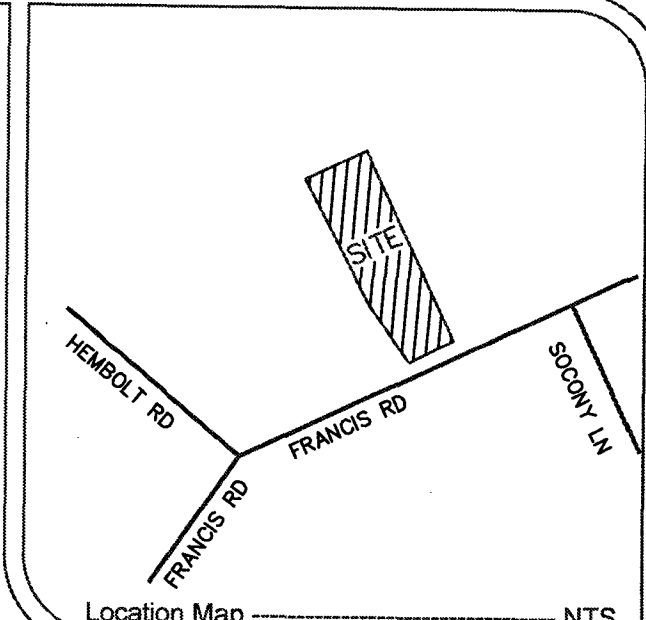




\*GRID NORTH IS BASED ON A BEARING OF  
N 51° 48' 16" E FROM CITY CONTROL POINT  
# 1001 TO # 1002 DISTANCES HAVE NOT BEEN  
REDUCED TO GRID - NAD83 (2011)



#### LEGEND

- IP(O) IRON PIN (OLD) 1/2"
- ⊙ IP(S) IRON PIN (SET) 1/2"

LOT 1 AREA: 13,539.8 SQFT  
IMPERVIOUS AREA: 6414 SQFT  
% IMPERVIOUS AREA: 29.81%

BUILDING AREA: 1340 SQFT  
% IMPERVIOUS: 9.9%

LOT 2 AREA: 18,778.8 SQFT  
IMPERVIOUS AREA: 6981 SQFT  
% IMPERVIOUS AREA: 37.2±

BUILDING AREA: 2540 SQFT  
% IMPERVIOUS: 10.9 %

STREET FACING ELEVATION PROPOSES  
23.6% TRANSPARENCY

BUILDING SETBACKS PER ZONING



#### SITE NOTES

- CORNER MONUMENTS AS SHOWN HEREON
- VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- THE REQUIRED UTILITY AND DRAINAGE EASEMENT SHALL BE TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY (INCLUDING JOINT PERMANENT EASEMENTS). EASEMENTS OF FIVE (5) FEET IN WIDTH SHALL BE PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES. THESE EASEMENTS ARE NOT REQUIRED ALONG SPECIFIC LOT LINES FOR PROPERTY THAT IS ZONED TO ALLOW LESS THAN A FIVE (5) FOOT BUILDING SETBACK
- DEED REFERENCE: INSTRUMENT # 202202240065816
- CLT MAP 106, INSERT C, GROUP A, PARCEL 13
- PROPERTIES ZONED: RN-2  
NO CERTIFICATION IS MADE REGARDING ZONING CONFORMANCE.
- TOTAL AREA: 37,061± SQFT, INCLUDING ACCESS EASEMENT (32,319± SQFT, EXCLUDING ACCESS EASEMENT) INTO 2 LOTS
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.
- SURVEYED PROPERTY IS SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, RIGHT-OF-WAYS, & RESTRICTIONS OF RECORD OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, NOT SHOWN BY PUBLIC RECORDS.

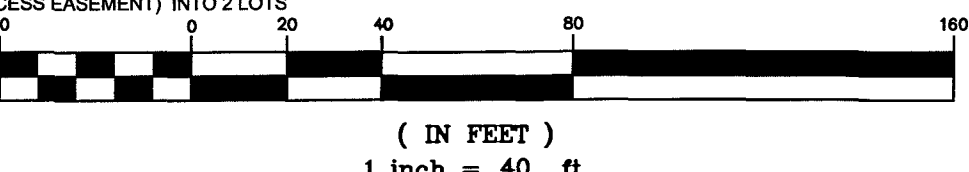
I hereby certify that the survey shown hereon is a category 1 survey and that the ratio of precision of the unadjusted survey is not less than 1:10,000 as shown hereon. no title opinion was furnished to this surveyor and easements shown and or not apparent in the field may or may not be discovered by a title search by a title attorney.

*Richard E. Lema*  
Surveyor  
Tenn. Reg. No. 769

NOTE\*  
EXISTING STRUCTURES ON PROPERTIES TO BE REMOVED.

