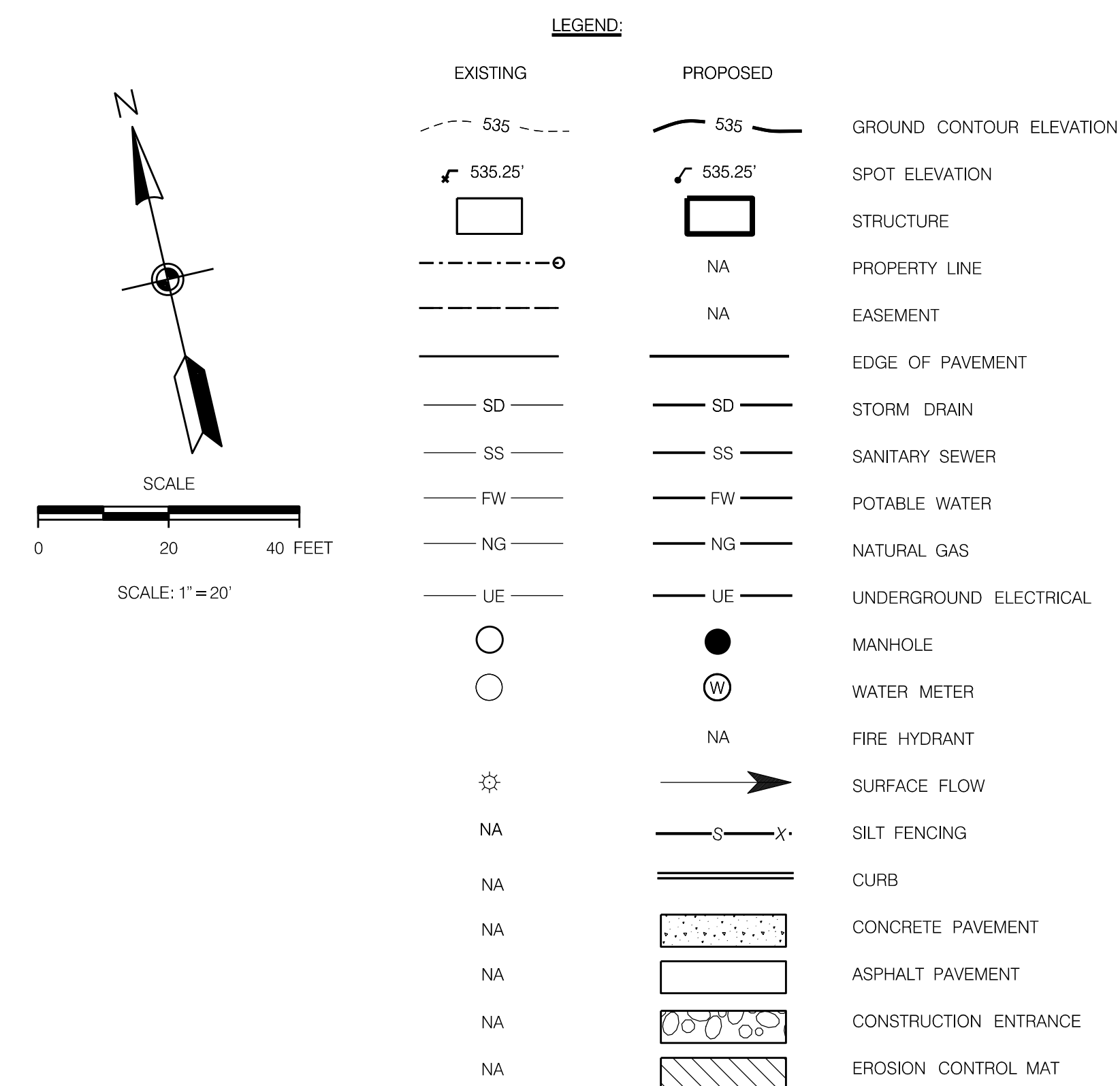
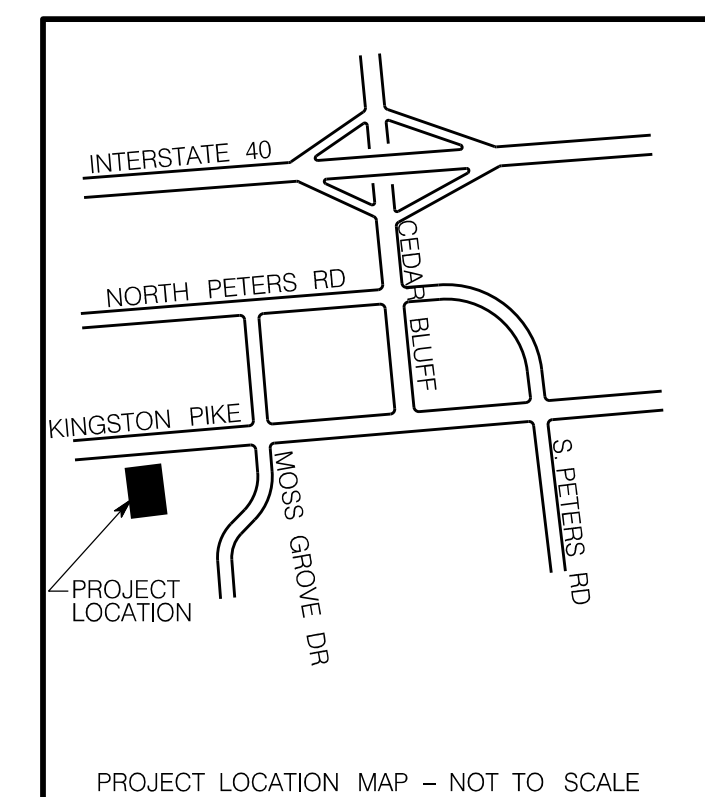
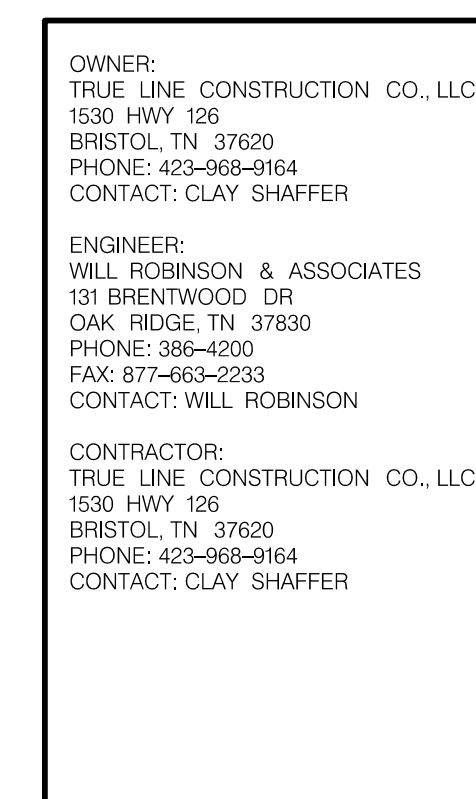


