



7-E-19-UR

The Crescent at Ebenezer

Conceptual Front Elevation
Knoxville, TN

2575 Willow Point Way Suite 105 · Knoxville, TN 37931 · v: 865.769.8075 · f: 865.769.8076 · www.R2Rstudio.com

R2R
studio, llc



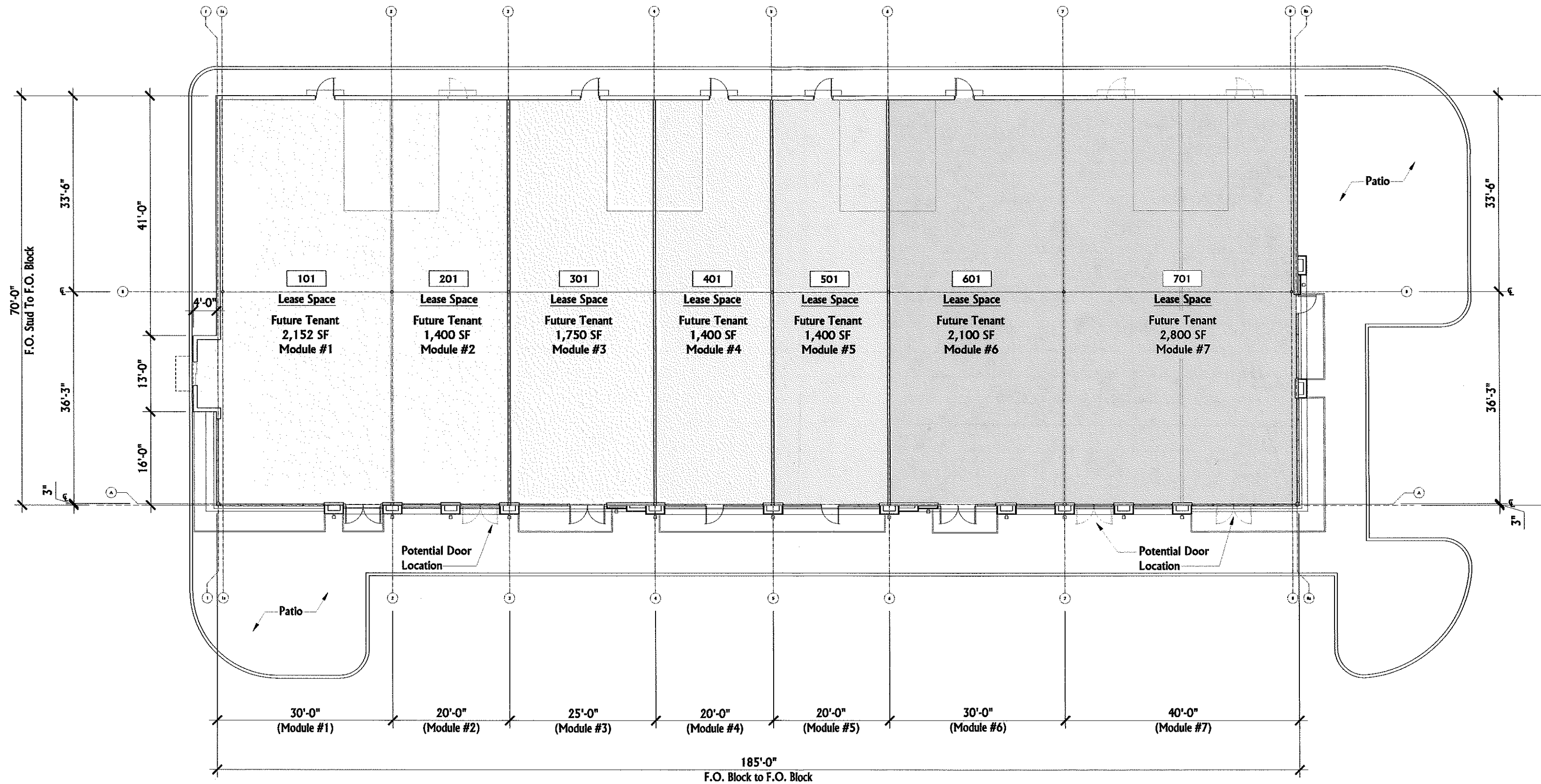
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The Crescent at Ebenezer

Conceptual Perspectives
Knoxville, TN

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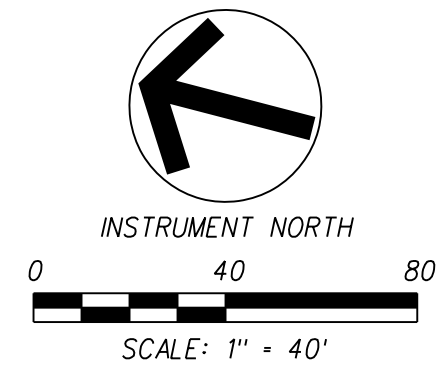




7-E-19-UR

The Crescent at Ebenezer
Conceptual Layout, (Scale 1/16" = 1'-0")
Knoxville, TN





NOTES:

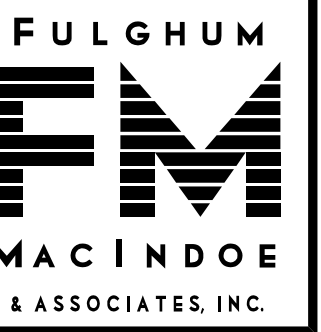
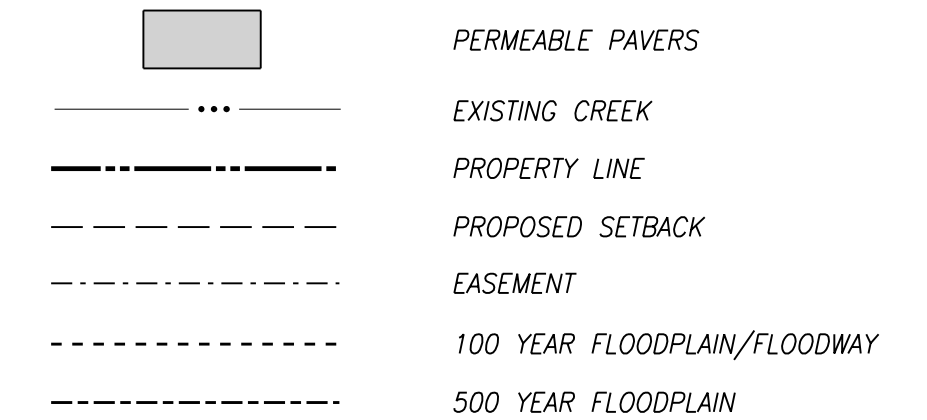
1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM GARY C. CLARK, LLC. DATED SEPTEMBER 6, 2018.
 2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
 3. PROPERTY CONCERNED REFLECTS PARCEL 132 09903 AS SHOWN IN KNOX COUNTY CLT MAP 132. ZONING FOR THE PROPERTY IS PC, PLANNED COMMERCIAL DISTRICT. TOTAL AREA = 4.98± AC.
- OWNER: CRESCENT AT EBENEZER LLC
6001 WALDEN DRIVE
KNOXVILLE, TN 37919
4. PERIPHERAL SETBACK IS 50'-FT.
 5. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 6. PLANNING COMMISSION CASE NUMBER: 7-E-19-UR.

