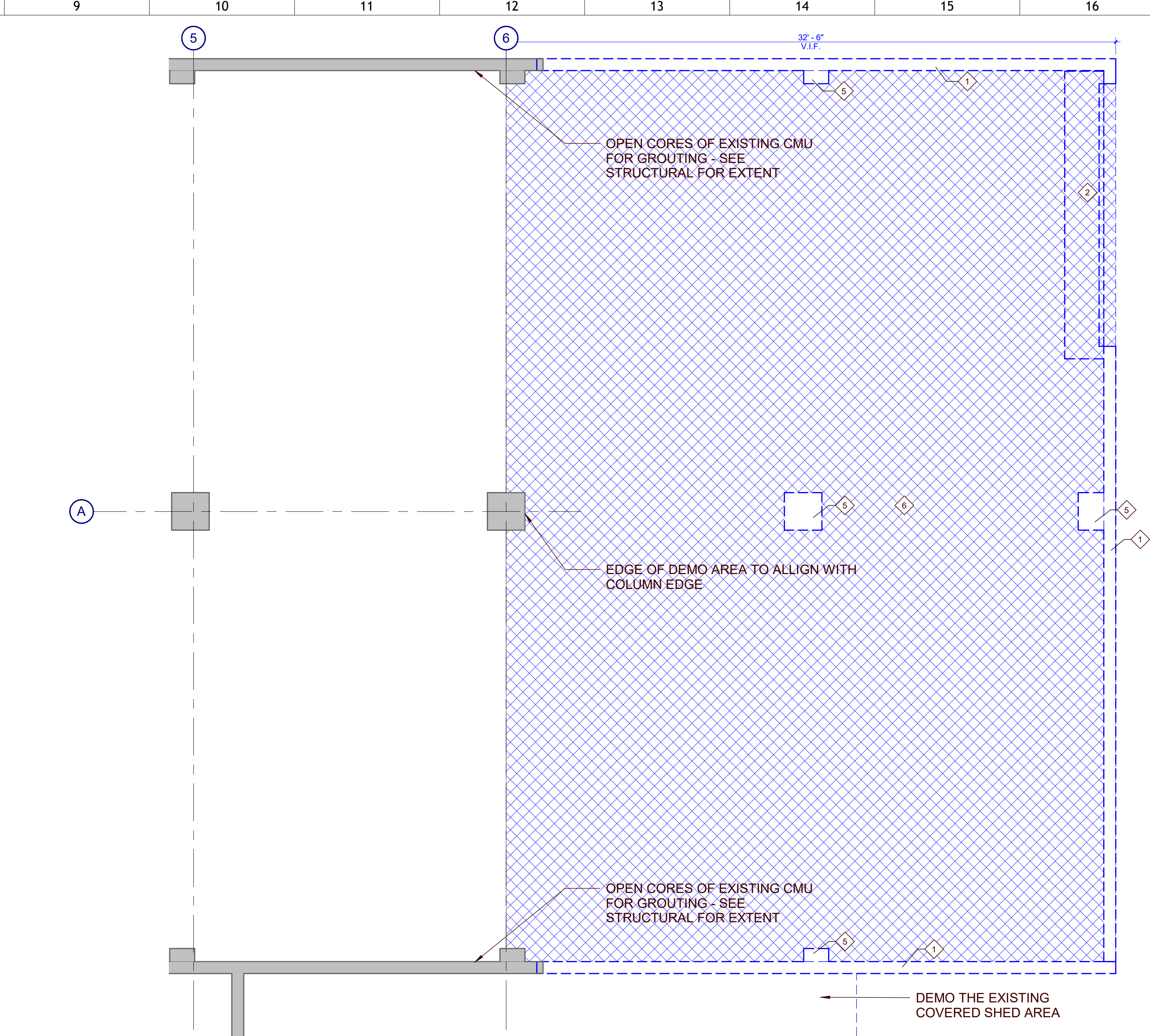
REVISIONS

C201

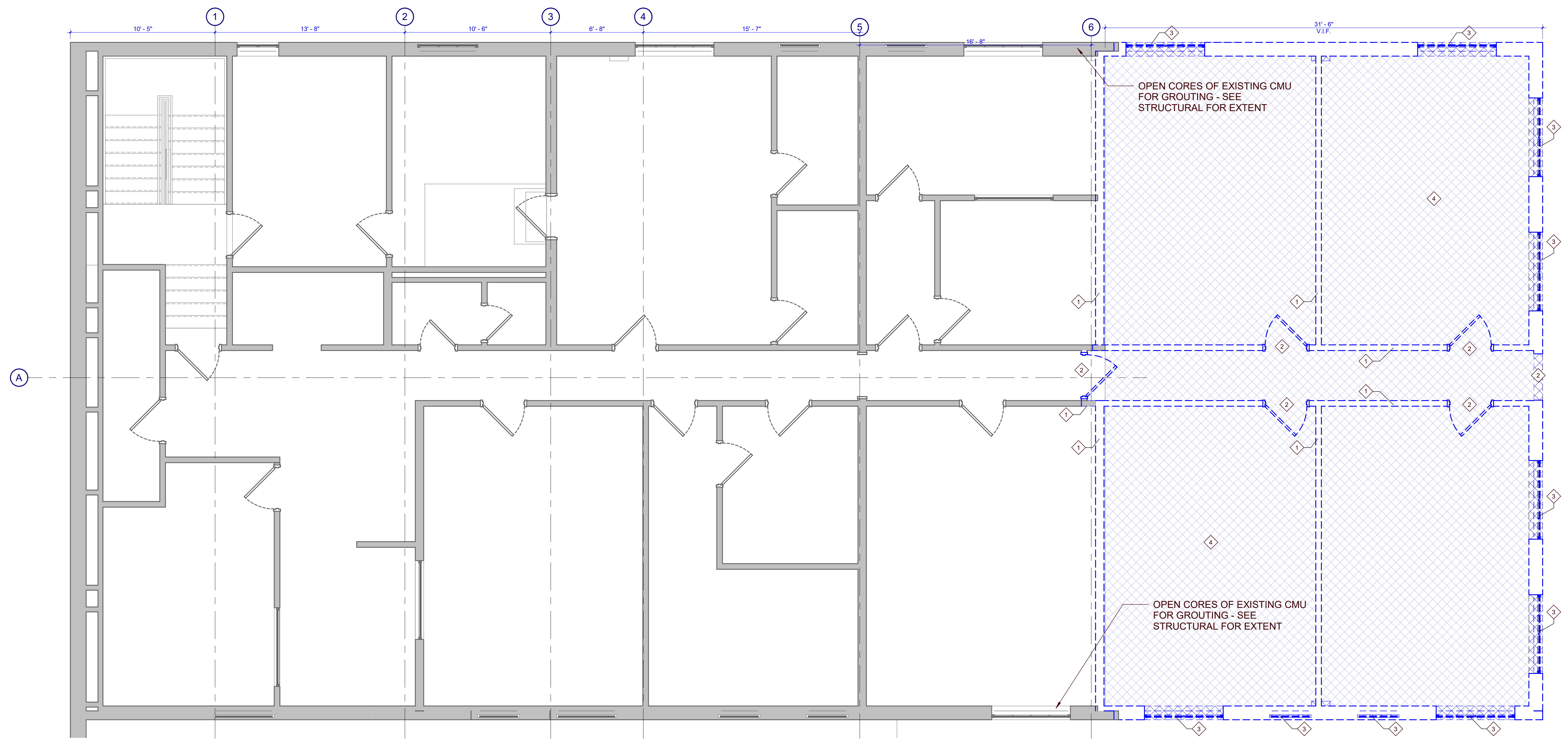
PROPOSED CIVIL
SITE LAYOUT



1ST FLOOR - DEMO



GROUND FLOOR - DEMO

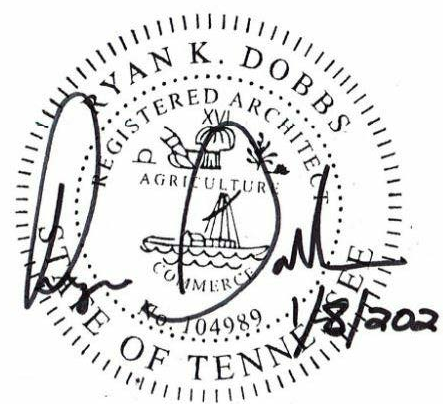


2ND FLOOR - DEMO

7-B-21-SU
5/24/2021



505 Market St Suite 300 Knoxville, TN 37902
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bma1915.com



PROJECT NUMBER
194400

PROJECT NAME
THE GATEWAY - SHELL

OWNER
METRO DRUG COALITION

PROJECT ADDRESS
**530 W. FIFTH AVENUE
KNOXVILLE, TN 37917**

- CONSULTANTS
- DEMOLITION NOTES**
- SEE SHEET SPOO1 FOR SITE DEMOLITION.
 - COORDINATE EXTENT OF DEMOLITION WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
 - REMOVE ALL EXISTING FINISHES AT DEMOLISHED AREAS **U.O.M.** REMOVE EXISTING FINISHES AS REQUIRED AT OTHER AREAS SCHEDULED TO RECEIVE NEW FINISHES.
 - CAP UTILITIES AND PATCH WALLS AND FLOORS WHERE CASEWORK OR FIXTURES ARE REMOVED. PROVIDE RATED CONSTRUCTION OR OPENING PROTECTIVES MATCHING WALL OR FLOOR WHERE REQUIRED.