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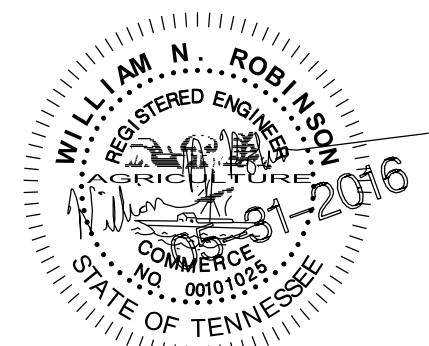
SITE LAYOUT NOTES

1. USE: RETAIL, ZONING: PC-1, PARCEL 132 0270
2. TOTAL BUILDING AREA: PROPOSED 8,450 SF (1 STORY)
3. TOTAL SITE: 1.722 AC, TOTAL DIST AREA: 1.55 AC, TOTAL NEW IMPRV: 1.13 AC.
4. DEED REFERENCE: 20140912-0015150, CITY BLOCK: 46346, WARD: 47
5. THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAP 0262F.
6. SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK. DATUM NAVD 88.
7. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY CANNON AND CANNON SURVEYING DATED 05/2015. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
8. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
9. PARKING SUMMARY:
TOTAL REQUIRED: 69 SPACES
TOTAL PROVIDED: 69 SPACES
BASIS: 1 SPACE PER 200 SF (RETAIL) + 1 SPACE PER 100 SF (REST.)
RESTAURANT: 5250 X 1100 = 53 + RETAIL 3200 X 1200 = 16
TOTAL = 69 SPACES
10. SETBACKS:
FRONT: 25'
SIDE: 5'
REAR: 5'
11. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK, ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
12. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
13. VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
14. TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
15. CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
16. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
17. DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
18. MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMPS, ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.