PARKING SUMMARY

REQUIRED PARKING FOR SHOPPING CENTERS
12,800 SF @ 5 SPACES PER 1,000 SF = 64 SPACES

TOTAL PARKING PROVIDED	
STANDARD SPACES (9'x17.5')	102
HANDICAP (2 VAN ACCESSIBLE)	<u>5</u>
TOTAL	107 SPACES

LEGEND:



330 HARDIN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com

PRELIMINARY
NOT FOR
CONSTRUCTION

THE CRESCENT AT EBENEZER
COMMERCIAL SITE
1000 EBENEZER ROAD
KNOXVILLE, TENNESSEE 37764

DEVELOPMENT, LLC
6001 WALDEN DRIVE
KNOXVILLE, TN 37919
CONTACT: PAUL J. MURPHY, III
TELEPHONE NO.: 865.444.2145
EMAIL: PJMURPHY@CRESCENTBENDEDEV.COM

SITE PLAN

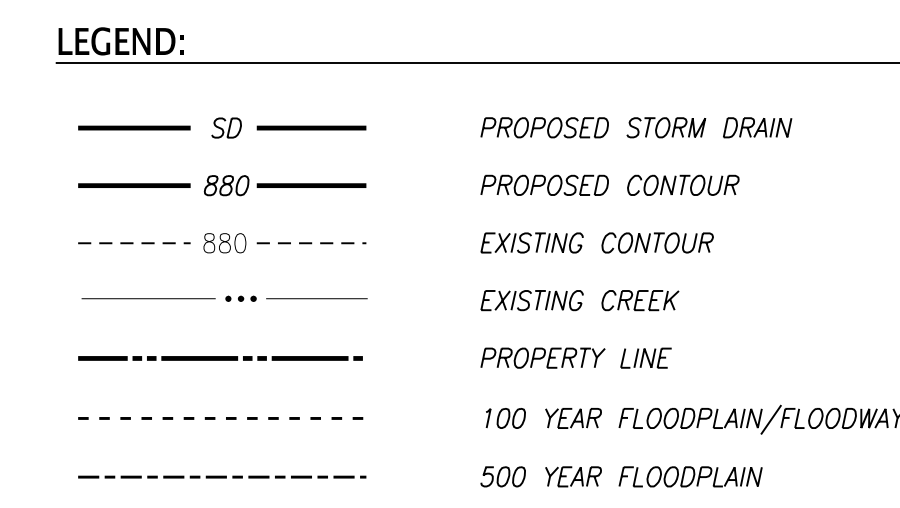
	MCF	MCF	COW
A		REVISED PER MPC COMMENTS ISSUED FOR USE ON REVIEW	06/19/19
A			05/28/19
No.		Revision/Issue	Date

Subject	
23.013.1	

5/28/19

Scale
1"=40'

C1



PRELIMINARY
NOT FOR
CONSTRUCTION

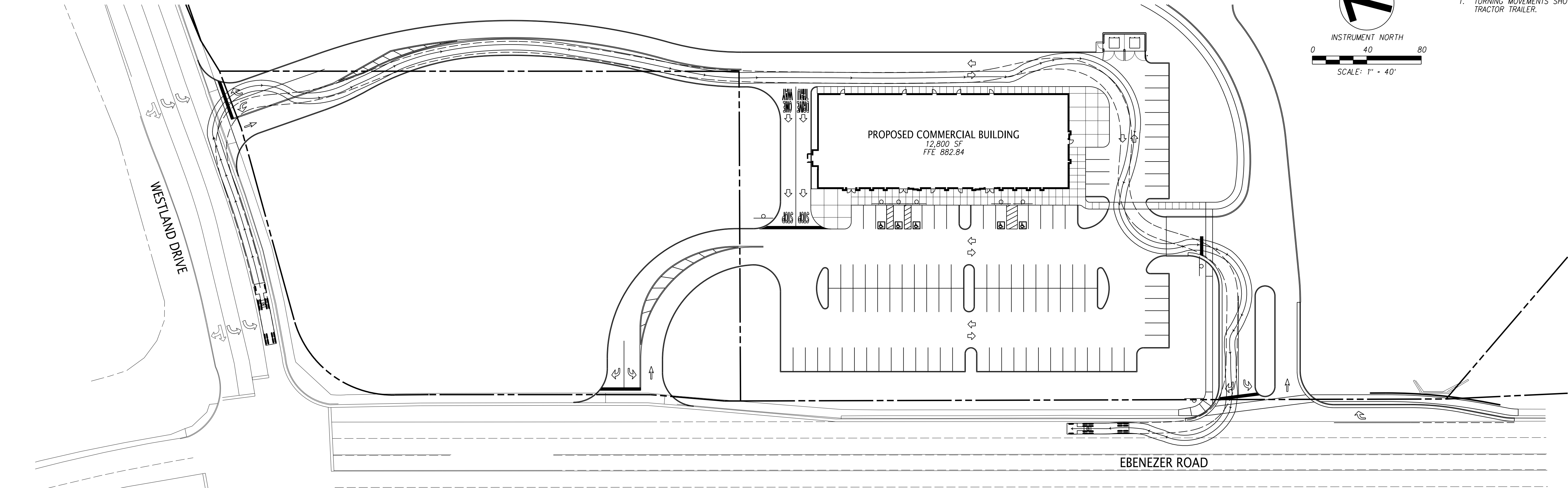
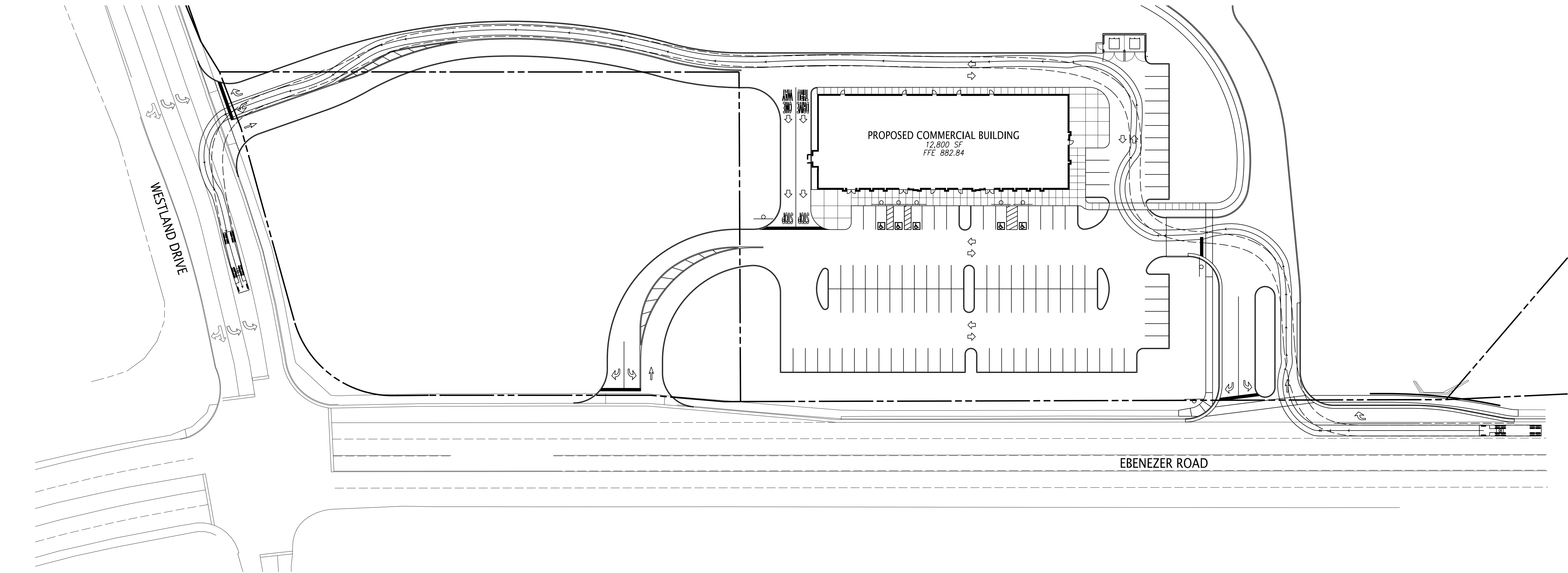
THE CRESCENT AT EBENEZER
COMMERCIAL SITE
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KNOXVILLE, TENNESSEE 37764