 - PROTECT ALL FINISHES OR FIXTURES WHICH ARE EXISTING TO REMAIN. REPAIR OR REPLACE AS REQUIRED IF DAMAGED.
 - SALVAGEABLE ITEMS SHALL BE STORED, RE-USED, OR DISPOSED OF AT THE OWNER'S DIRECTION.
 - REMOVE HANDRAIL/WALL GUARDS AND CORNER GUARDS TO EXTENT REQUIRED.

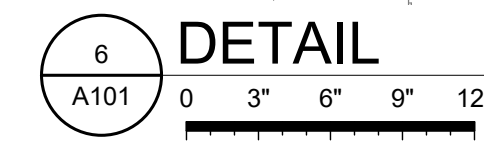
- DEMO PLAN KEYNOTES**
- 1 DEMOLISH PORTION OF EXISTING WALL/PARTITION.
 - 2 REMOVE EXISTING DOOR AND FRAME.
 - 3 REMOVE EXISTING WINDOW.
 - 4 DEMOLISH FINISH FLOOR & FLOOR STRUCTURE.
 - 5 DEMOLISH COLUMN.
 - 6 DEMOLISH CONCRETE SLAB.

- DEMOLITION LEGEND**
- EXISTING CONSTRUCTION TO REMAIN
 - EXISTING CONSTRUCTION TO BE REMOVED
 - EXISTING DOOR TO BE REMOVED, AS NOTED
 - EXISTING OPENING TO BE REMOVED, AS NOTED
 - AREA OF EXISTING FLOOR TO BE REMOVED

PARTNER-IN-CHARGE	RKD
PROJECT MANAGER	RKD
DRAWN BY	ALC
REVIEWED BY	TWM
ISSUE DATE	01.08.2020

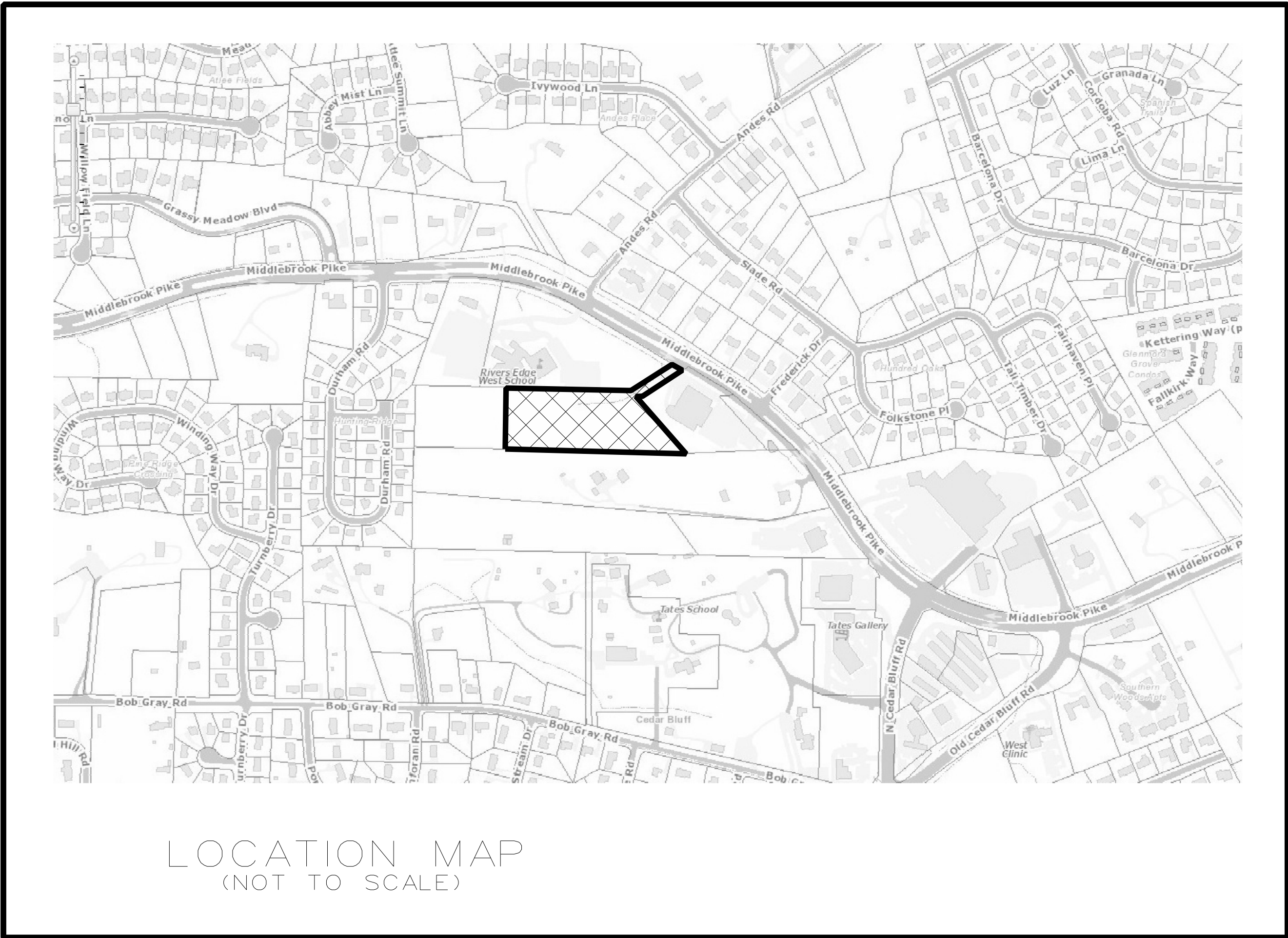
REVISIONS

A041
DEMOLITION SHEET



7-B-21-SU
5/24/2021

CONCEPT PLAN FOR
MIDDLEBROOK
COMMONS
7-B-21-UR



LOCATION MAP
(NOT TO SCALE)