SHERILL HILL II

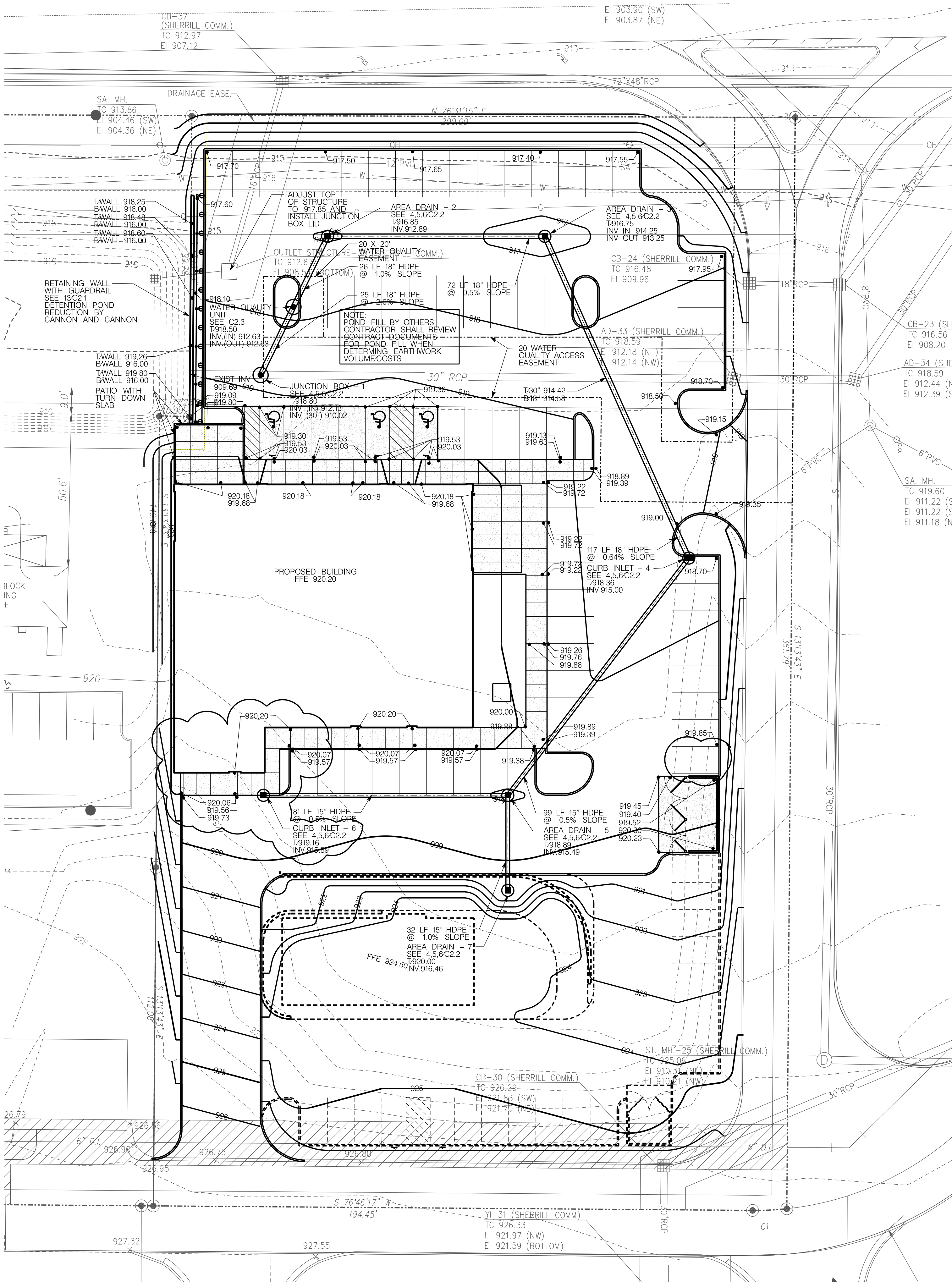
TRUE LINE CONSTRUCTION
KNOXVILLE, TENNESSEE



SITE LAYOUT PLAN

DATE: 21 NOVEMBER 2015
PROJECT NO.: 15064
PROJ. MGR.: JST
REV. 31 MAY 2016

C1.1



- CONSTRUCTION SEQUENCE OF EVENTS:
1. INSTALL EROSION CONTROL MEASURES
 2. SITE CLEARING AND GRUBBING
 3. SITE ROUGH GRADING
 4. TEMPORARY SEEDING
 5. FOUNDATION CONSTRUCTION
 6. SLAB CONSTRUCTION
 7. WALL/ROOF SYSTEM CONSTRUCTION
 8. EXTERIOR/INTERIOR FINISH
 9. PARKING LOT PAVING
 10. FINISH GRADING
 11. PERMANENT SEEDING/LANDSCAPING
 12. SITE CLOSEOUT/LONG TERM MAINTENANCE

TEMPORARY COVER SEEDING MIXTURES		
SEEDING DATE	GRASS SEED	PERCENTAGES
JANUARY 1 TO MAY 1	ITALIAN RYE	33%
	KOREAN LESPEDEZA	33%
	SUMMER OATS	34%
MAY 1 TO JULY 15	SUDAN - SORGHUM	100%
MAY 1 TO JULY 15	STARR MILLET	100%
JULY 1 TO JANUARY 1	BALBOA RYE	67%
	ITALIAN RYE	33%

PERMANENT COVER SEEDING MIXTURES		
SEEDING DATE	GRASS SEED	PERCENTAGES
FEBRUARY 1 TO JULY 1	KENTUCKY 31 FESCUE	80%
	KOREAN LESPEDEZA	15%
	ENGLISH RYE	5%
JUNE 1 TO AUGUST 15	KENTUCKY 31 FESCUE	55%
	ENGLISH RYE	20%
	KOREAN LESPEDEZA	15%
APRIL 15 TO AUGUST 15	GERMAN MILLET	10%
	BERMUDAGRASS (HULLED)	70%
	ANNUAL LESPEDEZA	30%
AUGUST 1 TO DECEMBER 1	KENTUCKY 31 FESCUE	70%
	ENGLISH RYE	20%
	WHITE CLOVER	10%
FEBRUARY 1 TO DECEMBER 1	KENTUCKY 31 FESCUE	70%
	CROWN VETCH	25%
	ENGLISH RYE	5%

SITE GRADING NOTES

1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK. BASIS NAVD88.
2. SITE BOUNDARY AND TOPOGRAPHIC SURVEY IS BASED ON A SURVEY BY CANNON AND CANNON DATED 05/2015. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP, AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
5. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
7. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE "LOCK IN" OF EROSION MAT.
13. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
14. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
15. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
16. CONSTRUCTION MATERIALS WILL BE STAGED IN THE EXISTING PARKING AREA. FOR TRASH ON THE PROJECT, PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
17. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE SITE INSPECTOR.