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DEVELOPMENT, LLC**
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TELEPHONE NO.: 865.444.2145
EMAIL: PJMURPHY@CRESCENTBENDDEV.COM

**USE ON REVIEW
GRADING PLAN**

<div><div>C2</div><div>Scale</div><div>1"=40'</div></div>	Sheet					
	Project					
	223.01/3.1					
	Date					
	06/19/19					
	Scale					
		PROJ. MGR.	DESIGNED BY	DRAWN BY		
			WCF	WCF	CJJ	
</						

File Name: s:\223.013.1\DWG5 (Concept)\223.013r002.dgn
Plot Date: 6/19/2019



- NOTES:
- TURNING MOVEMENTS SHOWN ARE FOR AN AASHTO WB-40 TRACTOR TRAILER.



10330 HARDIN VALLEY ROAD
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USE ON REVIEW
TURNING MOVEMENTS

PROJ. NO.	DESIGNED BY	DRAWN BY	DATE
223.013.1	WCF	CJJ	
ISSUED FOR USE ON REVIEW	Revision/Issue		05/28/19
No.			Date
Project	Sheet		
Date			
Scale			
1"=40'			

C3

PLANTING SPECIFICATIONS

SCOPE OF WORK
PROVIDE ALL LABOR AND EQUIPMENT NECESSARY FOR A COMPLETE AND QUALITY LANDSCAPE AS PER PLANS AND SPECIFICATIONS.

REFERENCES AND STANDARDS
PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, AND ORDINANCES.

PROVIDE LICENSES AND NECESSARY PERMITS PRIOR TO BEGINNING WORK.
CARRY GENERAL LIABILITY AND WORKMAN'S COMPENSATIONS INSURANCE IN AMOUNTS REQUIRED BY THE STATE.

QUALITY OF ALL MATERIALS SHALL MEET OR EXCEED THE STANDARDS OF THE 'AMERICAN STANDARD FOR NURSERY STOCK' LATEST EDITION, AS PUBLISHED BY THE 'AMERICAN ASSOCIATION OF NURSERYMEN.'

PROJECT CONDITIONS
REVIEW AND BECOME FAMILIAR WITH SITE CONDITIONS AND CONSTRUCTION DOCUMENTS. PROTECT ALL UTILITIES AND EXISTING FACILITIES. FIELD VERIFY ROW / PROPERTY LINE WITH OWNER.
IF CONDITIONS DETRIMENTAL TO PLANT GROWTH AND INSTALLATION ARE ENCOUNTERED, (I.E. ADVERSE DRAINAGE CONDITIONS AND OBSTRUCTIONS) CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS.

LAYOUT
LAYOUT AND STAKE ALL SITE WORK AND PLANTINGS.
CONTACT LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF WORK.
ALLOW THREE DAYS AFTER NOTIFICATION OF STAKING FOR APPROVAL.

THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTINGS, LOCATIONS, ETC. TO ACCOMMODATE LOCAL CONDITIONS. SUCH ADJUSTMENTS, IF MADE, WILL BE DEEMED CLARIFICATIONS AND NOT CHANGE ORDERS.

EROSION CONTROL AND SITE CLEANUP
PROVIDE EROSION CONTROL AS NECESSARY. MAINTAIN SITE CLEANUP THROUGHOUT WORK AND PROVIDE A FINAL JOB CLEANUP.

TREES SHRUBS AND GROUNDCOVERS
PLANT MATERIAL
NURSERY GROWN, SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF AND HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEM.
GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF PROJECT (PREFERABLY WITHIN A 200-MILE RADIUS OF THE PROJECT SITE).
PLANTS MUST BE EQUAL OR EXCEED THE MEASUREMENTS DENOTED IN THE PLANT LIST, WHICH ARE MINIMUM ACCEPTABLE SIZES.
PRUNE ONLY AS DIRECTED BY LANDSCAPE ARCHITECT. IN NO CASE SHOULD THE PLANTS BE PRUNED BACK TO AN EXTENT THAT THEY NO LONGER MEET THE SPECIFICATIONS.

SUBMITTALS
PROVIDE VERIFICATION OF PLANT INSPECTION CERTIFICATES, GENUS, SPECIES AND VARIETY, PROPOSED SCHEDULE OF WORK, SOIL TEST RESULTS, PROPOSED RATES OF APPLICATION OF FERTILIZERS AND SOIL CONDITIONERS PRIOR TO INSTALLATION.

PLANT INSPECTION
THE LANDSCAPE ARCHITECT MAY INSPECT PLANT MATERIALS EITHER AT THE PLACE OF GROWTH OR AT THE SITE BEFORE PLANTING. DEFECTIVE OR UNSATISFACTORY MATERIAL MAY BE REJECTED AT ANY TIME DURING PROGRESS OF WORK.

SOIL AMENDMENTS
FERTILIZER: COMMERCIAL GRADE, 10-6-4 FORMULA CONFORMING TO U.S. DEPARTMENT OF AGRICULTURAL STANDARDS DELIVERED IN ORIGINAL UNOPENED CONTAINERS BEARING MANUFACTURER'S GUARANTEED ANALYSIS AND MIXTURE.

EXISTING SOIL
CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING SOIL CONDITION FOR DRAINAGE AND NUTRIENT CONTENT REPORT ANY PROBLEMS TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING PLANT INSTALLATION.

TOP SOIL
1. FERTILE, FRIABLE, NATURAL LOAM, TYPICAL FOR LOCALITY.
2. AGRICULTURAL SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
3. TAKEN FROM WELL-DRAINED SITE.
4. FREE OF SUBSOIL, CLAY LUMPS OR STONES LARGER THAN ONE INCH' IN DIAMETER.
PLANTS, WEEDS, AND ROOTS.
5. HAVING PH VALUE OF 5.4 MINIMUM AND 7.0 MAXIMUM.
6. CONTAINING 6 PERCENT MINIMUM ORGANIC MATTER.
7. TEST TOPSOIL TO INSURE PROPER PERCENTAGE OF NITROGEN, PHOSPHORUS, AND POTASH, ORGANIC MATTER AND PH VALUE
UNLESS SPECIFIED IN PLANTING SCHEDULE ALL PLANTING AREAS TO HAVE 12 INCHES OF TOPSOIL AND ALL LAWN AREAS TO HAVE 4 INCHES OF TOP SOIL.

PLANTING SOIL MIX
5 PARTS TOPSOIL (LOAM) AND 2 PARTS SAND (USE WITH CLAY LOAMS OR SILTY LOAMS)
NOTE: PLANTING SOIL MIX MAY BE SUBSTITUTED WITH APPROVED TOPSOIL.
PREPARED PLANTING BED AREAS (ANNUALS + GROUNDCOVERS):
1. TILL SOIL TO A DEPTH OF 12 INCHES.
2. ADD MINIMUM OF 4 INCHES TOPSOIL AND 1 INCHES PEAT.
3. EVENLY TILL TO DEPTH OF 6 INCHES.
4. RAKE TO LEVEL GRADE THEN ADD 2 INCHES FINE BARK MULCH PRIOR TO PLANTING.