\*The private right-of-way is not a public street and will not be maintained by the City of Knoxville or Knox County. The private right-of-way shall also function as a utility easement

#### GRAPHIC SCALE



**LeMAY AND ASSOCIATES**  
**CONSULTING ENGINEERS**

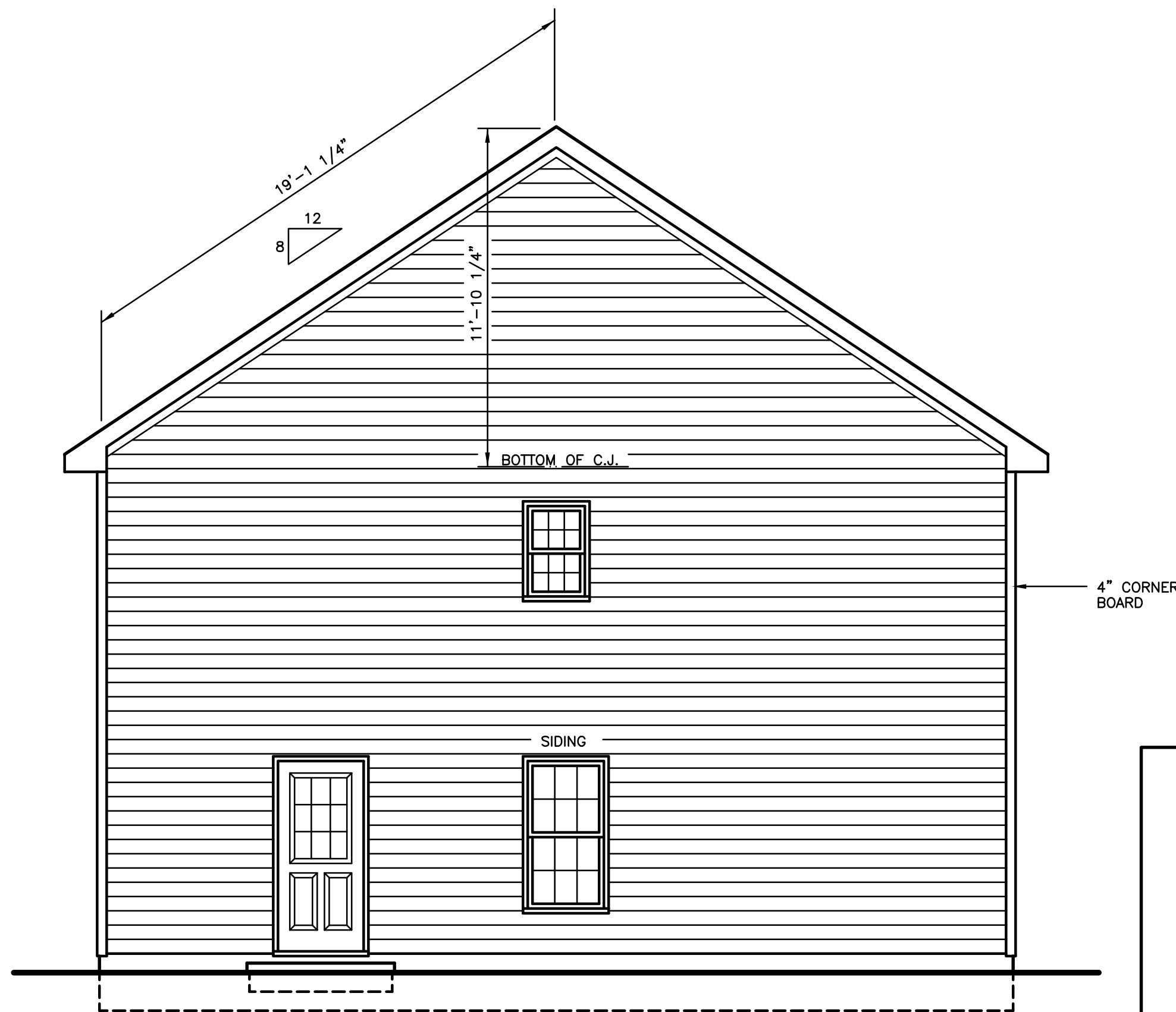
PH: (865) 671-0183  
FAX: (865) 671-0213  
10816 KINGSTON PIKE  
KNOXVILLE, TENNESSEE 37934