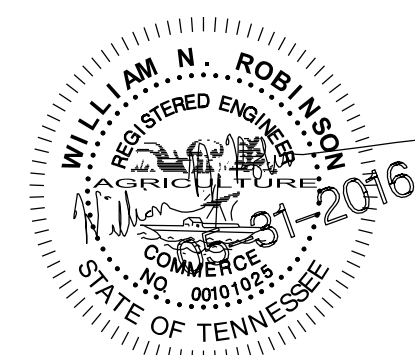


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SHERRILL HILL II
TRUE LINE CONSTRUCTION
KNOXVILLE, TENNESSEE



SITE GRADING PLAN

DATE: 21 NOVEMBER 2015
PROJECT NO.: 15064
PROJ. MGR.: JST
REV. 31 MAY 2016

C1.4

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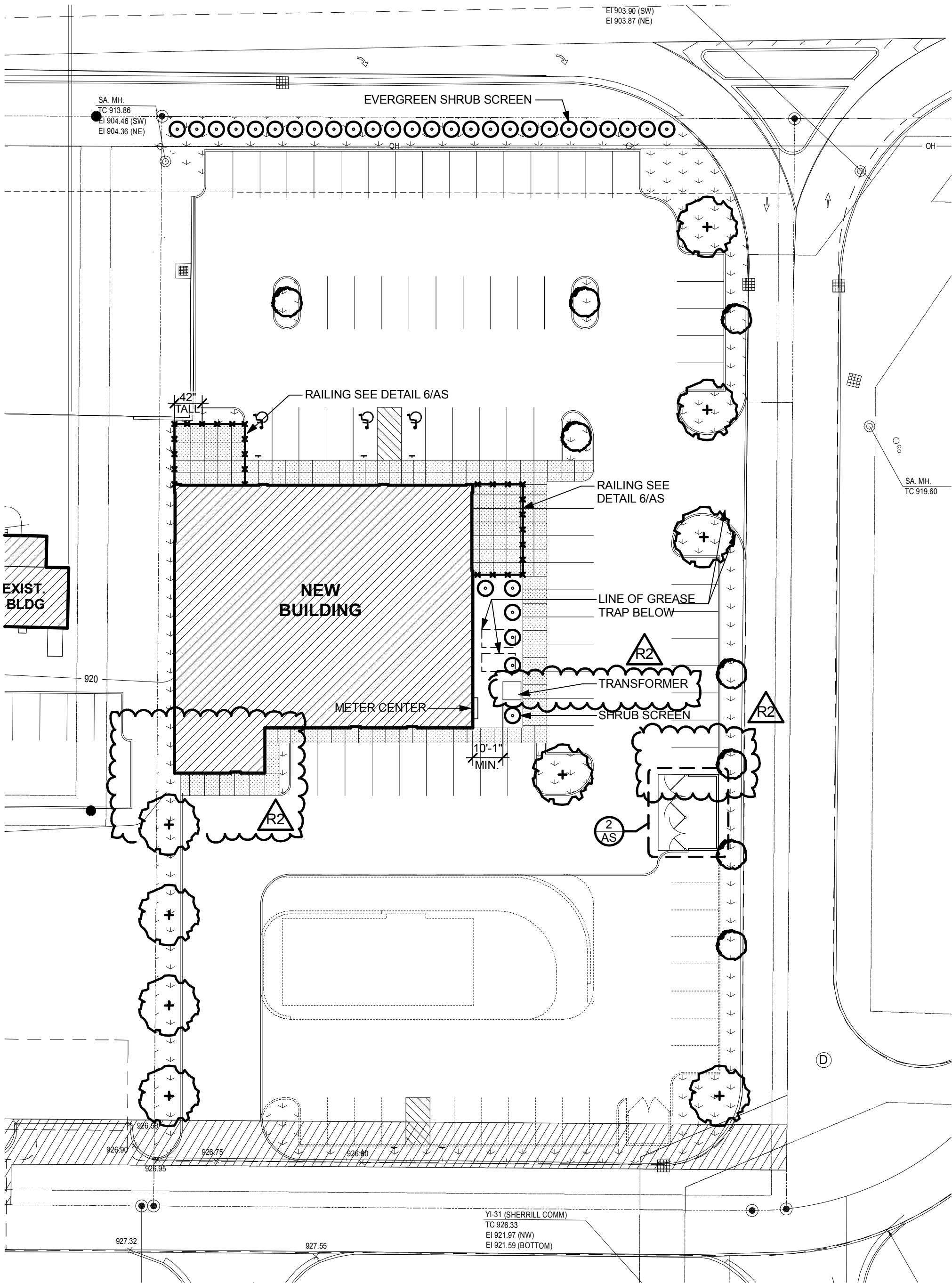
7-D-16-UR



- LANDSCAPE NOTES:**
1. TREE PLANTING / REPLACEMENT SHALL COMPLY WITH PART 1 CHAPTER 14 OF THE CITY OF KNOXVILLE ZONING ORDINANCE
 2. 17 TREES PROVIDED BASED ON AN ACREAGE OF 1.722 ACRES, TREES SHALL BE A MIXTURE OF 50% LARGE TREES AND 50% ORNAMENTAL TREES. LARGE TREES SHALL BE SPECIES SUCH AS OAK OR PINE CAPABLE OF REACHING A HEIGHT OF 50' AT MATURITY AND BEING A MINIMUM OF 2" DIAMETER AT 6" ABOVE GROUND AT PLANTING. LANDSCAPE TREES SHALL BE A MINIMUM 1.25" DIAMETER AT 6" ABOVE GROUND AT PLANTING.
 3. DO NOT PLANT TREES IN PROPERTY EASEMENTS WITHOUT WRITTEN PERMISSION FROM THE EASEMENT HOLDER.
 4. ALONG THE NORTHERN BOUNDARY OF THE PROPERTY THERE SHALL BE EVERGREEN SHRUBS PLANTED OF A SUFFICIENT HEIGHT TO SCREEN THE HEADLIGHTS OF VEHICLES FACING KINGSTON PIKE.