LANDSCAPE BEDS
ALL LANDSCAPE BEDS TO BE 4 TO 6 INCHES HIGHER THAN EXISTING FINISHED GRADE. TAPER BEDS ADJACENT TO HARDSCAPE SURFACES AND INSTALL 'V' TRENCH EDGE ADJACENT TO LAWNS (SEE DETAIL).

MULCHES
MULCHES SHALL BE FREE FROM MATURED SEED, NOXIOUS WEEDS, EGG CASES, HARMFUL INSECTS, OR ANY SPECIES OR CHEMICAL DETRIMENTAL TO THE DEVELOPMENT OF PLANTS AND HUMANS. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR CONTROL OF NOXIOUS WEEDS INTRODUCED ON THE SITE IN THE MULCH FOR PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK. MULCHES SHALL EXHIBIT UNIFORM TEXTURE COLOR AND PARTICLE SIZE. SECURE LANDSCAPE ARCHITECT'S APPROVAL FOR SPECIFIC MULCH TYPE.

PROTECTION
PROTECT WORK FROM EROSION, FLOODING, WINDS AND RAIN. REPAIR OR REPLACE ANY DAMAGED AREAS.

PLANTING
REMOVE BURLAP AND TIES FROM TOP AND PARTIAL SIDES OF ALL PLANT BALLS.
PLANT ALL TREES, SHRUBS AND GROUND COVERS AS PER PLANTING DETAILS.
ROOTS OF GROUNDCOVER TO BE PLANTED IN SOIL NOT MULCH TOP DRESSING.

MAINTENANCE
MAINTAIN PLANTINGS (WATERING, WEEDING, FERTILIZING, CULTIVATION, DISEASE AND INSECT CONTROL, STAKING, ETC.) UNTIL FINAL INSPECTION AND ACCEPTANCE.
SUBMIT WRITTEN MAINTENANCE INSTRUCTIONS TO LANDSCAPE ARCHITECT.

INSPECTION AND ACCEPTANCE
UPON COMPLETION OF PLANTING, REQUEST AN INSPECTION FOR PROJECT ACCEPTANCE. ONLY PLANTING SHOWING SIGNS OF HEALTHY GROWTH AND SATISFACTORY CONDITION OF FOLIAGE WILL BE ACCEPTED FOR GROWTH. REQUEST THE PROJECT UNTIL ALL INSPECTION PUNCH LIST ITEMS (EXCLUSIVE OF SEASON REPLACEMENT PLANTING) HAVE BEEN CORRECTED TO THE SATISFACTORY OF THE LANDSCAPE ARCHITECT.

GUARANTEE AND REPLACEMENT
GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF PROJECT ACCEPTANCE. GUARANTEE AGAINST DEFECTS, INCLUDING GROWTH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL. IMMEDIATELY REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE UNSATISFACTORY DURING GUARANTEE PERIOD.

LAWNS AND GRASSES
QUALITY ASSURANCE
PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. SUBMIT SEED VENDOR'S CERTIFIED STATEMENT FOR EACH GRASS SEED MIXTURE.

PROJECT CONDITIONS
PROCEED WITH AND COMPLETE LAWNS AND GRASSES AS PORTIONS OF SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS. PROJECT MANAGER TO INFORM CONTRACTOR AS PARTS OF SITE BECOME AVAILABLE AND ESTABLISH A REASONABLE SCHEDULE TO PERFORM WORK.

FERTILIZER AND LIME
FERTILIZER WITH COMMERCIAL FERTILIZER. PERCENTAGE TO BE DETERMINED WITH ANALYSIS AND SEASON OF INSTALLATION.
LIME TO BE NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 88% CARBONATES. MINIMUM OF 30 % MAGNESIUM CARBONATES.

SEED
SEED MIXTURE AND RATE OF APPLICATION SHALL BE AS SPECIFIED IN MATERIAL LIST.

SEED AND SOD SOIL PREPARATION
1. TILL TO A DEPTH OF NOT LESS THAN 6 INCHES.
2. ELIMINATE UNEVEN AREAS AND LOW SPOTS. MAKE CHANGES IN GRADE GRADUAL.
3. TILL SOIL TO A HOMOGENOUS MIXTURE OF FINE TEXTURE, FREE OF CLODS.
4. REMOVE STONES LARGER THAN ONE INCH AND OTHER EXTRANEOUS MATERIAL.
5. APPLY TOPSOIL LAYER IF SPECIFIED.
6. APPLY LIME AT RATE REQUIRED TO ACHIEVE PH RANGE BETWEEN 6.0 AND 6.5.
7. APPLY FERTILIZER AT RATE REQUIRED BY ANALYSIS.
8. MIX THOROUGHLY IN UPPER TWO INCHES OF TOPSOIL.

SEEDING AND MULCHING
APPLY SEED AT RATE SPECIFIED OR AS NECESSARY TO INSURE A UNIFORM AND FULL STAND OF GRASS, EVENLY, BY SOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.
RAKE SEED LIGHTLY INTO TOP 1/4 INCH OF SOIL, AND ROLL SEEDING AREA WITH ROLLER NOT EXCEEDING 12 LBS. IMMEDIATELY FOLLOWING ROLLING, APPLY MULCH SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1-1/2 INCH LOOSE MEASURE. MAINTAIN CLEAR OF TREES AND SHRUBS.
ON SEEDED SLOPES, WHERE GRADE IS 3:1 OR GREATER, COVER WITH EROSION FABRIC.

SODDING
LAY SOD TIGHT WITH NO OPEN JOINTS AND NOT OVERLAPPING. TAMP OR ROLL LIGHTLY TO ENSURE CONTACT WITH SUBGRADE.
ON SLOPES GREATER THAN 3:1, INSTALL SOD STAPLES.

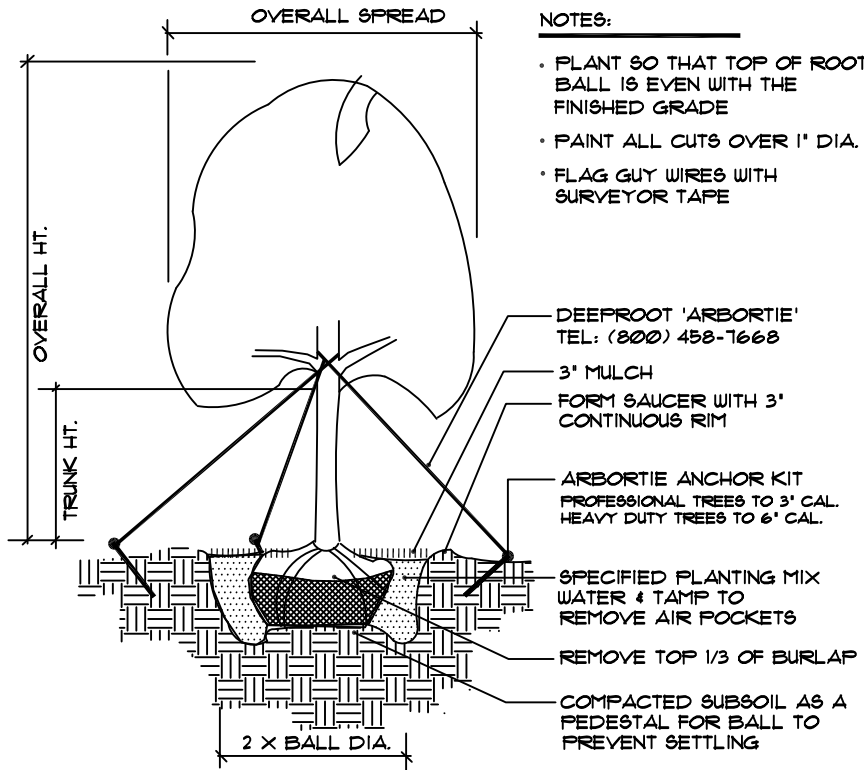
LAWN MAINTENANCE
MAINTAIN LAWNS UNTIL GRASS IS WELL ESTABLISHED AND EXHIBITS A VIGOROUS GROWING CONDITION.
IF SEEDING IN FALL AND IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE MAINTENANCE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.
MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADEING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE, LAWN FREE OF ERODED OR BARE AREAS.