PLANNING # 7-B-23-SU

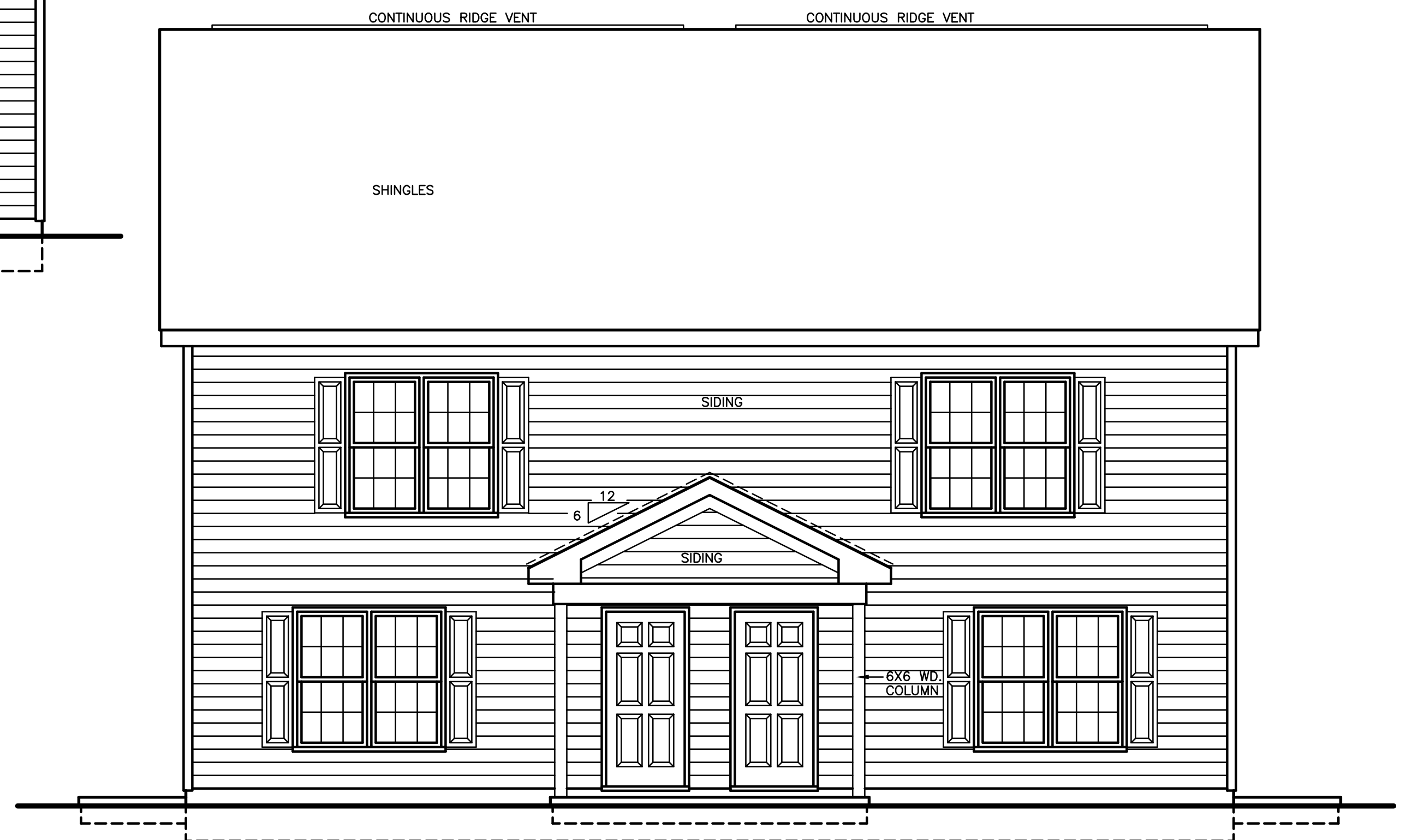
#### CONCEPT PLAN

| FRANCIS ESTATES                                                  |                             |                  |
|------------------------------------------------------------------|-----------------------------|------------------|
| Scale: 1"= 40'                                                   | Approved by: Rel            | Drawn by: REL,jr |
| DATE: 8-31-2022                                                  | LATEST REVISION: 06-26-2023 |                  |
| CITY BLOCK 45510<br>DISTRICT 5 * WARD 45 * CITY OF KNOXVILLE, TN |                             |                  |
| PARCEL ID: 106CA013                                              | DRAWING NO.:<br>6154        |                  |

OWNER / DEVELOPER  
ALLURE PROPERTIES LLC  
8604 ARIEL LN  
KNOXVILLE TN 37923  
(865) 566-6276

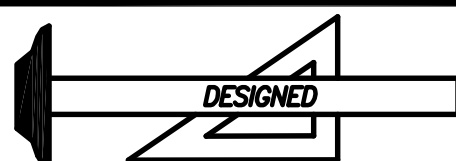


LEFT SIDE ELEVATION  
SCALE : 1/4" = 1'-0"

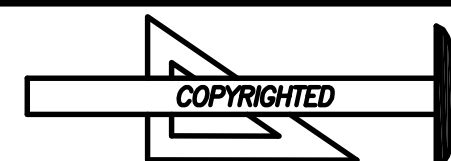


FRONT ELEVATION  
SCALE : 1/4" = 1'-0"