TREE LEGEND:

- "LARGE" TREE: TULIP POPLAR, SHUMARD OAK OR SIMILAR
- "ORNAMENTAL" TREE: SIOUX CRAPE MYRTLE OR SIMILAR
- "EVERGREEN SHRUB" SCREEN: COMPACT INKBERRY HOLLY (ILEX GLABRA 'COMPACTA') OR SIMILAR

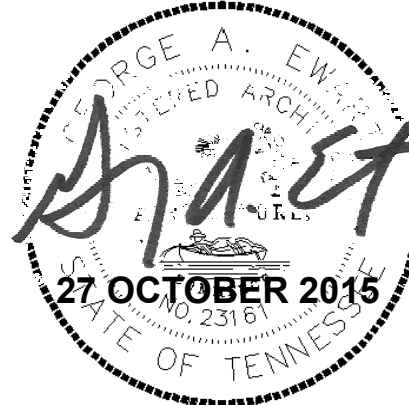


1 LANDSCAPE PLAN
SCALE: 1" = 30'

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SHERILL HILL II
TRUE LINE CONSTRUCTION
KNOXVILLE, TENNESSEE



LANDSCAPE PLAN

DATE: 27 OCTOBER 2015
PROJECT NO.: 15069
PROJECT MGR.: JST
REVISION 31 MAY 2016

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TRUE LINE
CONSTRUCTION COMPANY, LLC