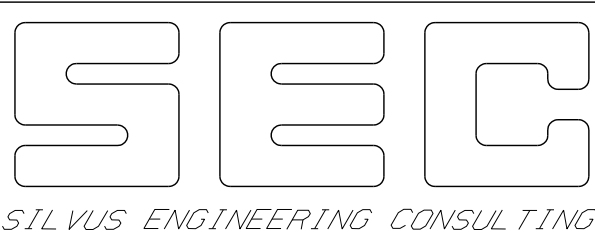
LOCATION MAP
(NOT TO SCALE)

PARCEL IDS: 105-058 105-057 DIST: 6 AREA: 5.03 ACRES
MIDDLEBROOK PIKE, KNOXVILLE, TN 37931
GOVERNED BY KNOX COUNTY TENNESSEE
(NOT WITHIN LIMITS OF CITY OF KNOXVILLE OR TOWN OF FARRAGUT)

PRINTED: 05-24-2021

MB COMMONS, LLC

PREPARED BY:



1815 NANTASKET ROAD
KNOXVILLE, TN 37922
NATHAN SILVUS, P.E.
(865) 414-0524

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30	C8.1 LANDSCAPING
10	C8.2 ENTRY SIGN
--	C9.1 DETAILS
--	A1.1 CLUBHOUSE/OFFICE ELEVATION
--	A1.2 RESIDENTIAL BUILDING ELEVATION



File No.: 7-B-21-UR

Date submitted: 6/18/2021

These plans have not been reviewed by
Planning Staff and may not be finalized.



NO.		REVISIONS:	BY	DATE

MIDDLEBROOK COMMONS

0 MIDDLEBROOK PIKE, KNOXVILLE, TN 37931
PARCEL ID: 105-057 105-058 AREA: 5.0 AC

PROJECT:

MB COMMONS, LLC

1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865-414-0524

OWNER:

SEC
SILVUS ENGINEERING CONSULTING

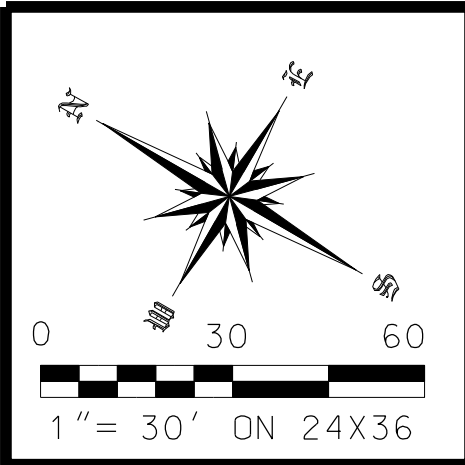
NATHAN SILVUS, P.E.
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865-414-0524

ENGINEER:

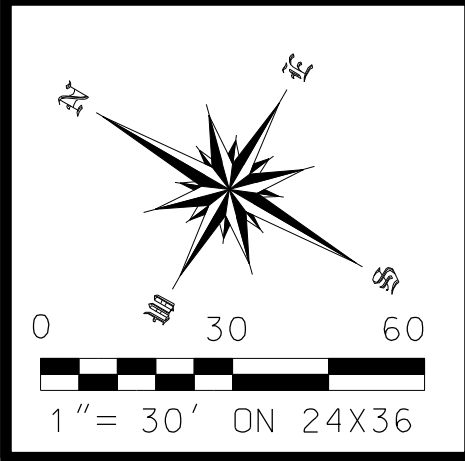
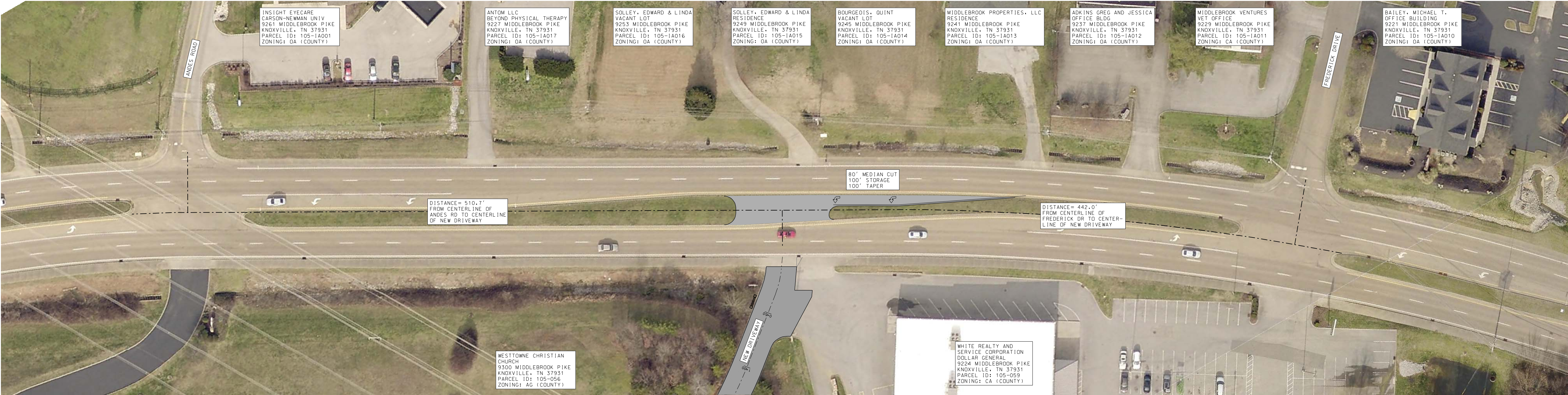
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7-B-21-UR

DATE: 05-24-2021

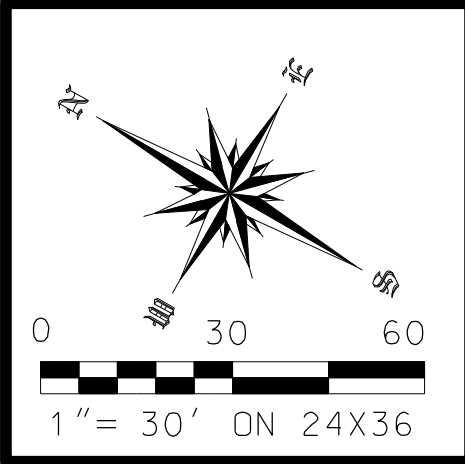
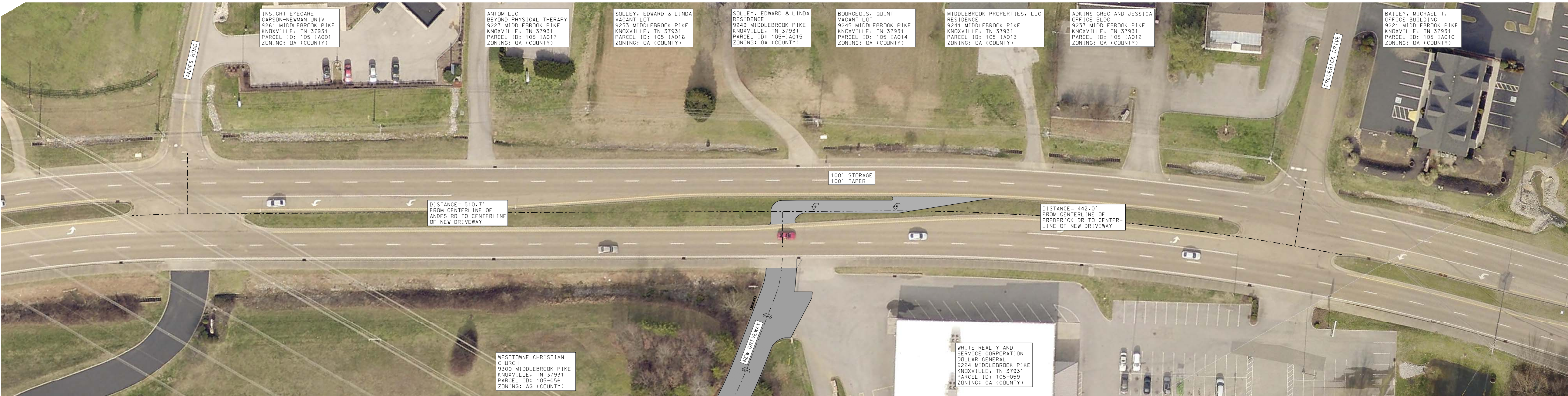
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PROJECT OVERVIEW