7-B-23-SU  
5/30/2023



**Standard Homes Plan Service, Inc.**  
7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677  
SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



| DESIGNED FOR | PLAN   | NO. | MAT'L | SHOWN | SHEET  |
|--------------|--------|-----|-------|-------|--------|
|              | HUNTER | 2   | SID.  |       | 5 OF 7 |

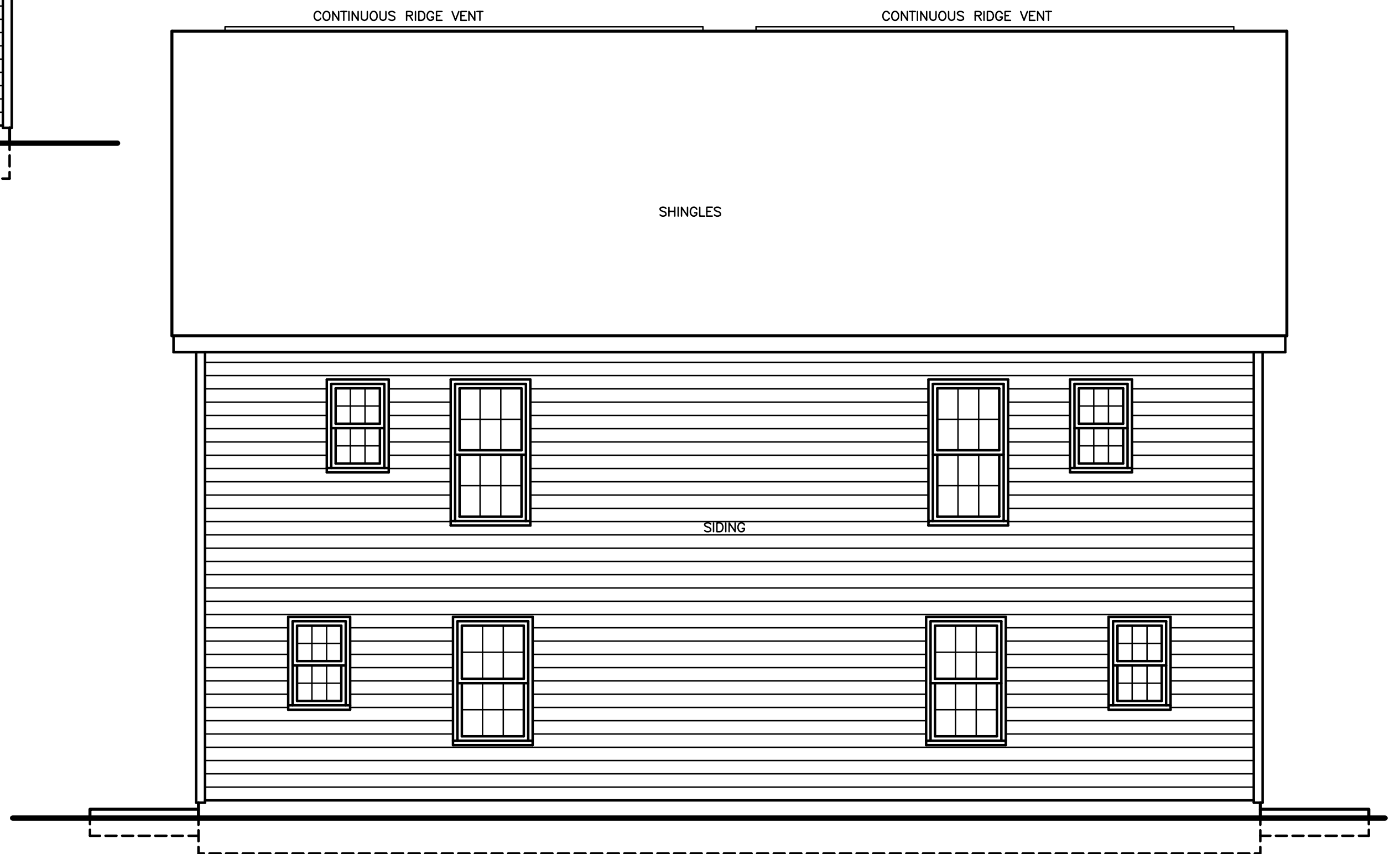
FLOATING SLAB  
REVISED 05-14-20





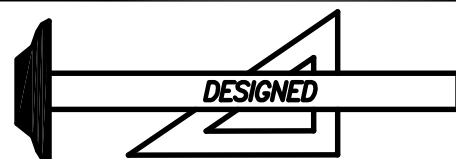
RIGHT SIDE ELEVATION  
SCALE : 1/4" = 1'-0"

PROVIDE GUTTERS, DOWNSPOUTS AND SPLASHPADS  
ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.  
ALL SPLASHPADS SHALL CARRY WATER 60"  
FROM BUILDING.