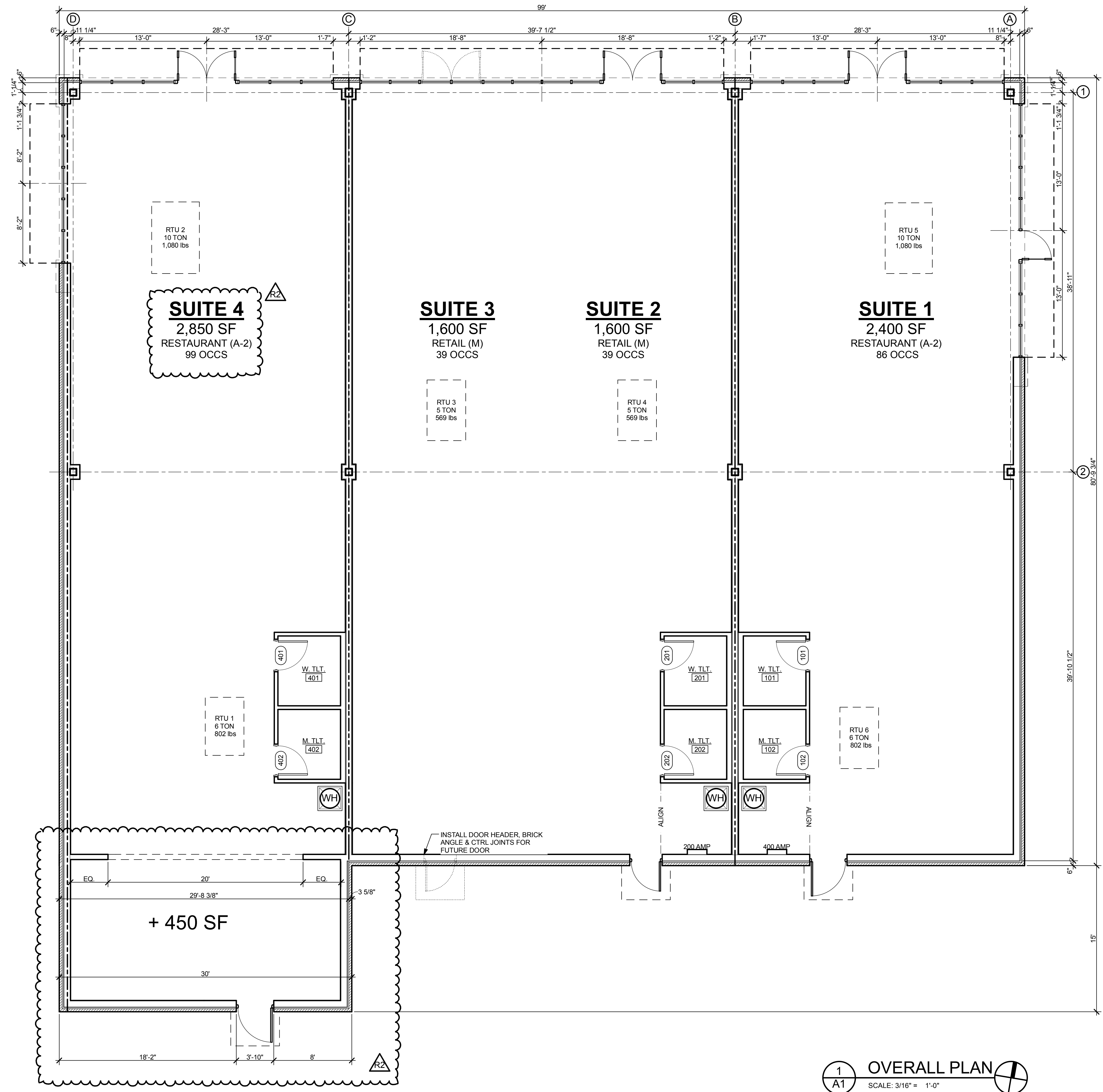
SHERRILL HILL III
TRUE LINE CONSTRUCTION
KNOXVILLE, TENNESSEE



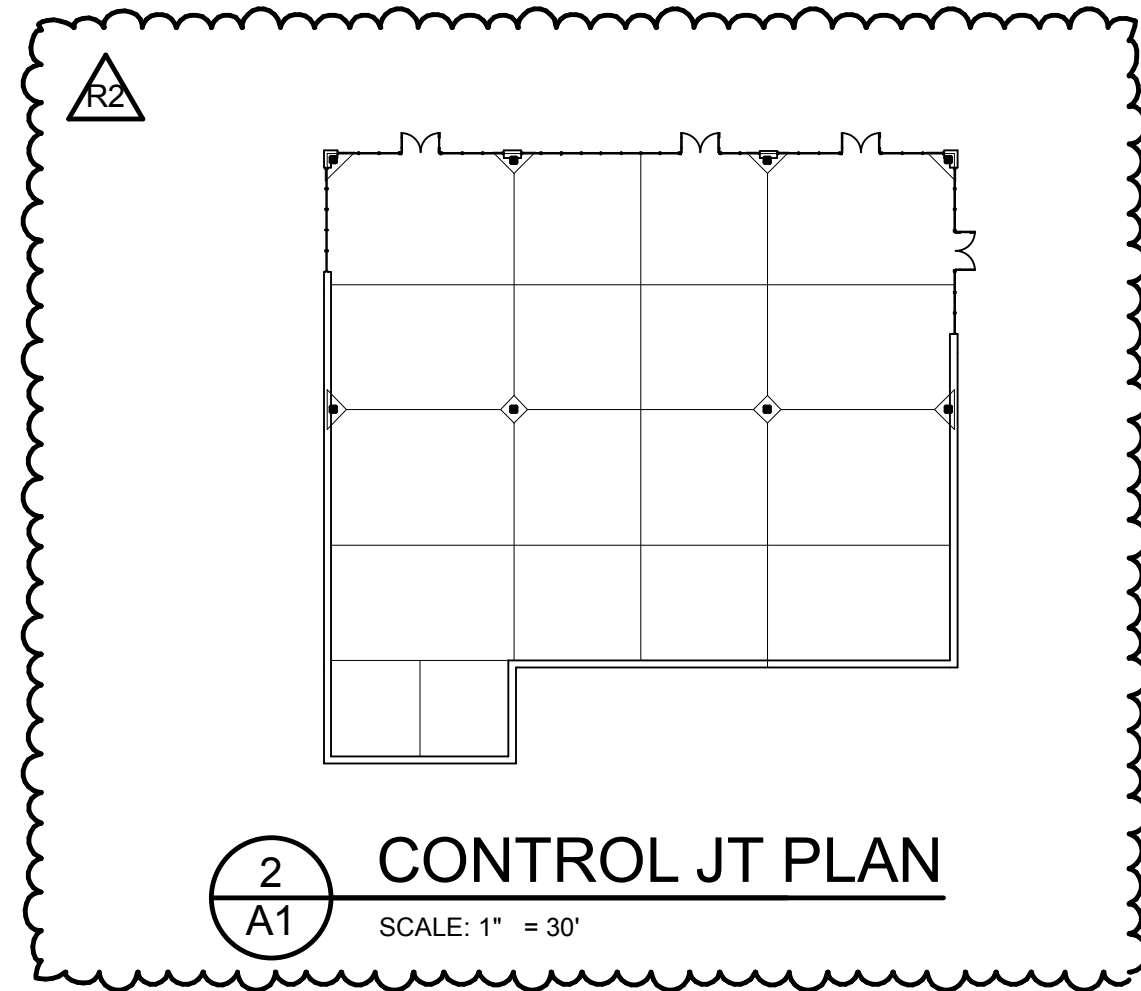
OVERALL PLAN

R2 REVISION 31 MAY 2016