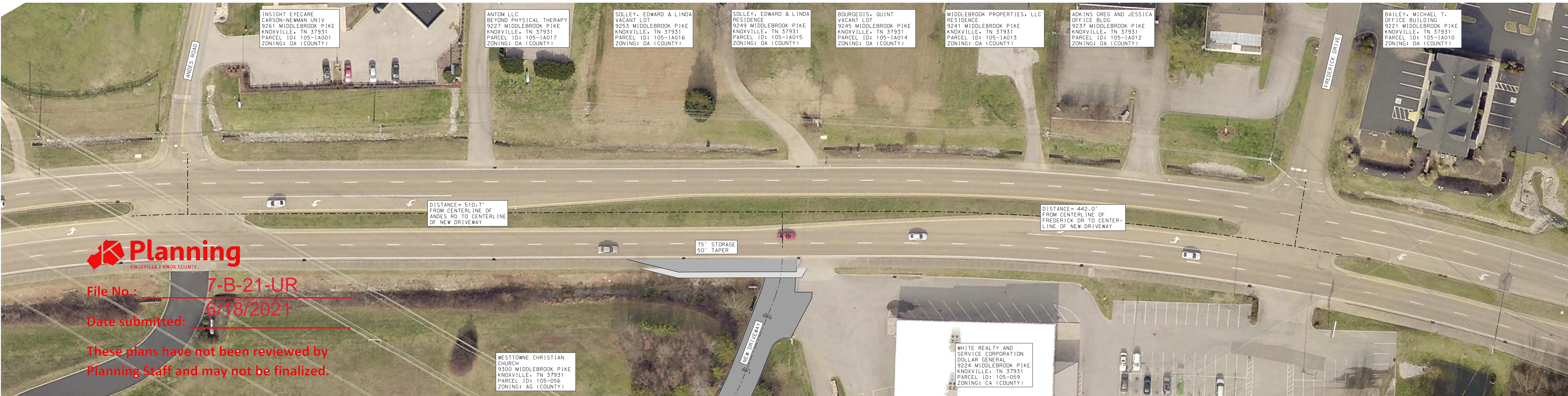
SCENARIO #1
FULL ACCESS WITH
LEFT TURN DECEL
** PREFERRED **



SCENARIO #2
LEFT TURN DECEL
IN J-CHANNEL



SCENARIO #3
RIGHT-IN RIGHT-OUT
WITH DECEL LANE



Planning
KNOXVILLE | KNOX COUNTY

File No.: **7-B-21-UR**

Date submitted: **6/18/2021**

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MIDDLEBROOK COMMONS

0 MIDDLEBROOK PIKE, KNOXVILLE, TN 37931
PARCEL ID: 105-057 105-058 AREA: 5.0 AC

PROJECT:

OWNER:

MB COMMONS, LLC
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865-414-0524

ENGINEER:

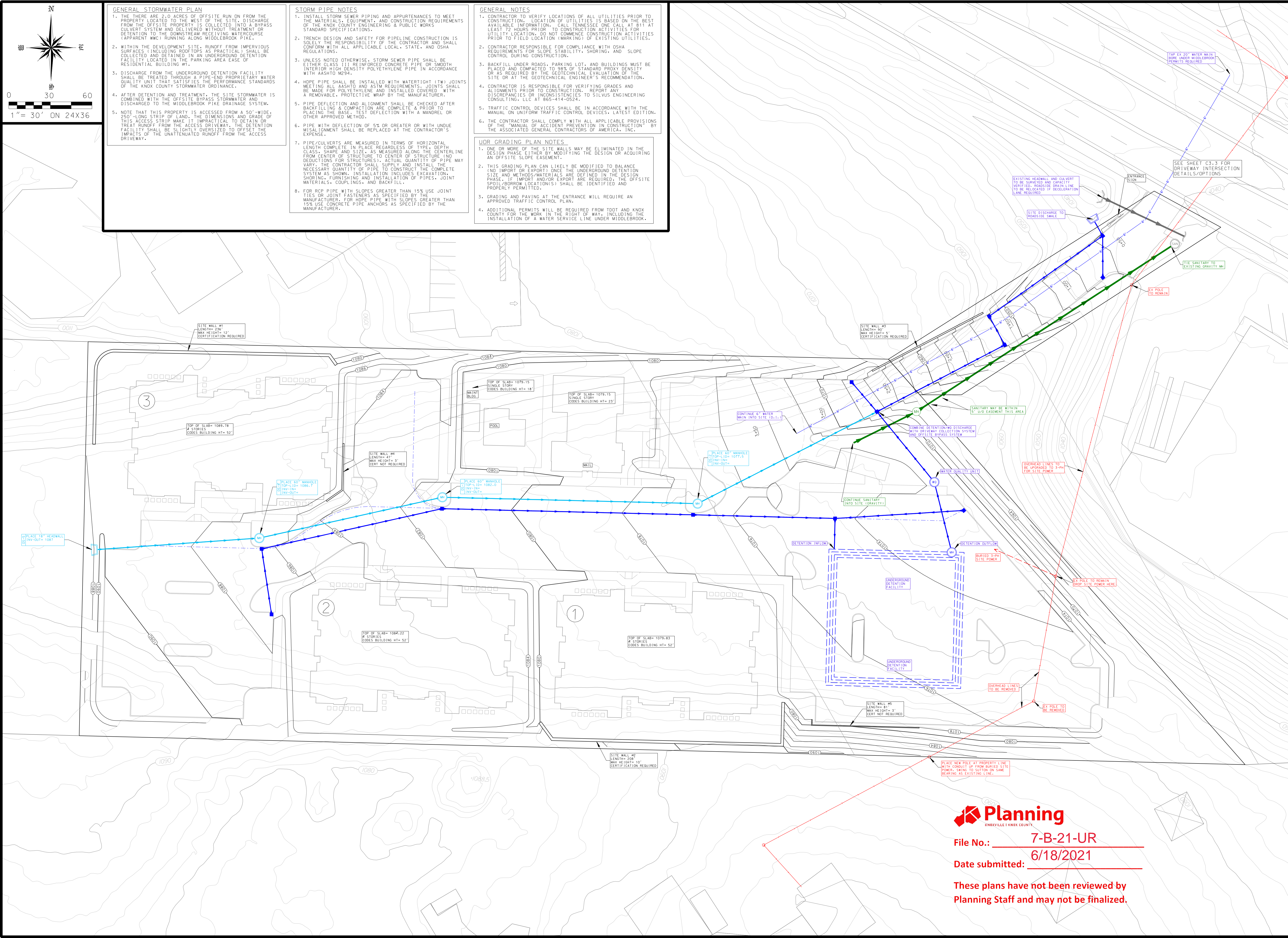
SEC
SILVUS ENGINEERING CONSULTING
NATHAN SILVUS, P.E.
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865-414-0524