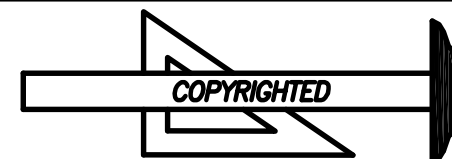


REAR ELEVATION  
SCALE : 1/4" = 1'-0"

7-B-23-SU  
5/30/2023



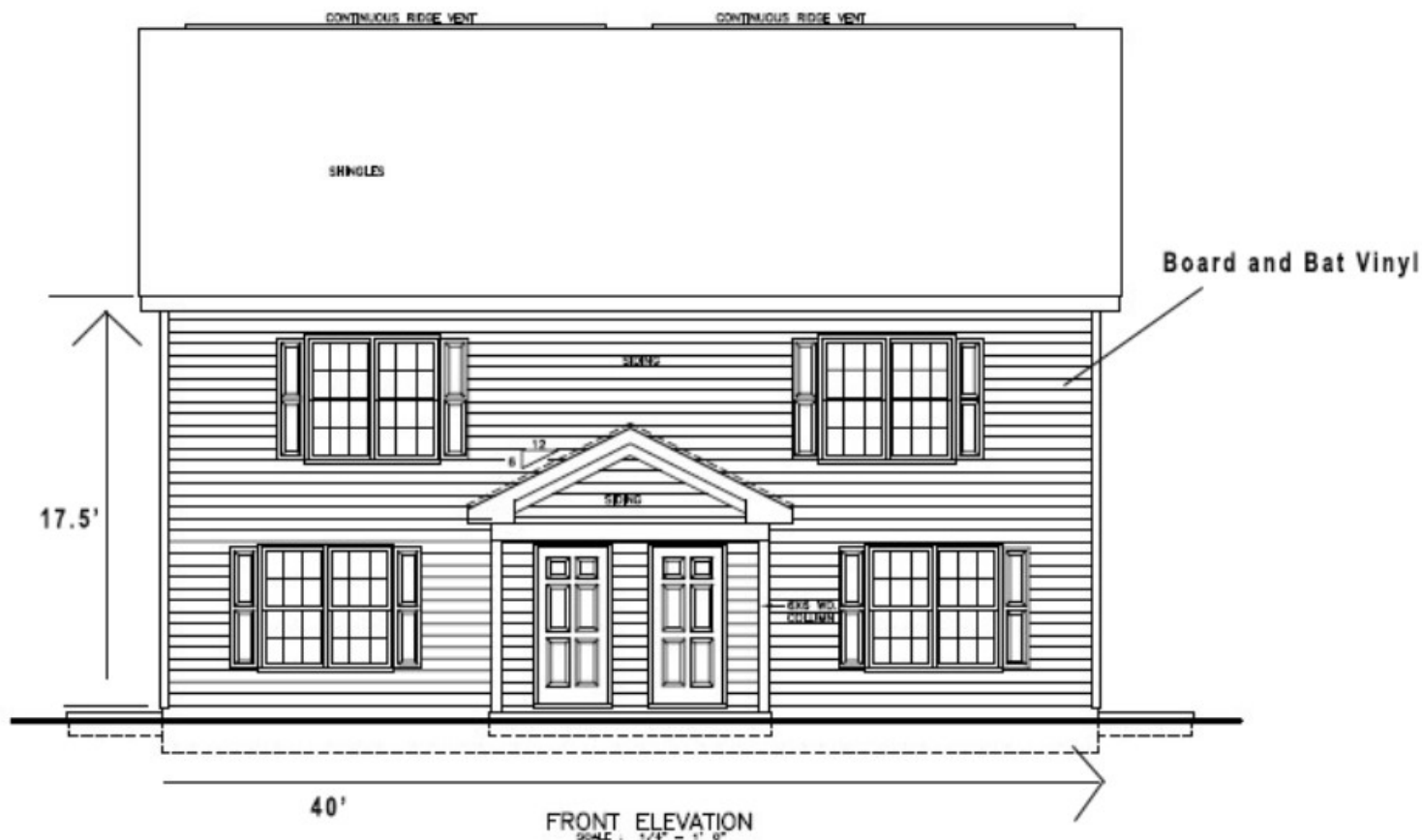
Standard Homes Plan Service, Inc.  
7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677  
SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



| DESIGNED FOR | PLAN   | NO. | MAT'L | SHOWN | SHEET  |
|--------------|--------|-----|-------|-------|--------|
|              | HUNTER | 2   | SID.  |       | 6 OF 7 |

FLOATING SLAB  
REVISED 05-14-20

File No: 7-B-23-SU  
1619-1625 Francis Road  
Allure Properties LLC



- Front Doors will be 36" w x 80" h (each unit)
- Living Room will have twin 72" w X 62" h windows (each unit)
- Upstairs Bedroom will have twin 72" X 62" h windows (each unit)

Total Duplex Facade Area:

40' w x 17.5' h = 700 sq ft

Total surface area of windows (124 sq ft)

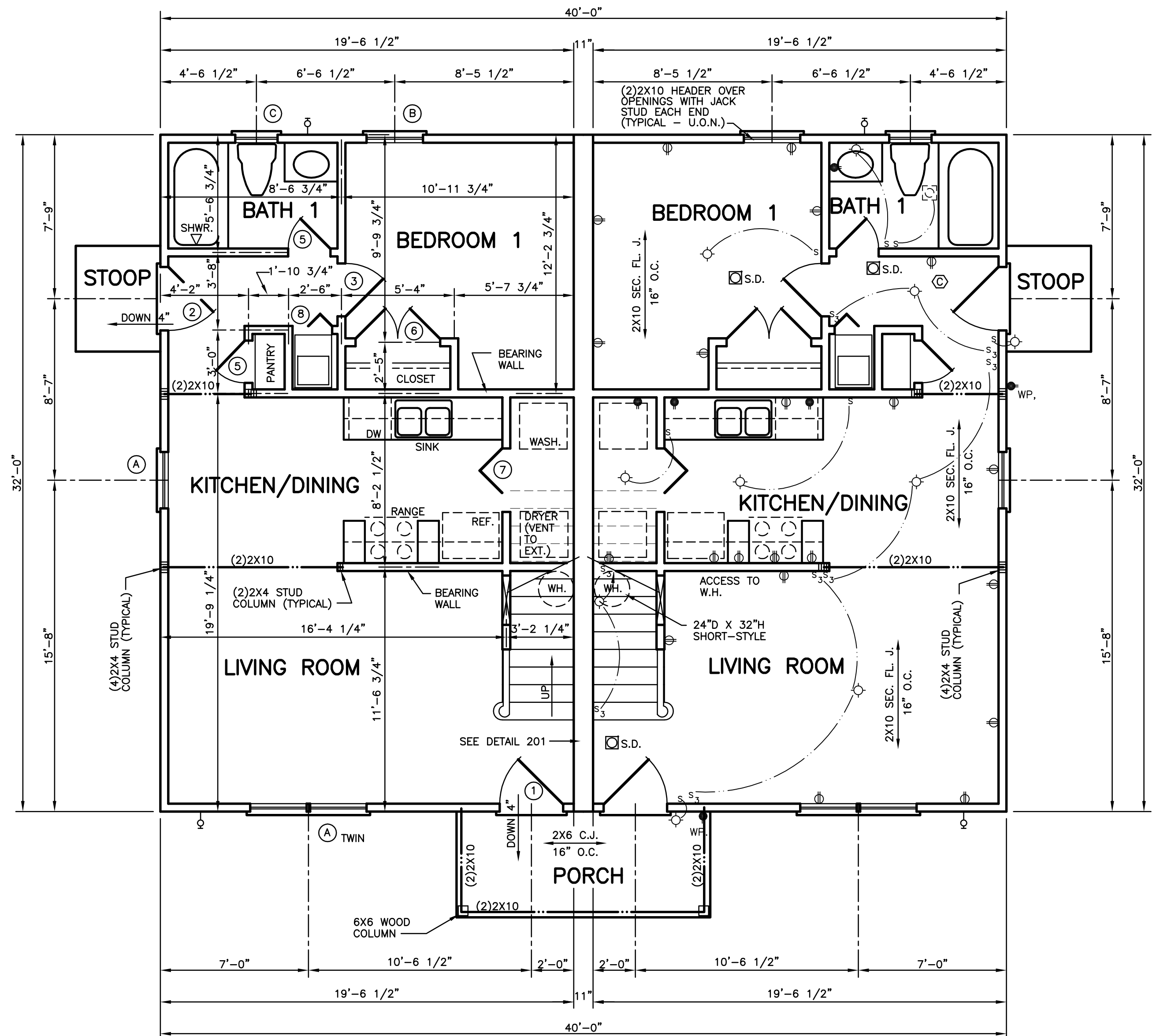
Total surface area of doors (40 sq ft)

Total Transparency: 23%

FOR SECTION THRU CABINETS,  
SEE DETAIL ON COVER SHEET.



BATHS 1 & 3 SECT.