PLANTING SCHEDULE

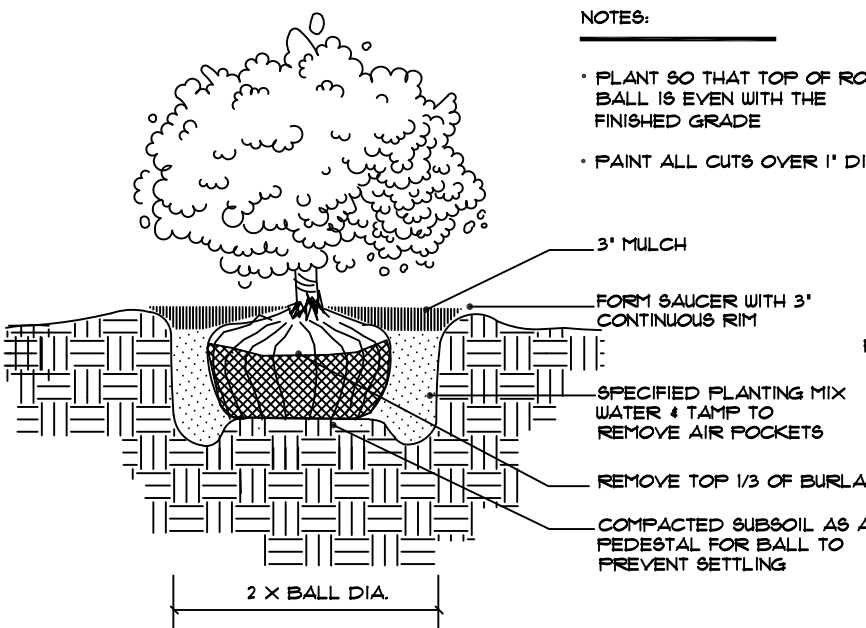
DECIDUOUS TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL	CONT
10	RIVER BIRCH / <i>Betula nigra</i> 'Dura Head'	10-12'H	2.5'Gal	B4B
	Multi-Trunk			
EVERGREEN TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL	CONT
4	WILLOW OAK / <i>Quercus phellos</i>	12-14'H	2.5'Gal	B4B
4	NELLIE R STEVENS / <i>Ilex</i> var. 'Nellie R Stevens'	8'H	1'Gal	B4B
FLOWERING TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL	CONT
11	GRAPE MYRTLE / <i>Lagerstroemia indica</i> 'Muskogee'	10'H	2' gal. / trunk	B4B
4	RED BUD / <i>Gercia canadensis</i>	8-10'H	2'Gal	
DECIDUOUS SHRUBS	COMMON NAME / BOTANICAL NAME	SIZE	GAL	CONT
8	MINI. GRAPE MYRTLE / <i>Lagerstroemia indica</i> 'Pikamoke'	12-15'H	5 gal	
EVERGREEN SHRUBS	COMMON NAME / BOTANICAL NAME	SIZE	GAL	CONT
38	CARISSA HOLLY / <i>Ilex cornuta</i> 'Carissae'	12-15'H	5 gal	
42	COMPACT PFITZER / <i>Juniperus chinensis</i> 'Pfitzeriana Compacta'	18-24'H	5 gal	
25	DISTYLUM / <i>Distylum</i> var. 'Vintage Jade'	18-18" H	5 gal	
9	SKIP LAUREL / <i>Prunus laurocerasus</i> 'Schipkaensis'	24-30'H	B4B	
GRASSES	COMMON NAME / BOTANICAL NAME	SIZE	GAL	CONT
49	MAIDEN GRASS / <i>Miscanthus sinensis</i> 'Morning Light'	24'H	5 gal	
82	MUHL GRASS / <i>Muhlenbergia capillaris</i>	10-12'H	1 gal	
GROUND COVERS	COMMON NAME / BOTANICAL NAME	CONT	SPACING	
58	DAYLILY / <i>Hemerocallis</i> hybrid 'Stella de Oro'	1 gal	18" O.C.	
111	LIRIOPE / <i>Liriope muscari</i> 'Big Blue'	4" pot	12" O.C.	
ADDITIONAL ITEMS	MATERIAL	DESCRIPTION		
60	HARDWOOD MULCH	50. yd.	(distance)	
	WEEKS AND DRIVE	50. yd.	(distance)	
by general contractor	TOP SOIL - PLANTING BEDS	(12" all planting bed areas / 4" all lawn areas)	50. yd.	(distance)
as per plan	SEED	Lawnson 'Morning Colors' seed or approved equal	50. ft.	
as per plan	ROCK MULCH	4-6" river slick stone with pea gravel infill	50. ft.	(distance)

QUANTITIES ARE FOR THE CONTRACTORS CONVENIENCE ONLY.
CONTRACTORS SHALL BE RESPONSIBLE FOR ALL PLANTINGS ILLUSTRATED ON PLAN.