MPC USE ON REVIEW
7-B-21-UR

DATE: **05-24-2021**

SHEET:

C3.3
MIDDLEBROOK
DETAILS



GENERAL STORMWATER PLAN

1. THERE ARE 2.0 ACRES OF OFFSITE RUN ON FROM THE PROPERTY LOCATED TO THE WEST OF THE SITE. DISCHARGE FROM THE OFFSITE PROPERTY IS COLLECTED INTO A BYPASS CULVERT SYSTEM AND DELIVERED WITHOUT TREATMENT OR DETENTION TO THE DOWNSIDE RECEIVING WATERCOURSE (APPARENT W/C) RUNNING ALONG MIDDLEBROOK PIKE.
2. WITHIN THE DEVELOPMENT SITE, RUNOFF FROM IMPERVIOUS SURFACES (INCLUDING ROOFTOPS AS PRACTICAL) SHALL BE COLLECTED AND DETAINED IN AN UNDERGROUND DETENTION FACILITY LOCATED IN THE PARKING AREA EASE OF RESIDENTIAL BUILDING #1.
3. DISCHARGE FROM THE UNDERGROUND DETENTION FACILITY SHALL BE TREATED THROUGH A PIPE-END PROPRIETARY WATER QUALITY UNIT THAT SATISFIES THE PERFORMANCE STANDARDS OF THE KNOX COUNTY STORMWATER ORDINANCE.
4. AFTER DETENTION AND TREATMENT, THE SITE STORMWATER IS COMBINED WITH THE OFFSITE BYPASS STORMWATER AND DISCHARGED TO THE MIDDLEBROOK PIKE DRAINAGE SYSTEM.
5. NOTE THAT THIS PROPERTY IS ACCESSED FROM A 50'-WIDE, 250'-LONG STRIP OF LAND. THE DIMENSIONS AND GRADE OF THIS ACCESS STRIP MAKE IT IMPRACTICAL TO DETAIN OR TREAT RUNOFF FROM THE ACCESS DRIVEWAY. THE DETENTION FACILITY SHALL BE SLIGHTLY OVERSIZED TO OFFSET THE IMPACTS OF THE UNATTENUATED RUNOFF FROM THE ACCESS DRIVEWAY.

STORM PIPE NOTES

1. INSTALL STORM SEWER PIPING AND APPURTENANCES TO MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY ENGINEERING & PUBLIC WORKS STANDARD SPECIFICATIONS.
2. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
3. UNLESS NOTED OTHERWISE, STORM SEWER PIPE SHALL BE EITHER CLASS III REINFORCED CONCRETE PIPE OR SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE PIPE IN ACCORDANCE WITH AASHTO M294.
4. HOPE PIPE SHALL BE INSTALLED WITH WATERTIGHT (TW) JOINTS MEETING ALL AASHTO AND ASTM REQUIREMENTS. JOINTS SHALL BE MADE FOR POLYETHYLENE AND INSTALLED COVERED WITH A REMOVABLE, PROTECTIVE WRAP BY THE MANUFACTURER.
5. PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING & COMPACTION ARE COMPLETE & PRIOR TO PLACING THE BASE. TEST DEFLECTION WITH A MANDREL OR OTHER APPROVED METHOD.
6. PIPE WITH DEFLECTION OF 5% OR GREATER OR WITH UNIQUE MISALIGNMENT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. PIPE/CULVERTS ARE MEASURED IN TERMS OF HORIZONTAL LENGTH COMPLETE IN PLACE REGARDLESS OF TYPE, DEPTH, CLASS, SHAPE AND SIZE, AS MEASURED ALONG THE CENTERLINE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE (NO DEDUCTIONS FOR STRUCTURES). ACTUAL QUANTITY OF PIPE MAY VARY. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE NECESSARY QUANTITY OF PIPE TO CONSTRUCT THE COMPLETE SYSTEM AS SHOWN. INSTALLATION INCLUDES EXCAVATION, SHORING, FURNISHING AND INSTALLATION OF PIPES, JOINT MATERIALS, COUPLINGS, AND BACKFILL.
8. FOR RCP PIPE WITH SLOPES GREATER THAN 15% USE JOINT TIES OR JOINT FASTENERS AS SPECIFIED BY THE MANUFACTURER. FOR HOPE PIPE WITH SLOPES GREATER THAN 15% USE CONCRETE PIPE ANCHORS AS SPECIFIED BY THE MANUFACTURER.

GENERAL NOTES

1. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES IS BASED ON THE BEST AVAILABLE INFORMATION. CALL TENNESSEE ONE CALL AT 811 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR UTILITY LOCATION. DO NOT COMMENCE CONSTRUCTION ACTIVITIES PRIOR TO FIELD LOCATION (MARKING) OF EXISTING UTILITIES.
 2. CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS FOR SLOPE STABILITY, SHORING, AND SLOPE CONTROL DURING CONSTRUCTION.
 3. BACKFILL UNDER ROADS, PARKING LOT, AND BUILDINGS MUST BE PLACED AND COMPACTED TO 98% OF STANDARD PROXY DENSITY OR AS REQUIRED BY THE GEOTECHNICAL EVALUATION OF THE SITE OR AT THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES AND ALIGNMENTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SILVUS ENGINEERING CONSULTING, LLC AT 865-414-0524.
 5. TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 6. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC.
- UDOR GRADING PLAN NOTES
1. ONE OR MORE OF THE SITE WALLS MAY BE ELIMINATED IN THE DESIGN PHASE EITHER BY MODIFYING THE DESIGN OR ACQUIRING AN OFFSITE SLOPE EASEMENT.
 2. THIS GRADING PLAN CAN LIKELY BE MODIFIED TO BALANCE (NO IMPORT OR EXPORT) ONCE THE UNDERGROUND DETENTION SIZE AND METHODS/MATERIALS ARE DEFINED IN THE DESIGN PHASE. IF IMPORT AND/OR EXPORT ARE REQUIRED, THE OFFSITE SPOIL/BORROW LOCATION(S) SHALL BE IDENTIFIED AND PROPERLY PERMITTED.
 3. GRADING AND PAVING AT THE ENTRANCE WILL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN.
 4. ADDITIONAL PERMITS WILL BE REQUIRED FROM TOOT AND KNOX COUNTY FOR THE WORK IN THE RIGHT OF WAY, INCLUDING THE INSTALLATION OF A WATER SERVICE LINE UNDER MIDDLEBROOK.