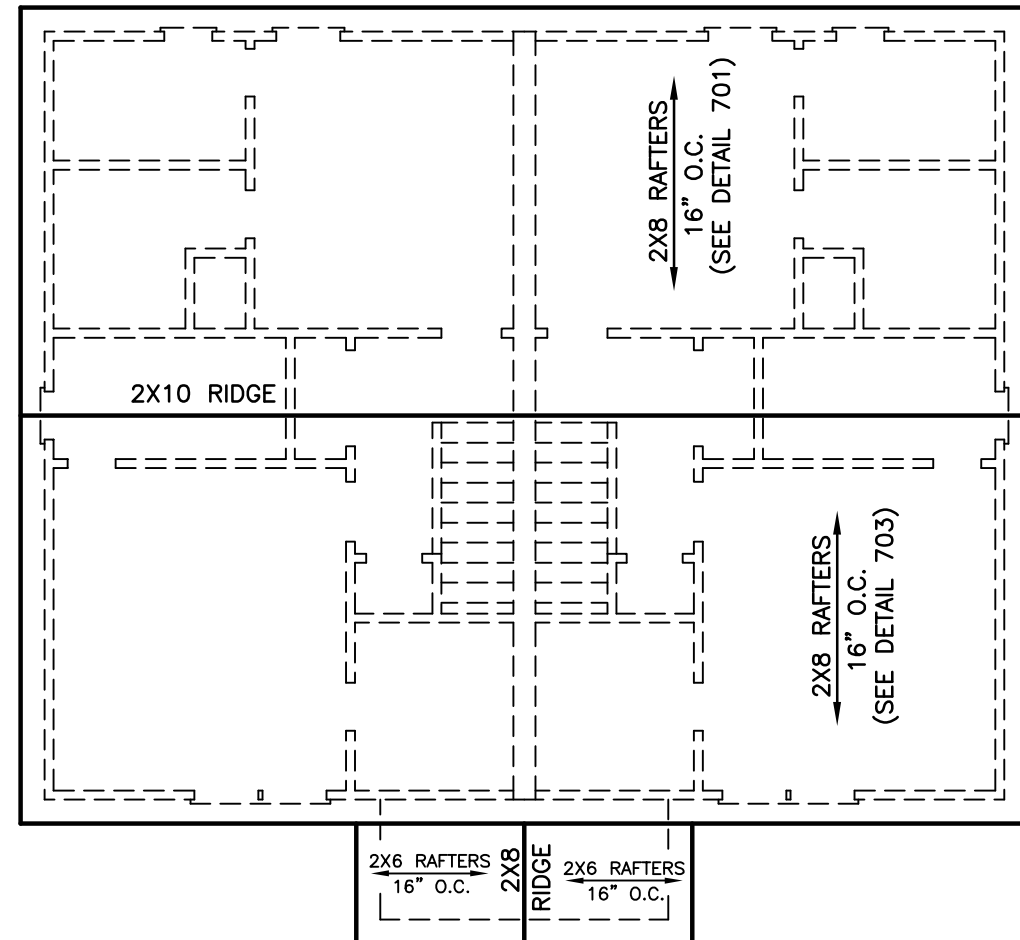


LOWER LEVEL HEATED AREA : 640 SQ. FT. EACH UNIT  
UPPER LEVEL HEATED AREA : 640 SQ. FT. EACH UNIT  
TOTAL HEATED AREA : 1280 SQ. FT. EACH UNIT  
PORCH : 30 SQ. FT EACH UNIT  
STOOP : 20 SQ. FT EACH UNIT

SCALE : 1/4" = 1'-0"