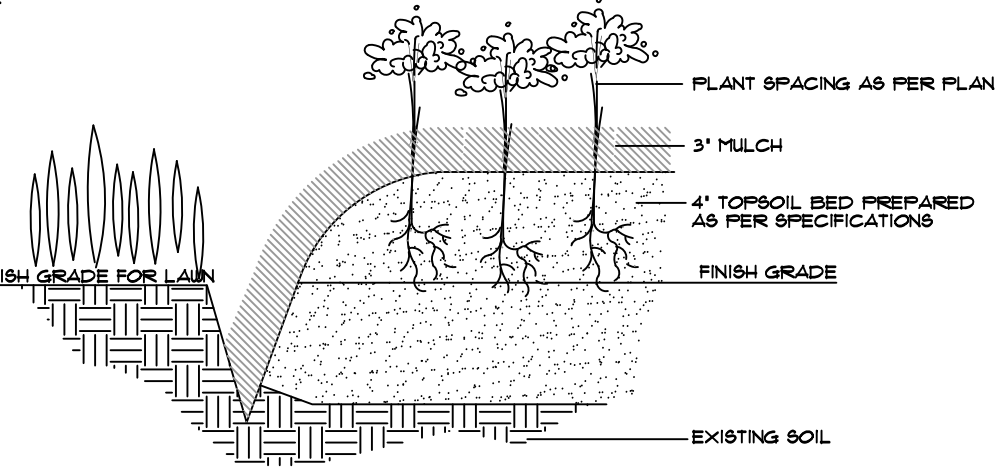
TREE PLANTING - GUY WIRES

SCALE: NOT TO SCALE



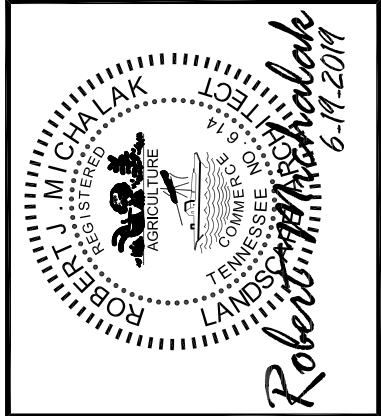
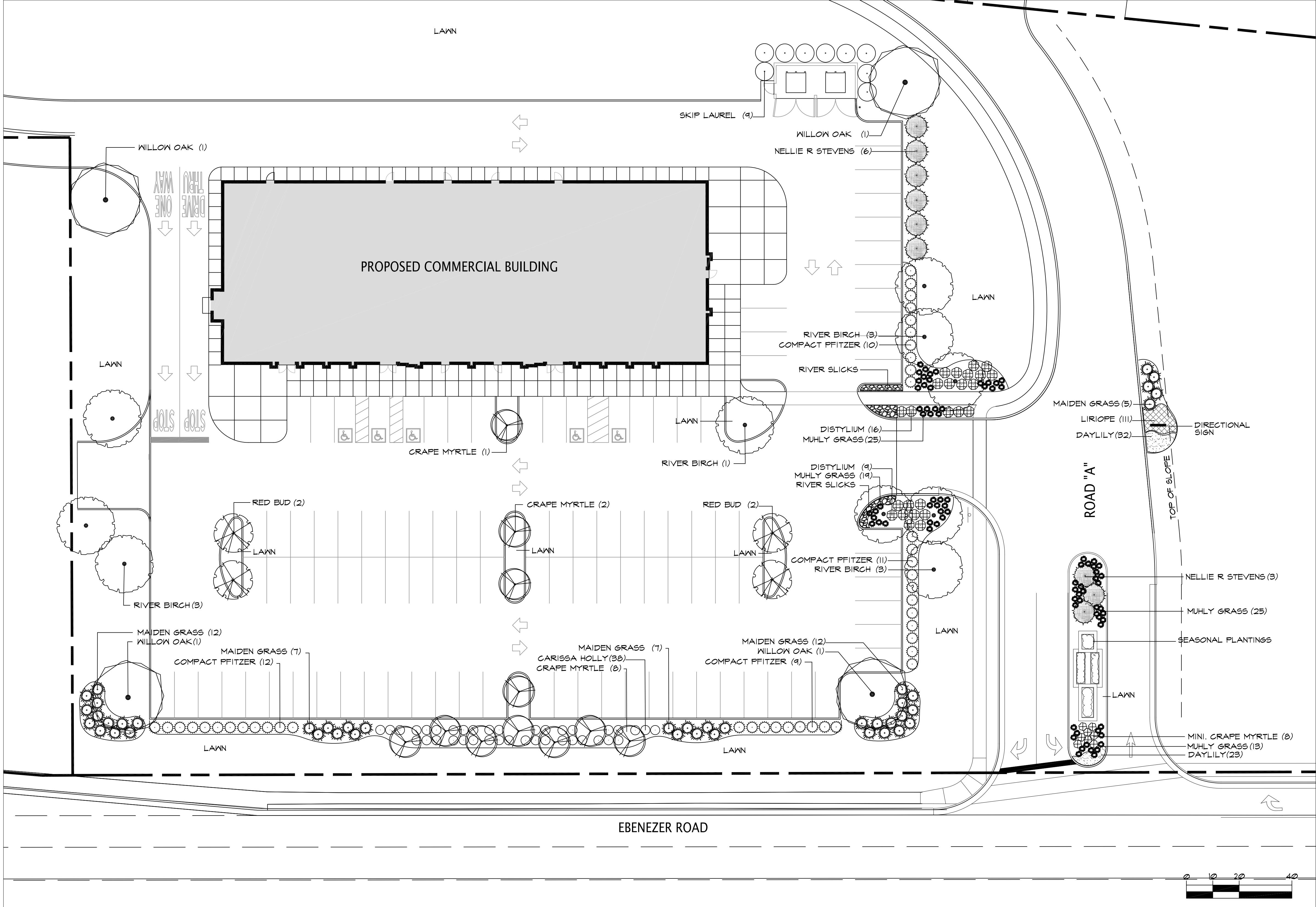
SHRUB PLANTING

SCALE: NOT TO SCALE



BED PREPARATION

SCALE: NOT TO SCALE



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE KNOXVILLE, TN 37919
299 N. WEGBAUMER RD., SUITE 101 KNOXVILLE, TENNESSEE (865) 588-1351

Commercial Site - Concept Landscape Plan

The Crescent at Ebenezer
Knoxville, Tennessee

JOB NO. 219009
DRAWN: MAV/JRM
DATE: MAY 20, 2019
REVISIONS: JUNE 19, 2019

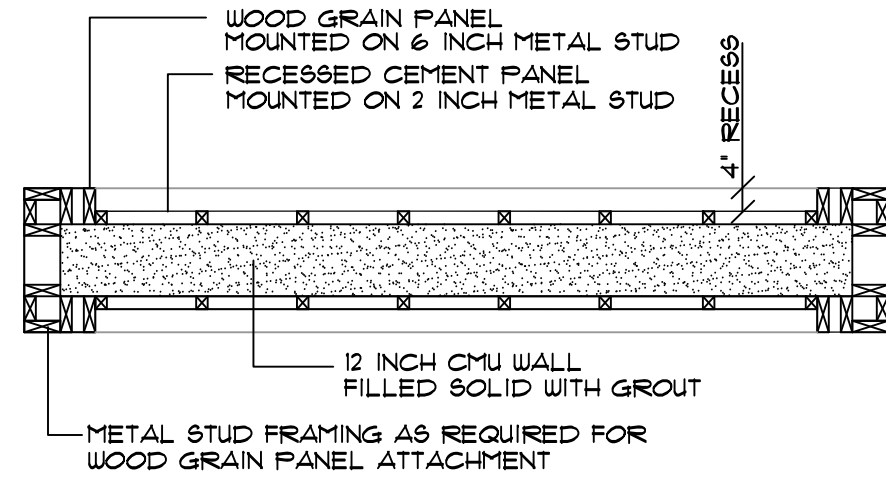


SCALE 1" = 20'