NO.	REVISIONS:	BY	DATE

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MIDDLEBROOK COMMONS

0 MIDDLEBROOK PIKE, KNOXVILLE, TN 37931
PARCEL ID: 105-057 105-058 AREA: 5.0 AC

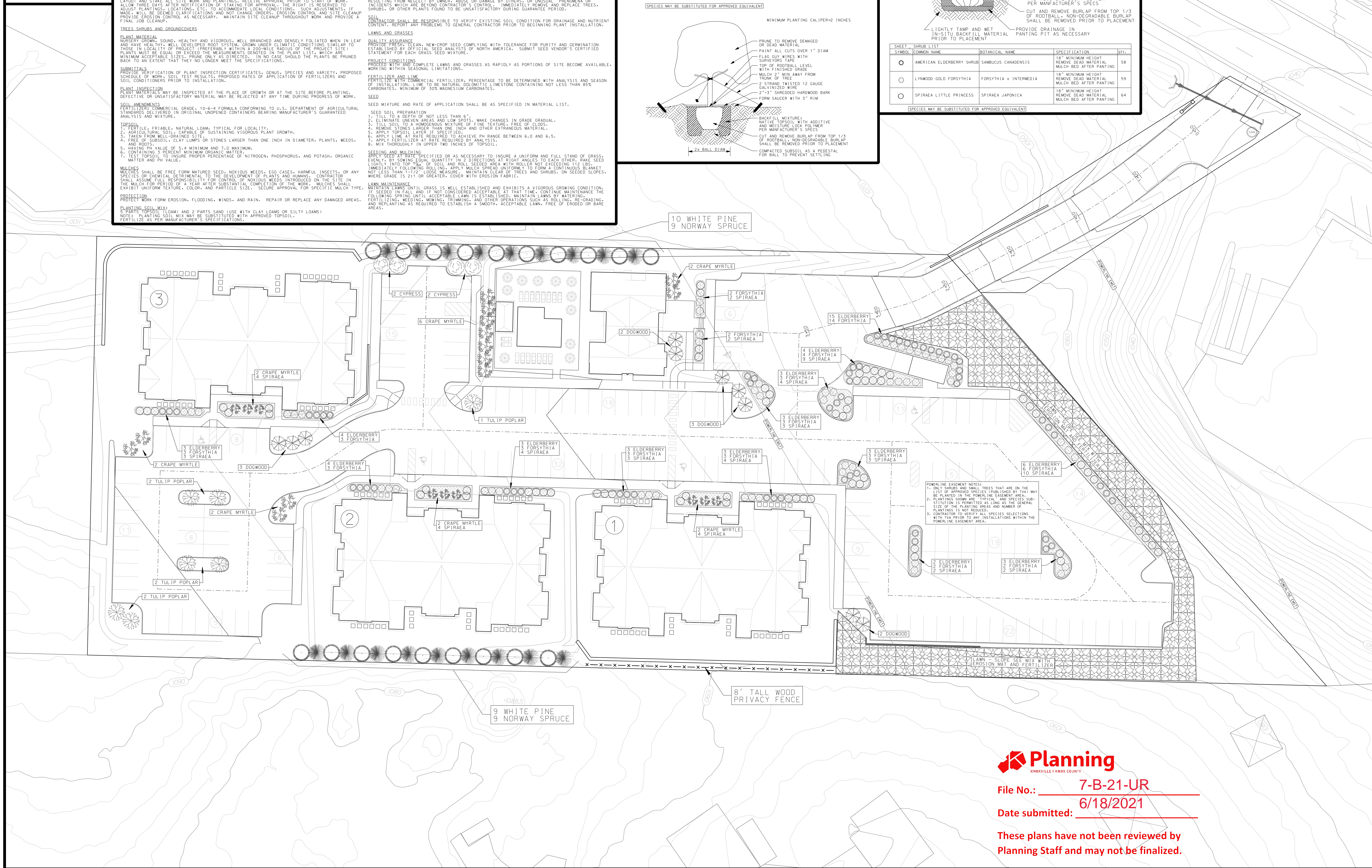