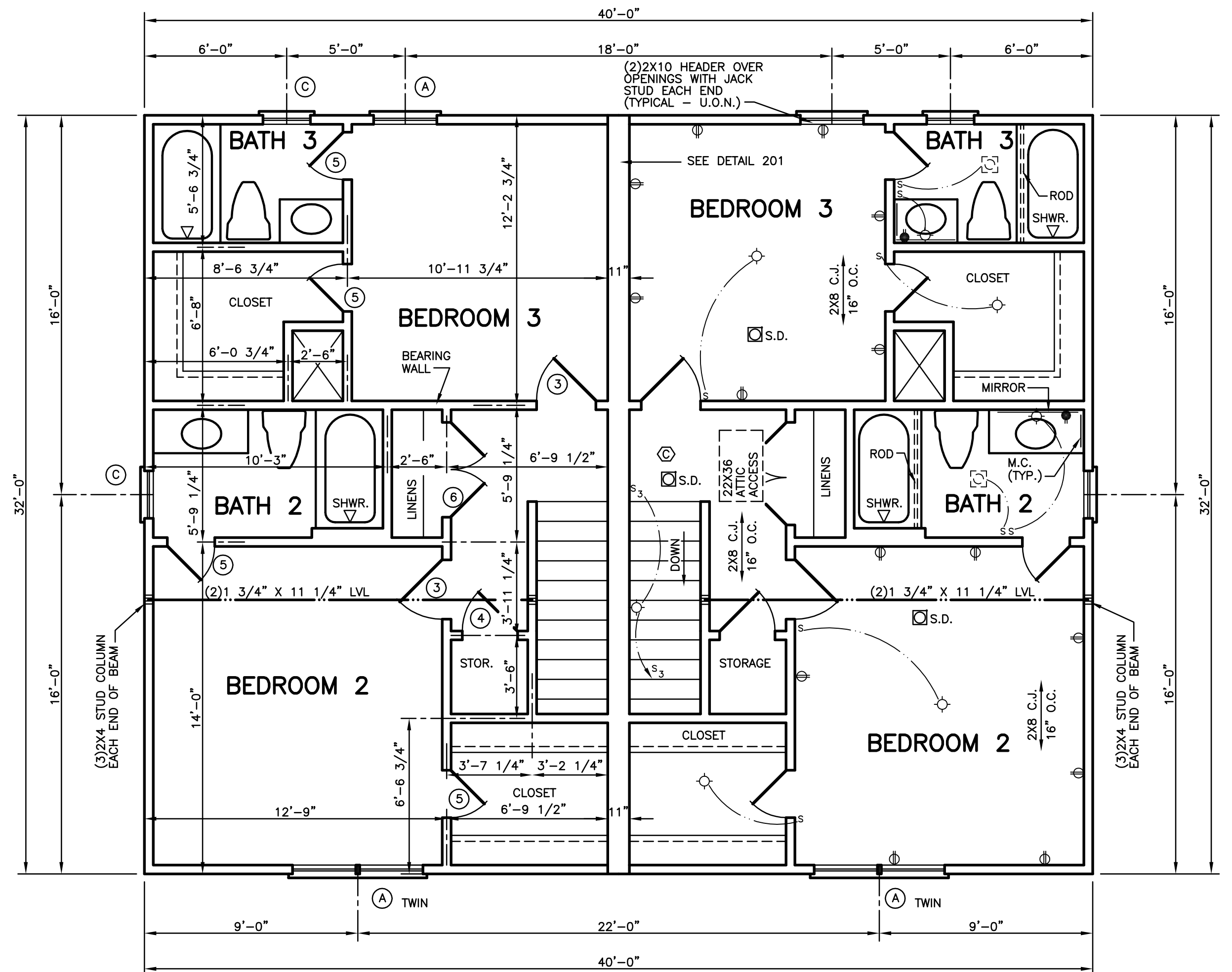
| WINDOW SCHEDULE |                        |   |  |   |  |   | DOOR SCHEDULE |   |                                  |   |                                          |   |                                           | Standard Homes Plan Service, Inc.<br>7200 SUNSET LAKE ROAD FUQUAY-VARINA, N.C. 27526 (919)552-5677 |  |                                                                           |  |
|-----------------|------------------------|---|--|---|--|---|---------------|---|----------------------------------|---|------------------------------------------|---|-------------------------------------------|----------------------------------------------------------------------------------------------------|--|---------------------------------------------------------------------------|--|
| A               | 2'-8" X 5'-2" WD. D.H. | D |  | G |  | L |               | 1 | 3'-0" X 6'-8" X 1 3/4"           | 4 | 2'-4" X 6'-8" X 1 3/8"                   | 7 | LOUVERED BIFOLD<br>3'-0" X 6'-8" X 1 3/8" | 10                                                                                                 |  | DESIGNED FOR<br><br>PLAN HUNTER NO. 2 MATERIAL SID<br><br>SHEET<br>3 OF 7 |  |
| B               | 2'-8" X 4'-6" WD. D.H. | E |  | H |  | M |               | 2 | 9-LITE<br>3'-0" X 6'-8" X 1 3/4" | 5 | 2'-0" X 6'-8" X 1 3/8"                   | 8 | LOUVERED BIFOLD<br>2'-0" X 6'-8" X 1 3/8" | 11                                                                                                 |  |                                                                           |  |
| C               | 2'-0" X 3'-2" WD. D.H. | F |  | K |  | N |               | 3 | 2'-6" X 6'-8" X 1 3/8"           | 6 | DOUBLE OPENING<br>4'-0" X 6'-8" X 1 3/8" | 9 |                                           | 12                                                                                                 |  |                                                                           |  |





ATTIC VENTILATION REQUIREMENTS :  
 670 SQ. FT.  $\rightarrow$  150 = 4.5 SQ. FT. NET FREE  
 AREA REQUIRED EACH UNIT

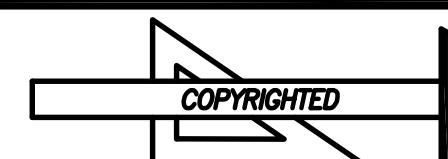
**ROOF PLAN**  
 SCALE :  $1/8" = 1'-0"$



**UPPER LEVEL FLOOR PLAN**  
 SCALE :  $1/4" = 1'-0"$

7-B-23-SU  
 5/30/2023

**Standard Homes Plan Service, Inc.**  
 7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677  
SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



| DESIGNED FOR | PLAN   | NO. | MAT'L | SHOWN | SHEET  |
|--------------|--------|-----|-------|-------|--------|
|              | HUNTER | 2   | SID.  |       | 4 OF 7 |

FLOATING SLAB  
 REVISED 05-14-20