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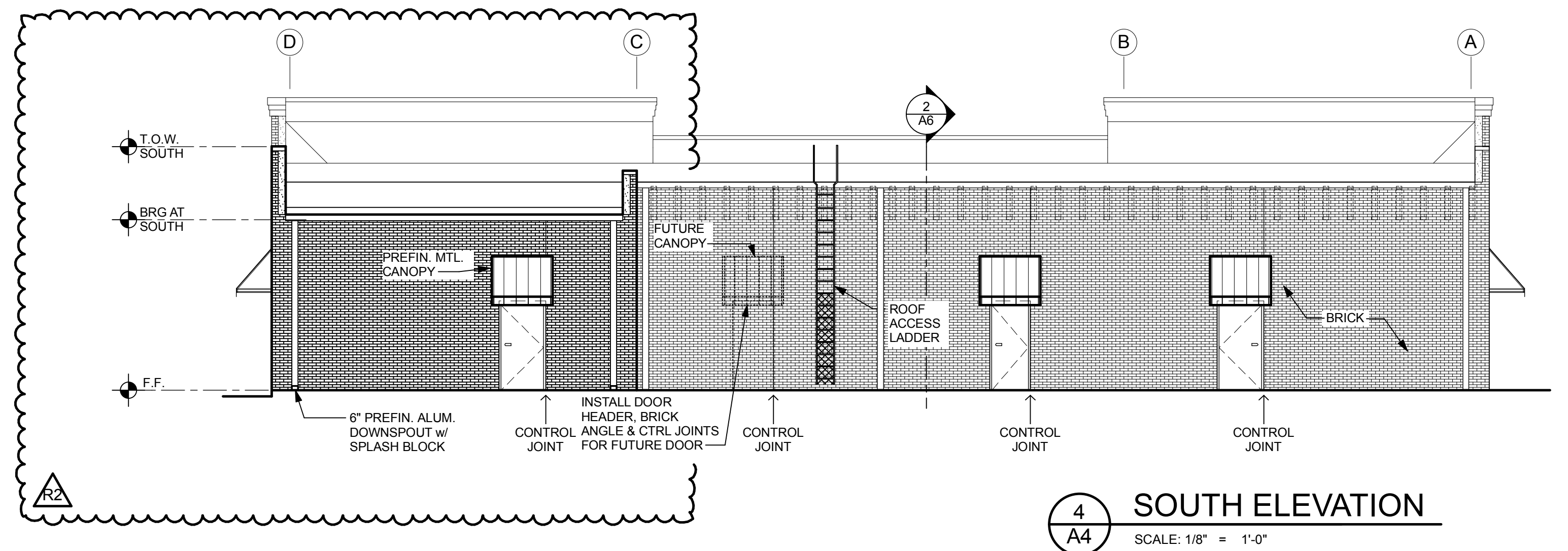
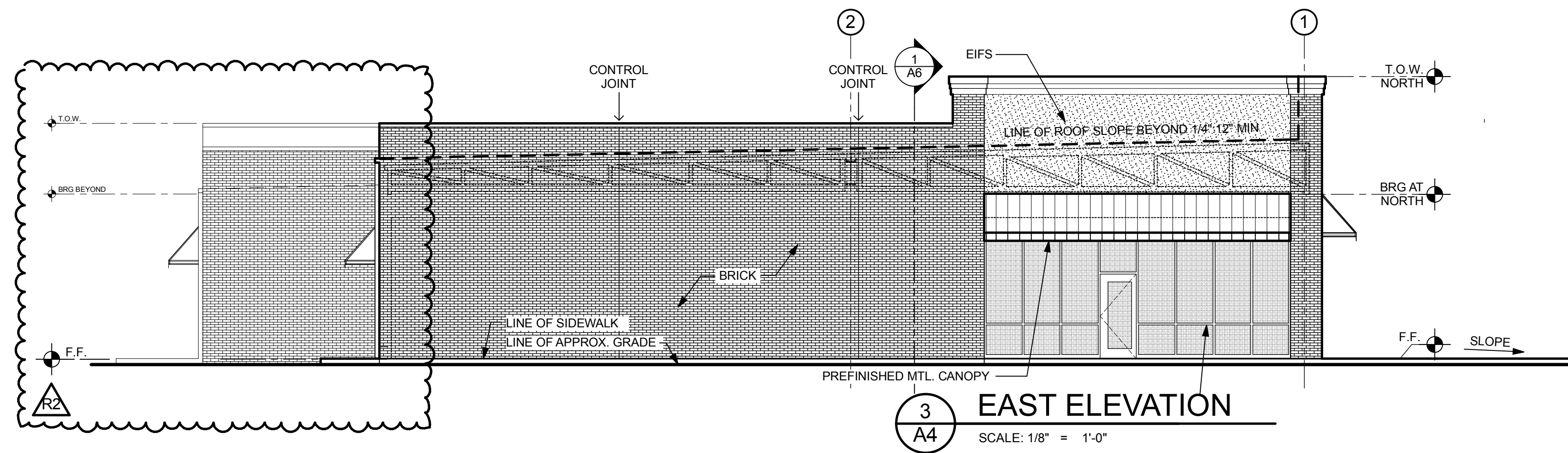
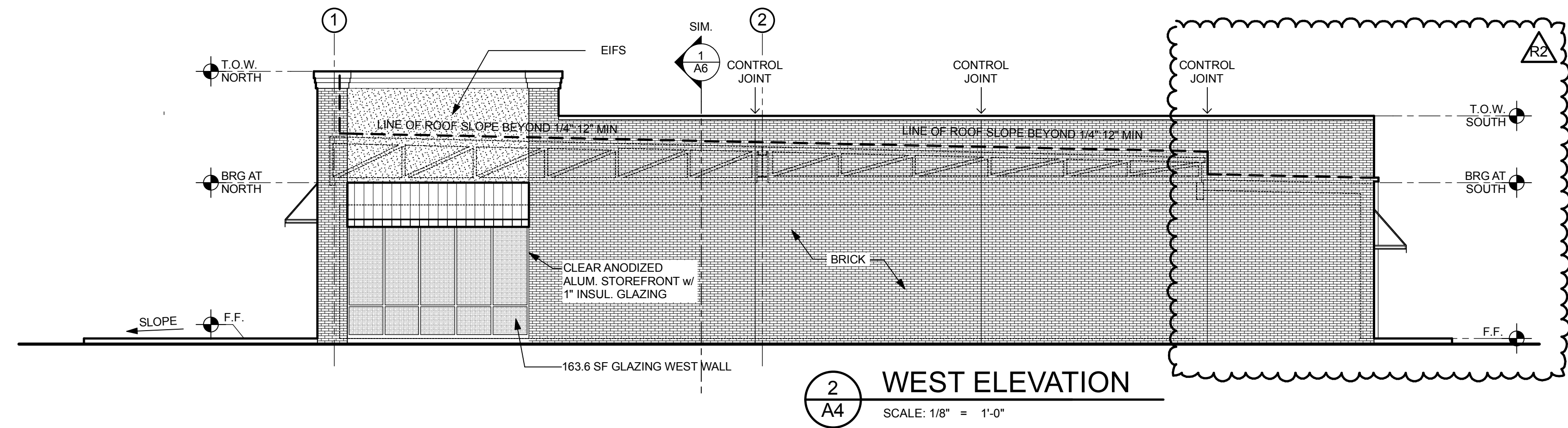
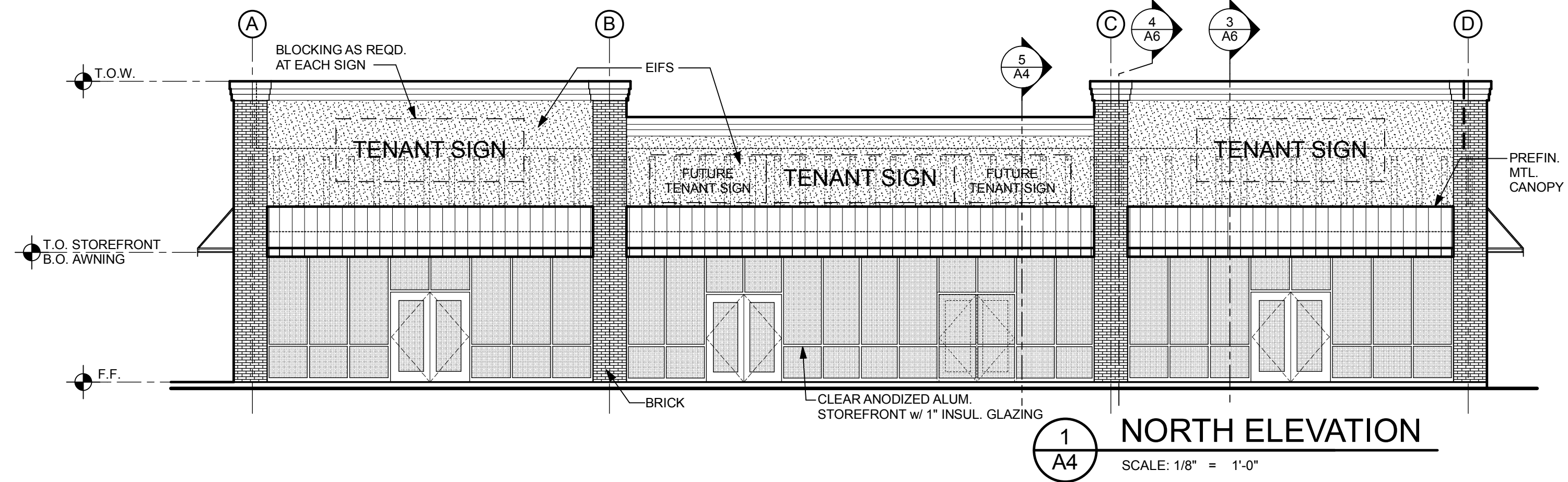