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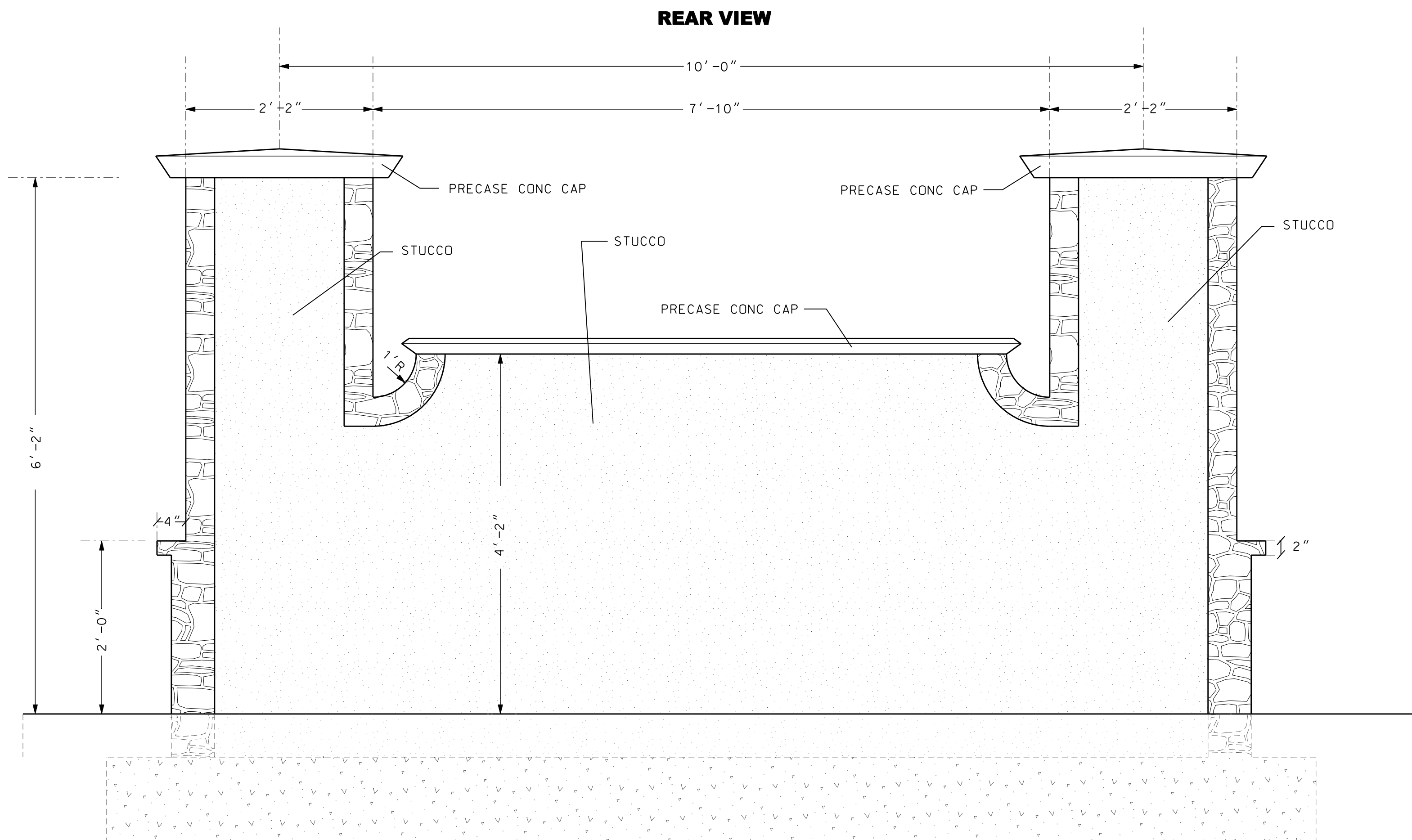
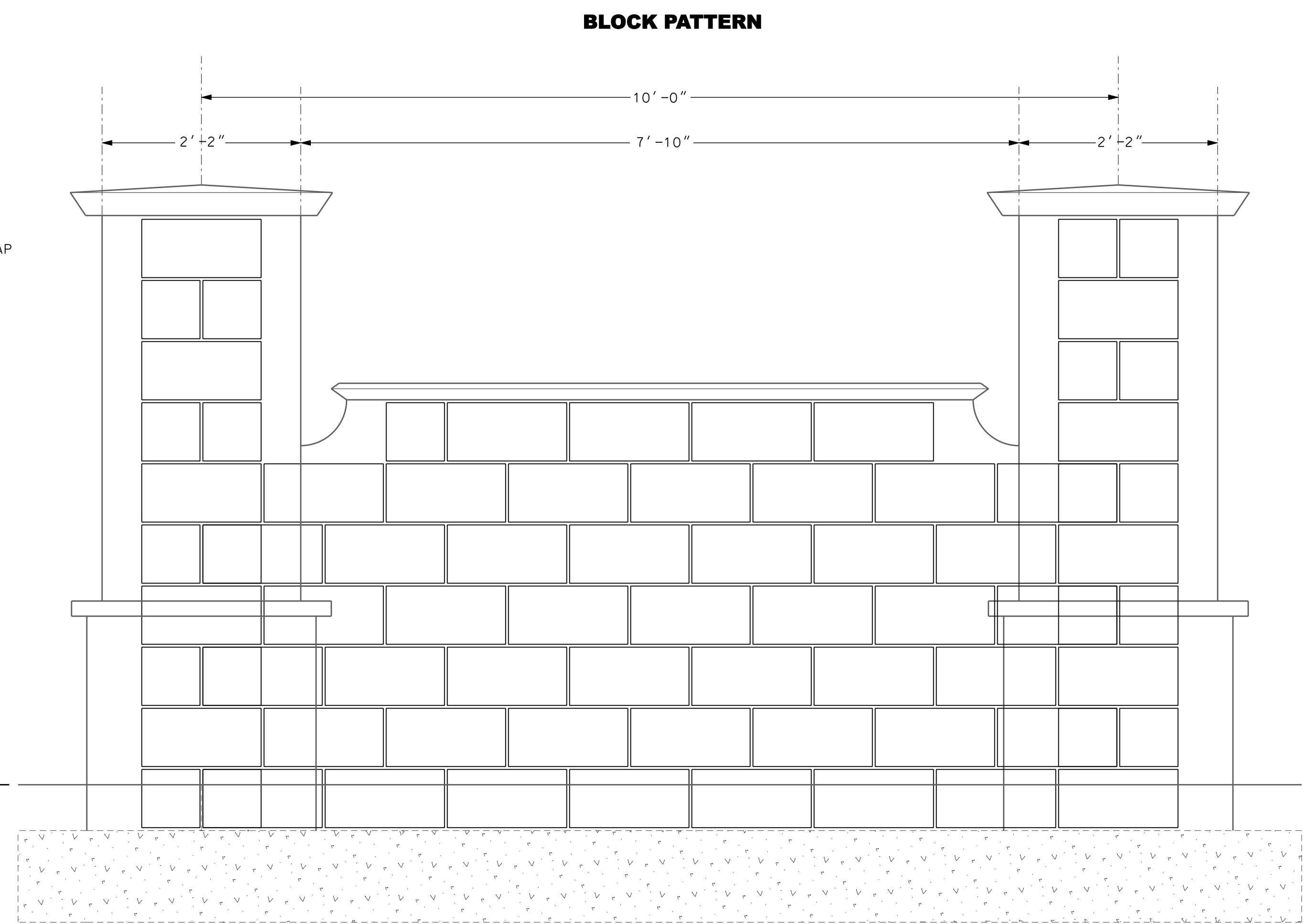
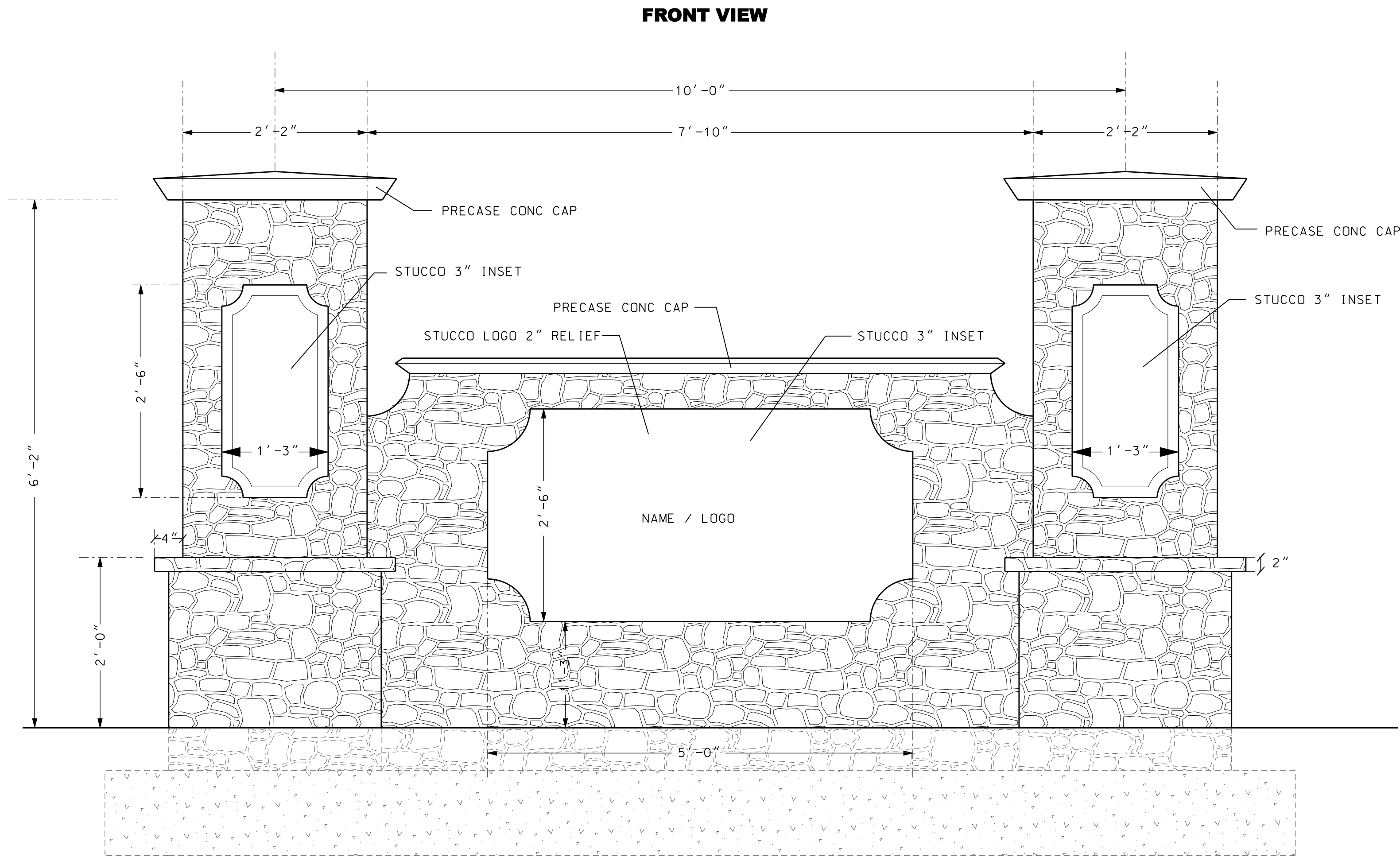
OWNER: MB COMMONS, LLC
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