L-1

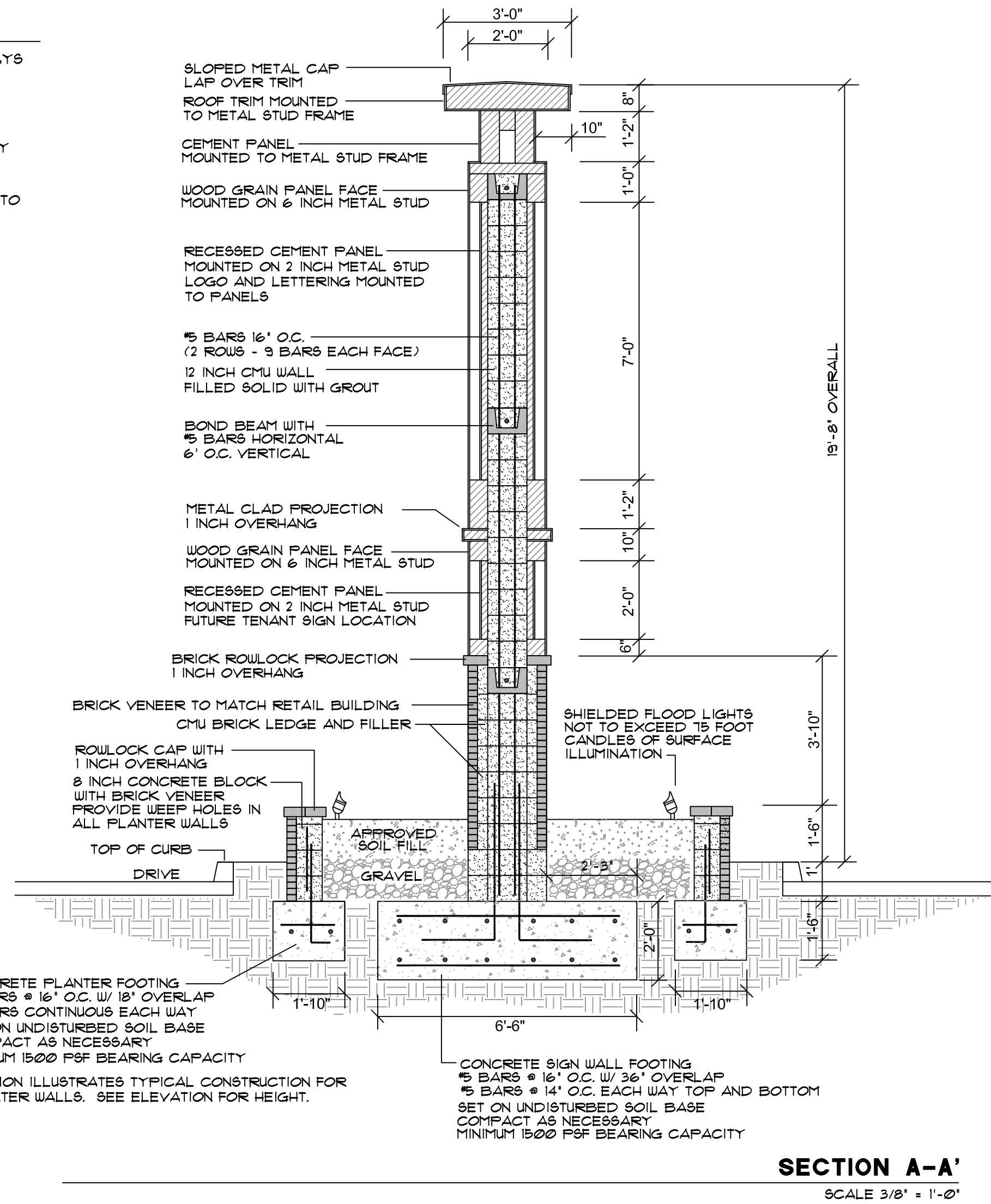
NOTES:

- CONCRETE TO HAVE COMPRESSIVE STRENGTH=4000 PSI #28 DAYS
- ALL CONCRETE TO BE AIR-ANTRAINED 3% MIN - 6% .
- REINFORCING STEEL TO BE A615-60
- ALL CONCRETE AND REINFORCING STEEL TO BE AS PER ACI 318 AND ACI 309
- FOUNDATION DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1500 PSF. CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTING FOOTING.
- BRICK VENEER, CEMENT / WOOD PANELS AND METAL CLADDING TO MATCH RETAIL BUILDING MATERIALS.
- ALL METAL AND CEMENT BOARD PANELS TO BE MOUNTED TO METAL STUDS AS PER MANUFACTURER'S SPECIFICATIONS.
- SIGN MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. SUBMITTAL TO ILLUSTRATE MATERIALS, COLORS AND ATTACHMENT DETAILS OF LETTERING AND LOGO.

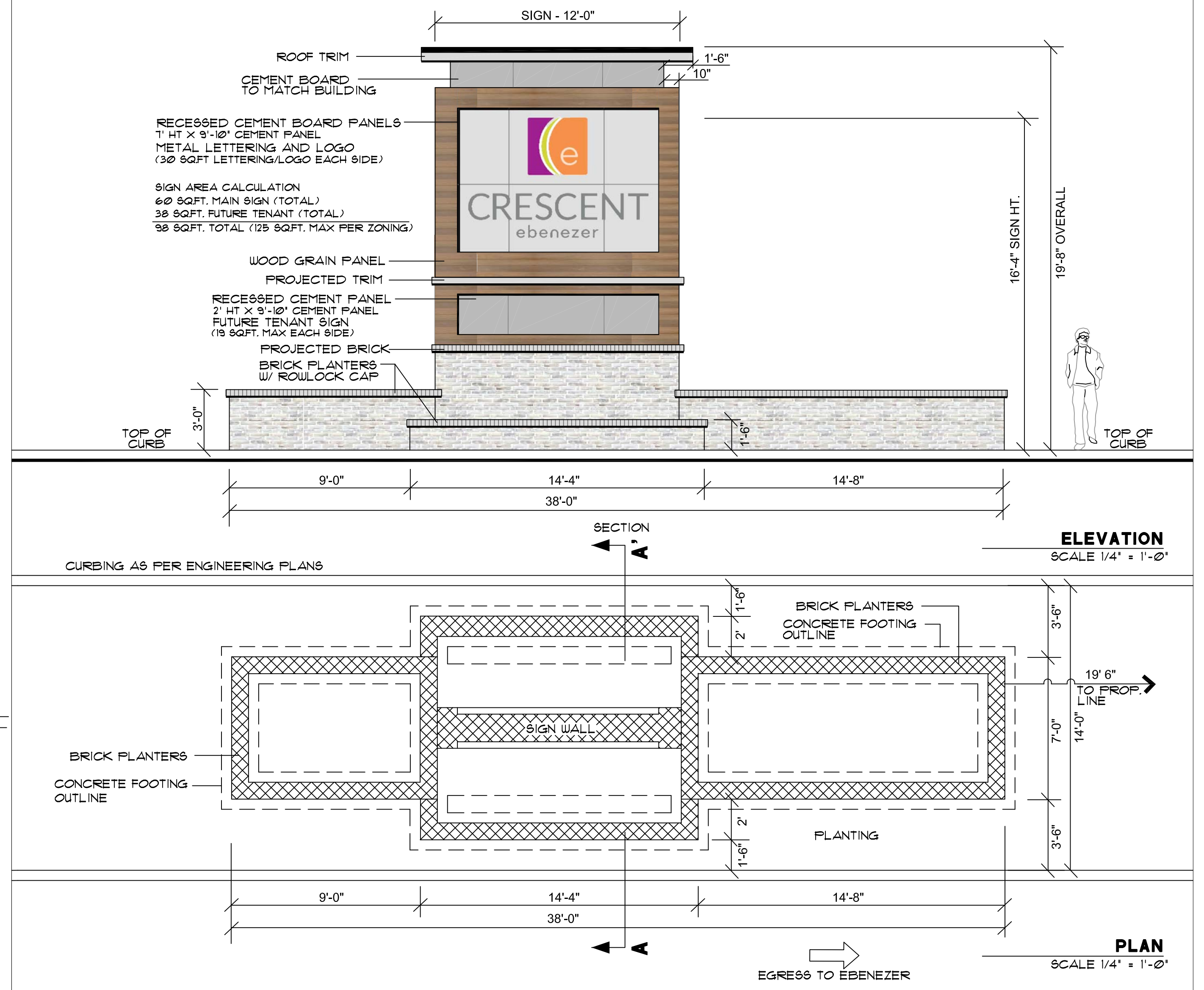


*METAL STUDS TO BE MOUNTED TO BLOCK FACE (NOT MORTAR JOINTS) WITH 1/4 INCH MASONRY FASTENER (HILTI, TAPCON, ETC.)