PLAN LEGEND:

PLAN NOTES:

1. COORD. TYPE, NUMBER & LOCATION OF F.E. w/ LOCAL FIRE MARSHAL PRIOR TO CONSTRUCTION
2. COORD. LOCATION OF REAR DOORS w/ INDIVIDUAL TENANT PLANS
3. G.C. TO VERIFY LOCATION OF R.T.U. PER TENANT'S PLANS PRIOR TO SETTING GIRDER TRUSS

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NOTE: COORD. COLORS w/
ARCHITECT PRIOR TO
CONSTRUCTION

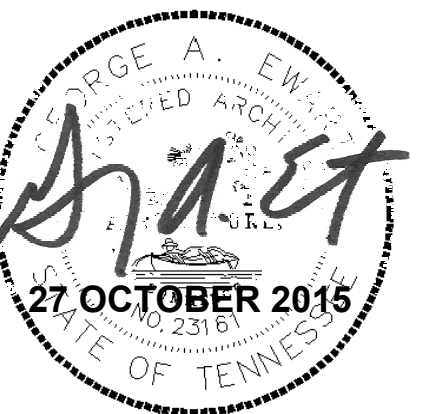


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KNOXVILLE, TENNESSEE



EXTERIOR ELEVATIONS

7-D-16-UR

DATE: 27 OCTOBER 2015
PROJECT NO.: 15069
PROJECT MGR.: JST

REVISION 31 MAY 2016

A4