ENGINEER: SEC
SILVUS ENGINEERING CONSULTING
NATHAN SILVUS, P.E.
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

DATE: 05-24-2021

SHEET: C4.1
GRADING
STORM
UTILITIES

[illegible]



File No.: 7-B-21-UR

Date submitted: 6/18/2021

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Planning Staff and may not be finalized.

1" = 1.0'

**MIDDLEBROOK
COMMONS**

0 MIDDLEBROOK PIKE, KNOXVILLE, TN 37931
PARCEL ID: 105-057-105-058 AREA: 5.0 AC

PROJECT:

OWNER:

MB COMMONS, LLC
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

ENGINEER:

SEC
SILVUS ENGINEERING CONSULTING
NATHAN SILVUS, P.E.
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

MPG USE ON REVIEW
7-B-21-UR

DATE:

05-24-2021

SHEET:

C8.2
ENTRANCE
SIGN

DATE

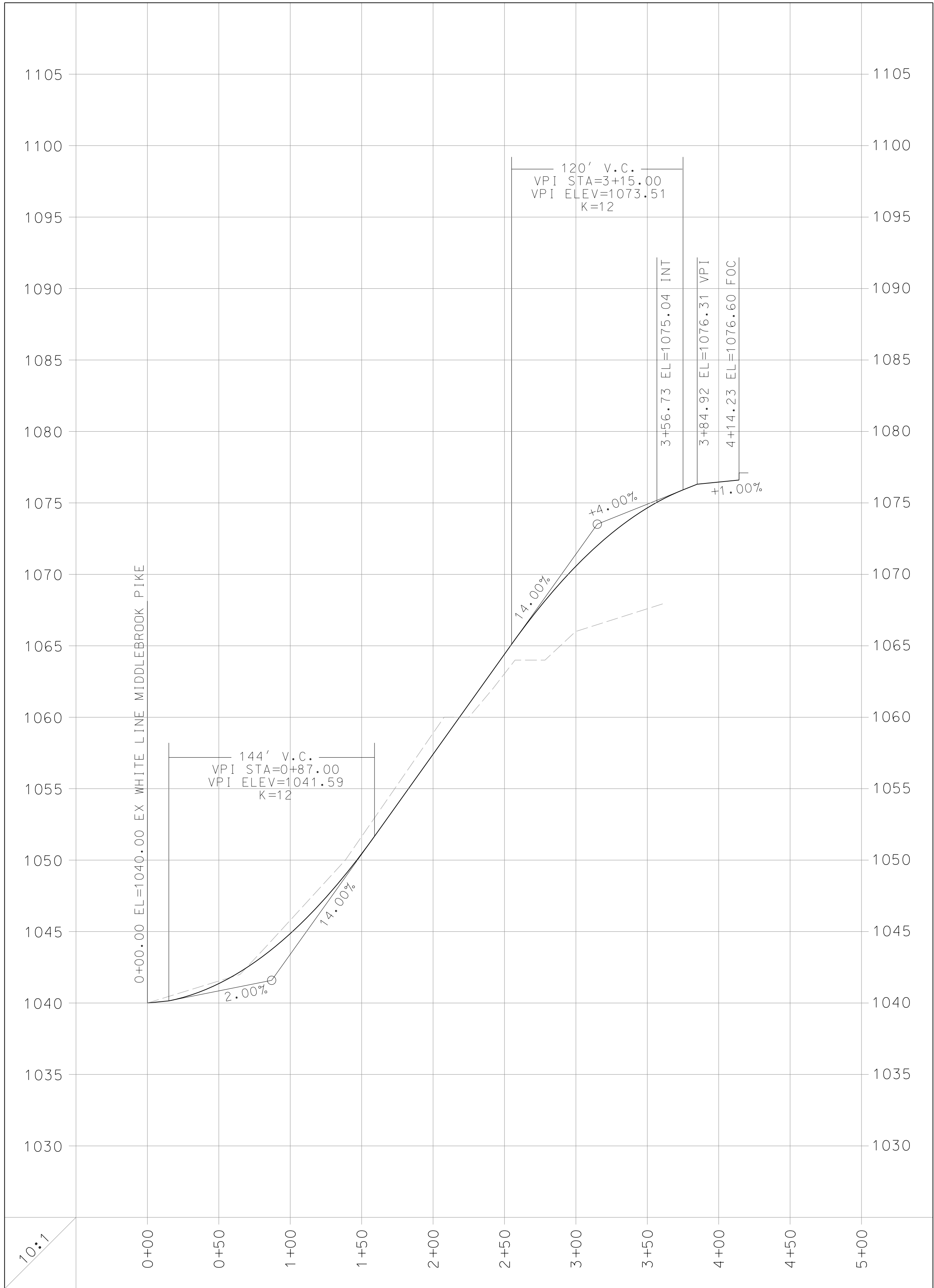
BY

REVISIONS:

NO.

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ACCESS DRIVEWAY



File No.: 7-B-21-UR
Date submitted: 6/18/2021

These plans have not been reviewed by
Planning Staff and may not be finalized.

PROJECT:		NO.		BY		DATE	
OWNER:		NO.		BY		DATE	
ENGINEER:		NO.		BY		DATE	
SHEET:		NO.		BY		DATE	
MPC USE ON REVIEW		NO.		BY		DATE	
7-B-21-UR		NO.		BY		DATE	
DATE:		NO.		BY		DATE	
05-24-2021		NO.		BY		DATE	
SHEET:		NO.		BY		DATE	
C9.1		NO.		BY		DATE	
DETAILS		NO.		BY		DATE	

MIDDLEBROOK COMMONS

0 MIDDLEBROOK PIKE, KNOXVILLE, TN 37931
PARCEL ID: 105-057 105-058 AREA: 5.0 AC

MB COMMONS, LLC

1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

SEE

SILVUS ENGINEERING CONSULTING

NATHAN SILVUS, P.E.
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

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1 NORTH ELEVATION- CLUB HOUSE
A4.3 NOT TO SCALE



2 SOUTH ELEVATION - CLUB HOUSE
A4.3 NOT TO SCALE



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MIDDLEBROOK COMMONS

0 MIDDLEBROOK PIKE, KNOXVILLE, TN 37931
PARCEL ID: 105-057-105-058 AREA: 5.0 AC

PROJECT:
OWNER:
MB COMMONS, LLC
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

ENGINEER:
SEC
SILVUS ENGINEERING CONSULTING
NATHAN SILVUS, P.E.
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

MPG USE ON REVIEW
7-B-21-UR

DATE: 05-24-2021

SHEET:

A1.1

CLUBHOUSE/
OFFICE
ELEVATION

NO.	REVISIONS:	BY	DATE

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FRONT ELEVATION – RESIDENTIAL BUILDING
NOT TO SCALE

SIDE ELEVATION – RESIDENTIAL BUILDING
NOT TO SCALE



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NO.	REVISIONS:	BY	DATE

MIDDLEBROOK COMMONS

0 MIDDLEBROOK PIKE, KNOXVILLE, TN 37931
PARCEL ID: 105-057-105-058 AREA: 5.0 AC

PROJECT:

OWNER:

MB COMMONS, LLC

1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

ENGINEER:

SEC
SILVUS ENGINEERING CONSULTING
NATHAN SILVUS, P.E.
1815 NANTASKET ROAD
KNOXVILLE, TN 37922
865.414.0524

MPG USE ON REVIEW
7-B-21-UR

DATE:

05-24-2021

SHEET:

A1.2
RESIDENTIAL
BUILDING
ELEVATION