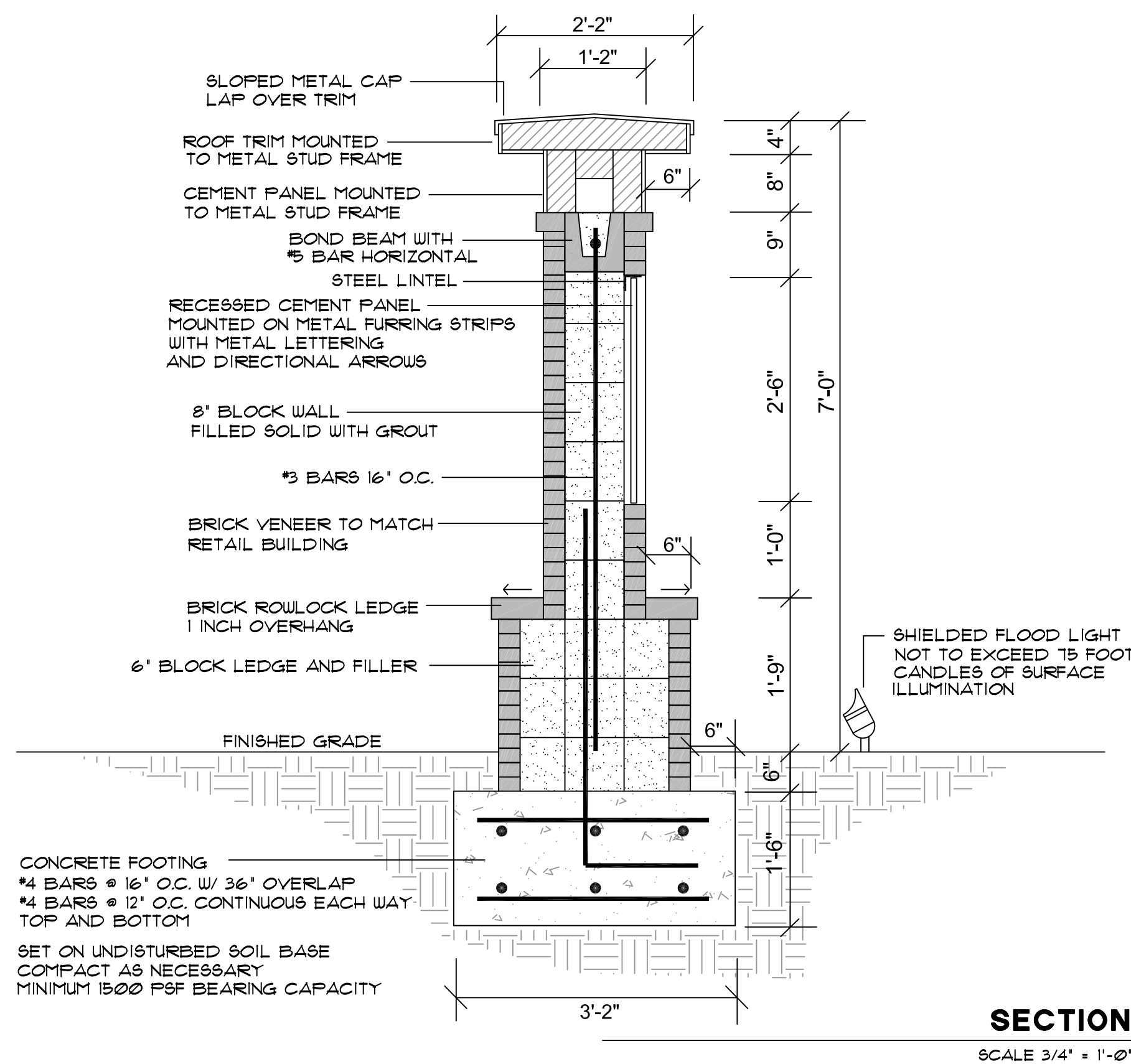
WALL / FRAMING SECTION - TOP
SCALE 3/8" = 1'-0"



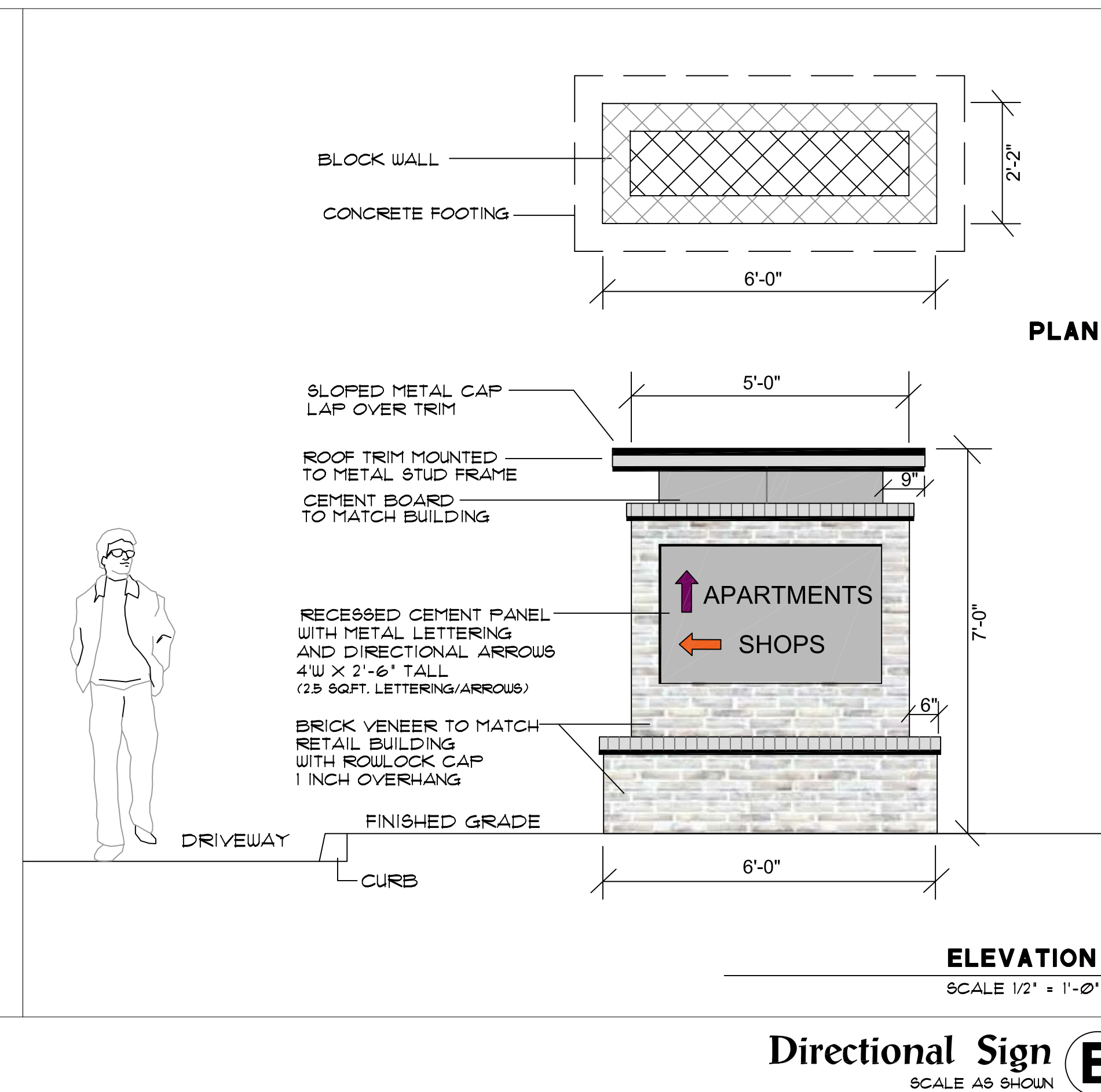
SECTION A-A'
SCALE 3/8" = 1'-0"



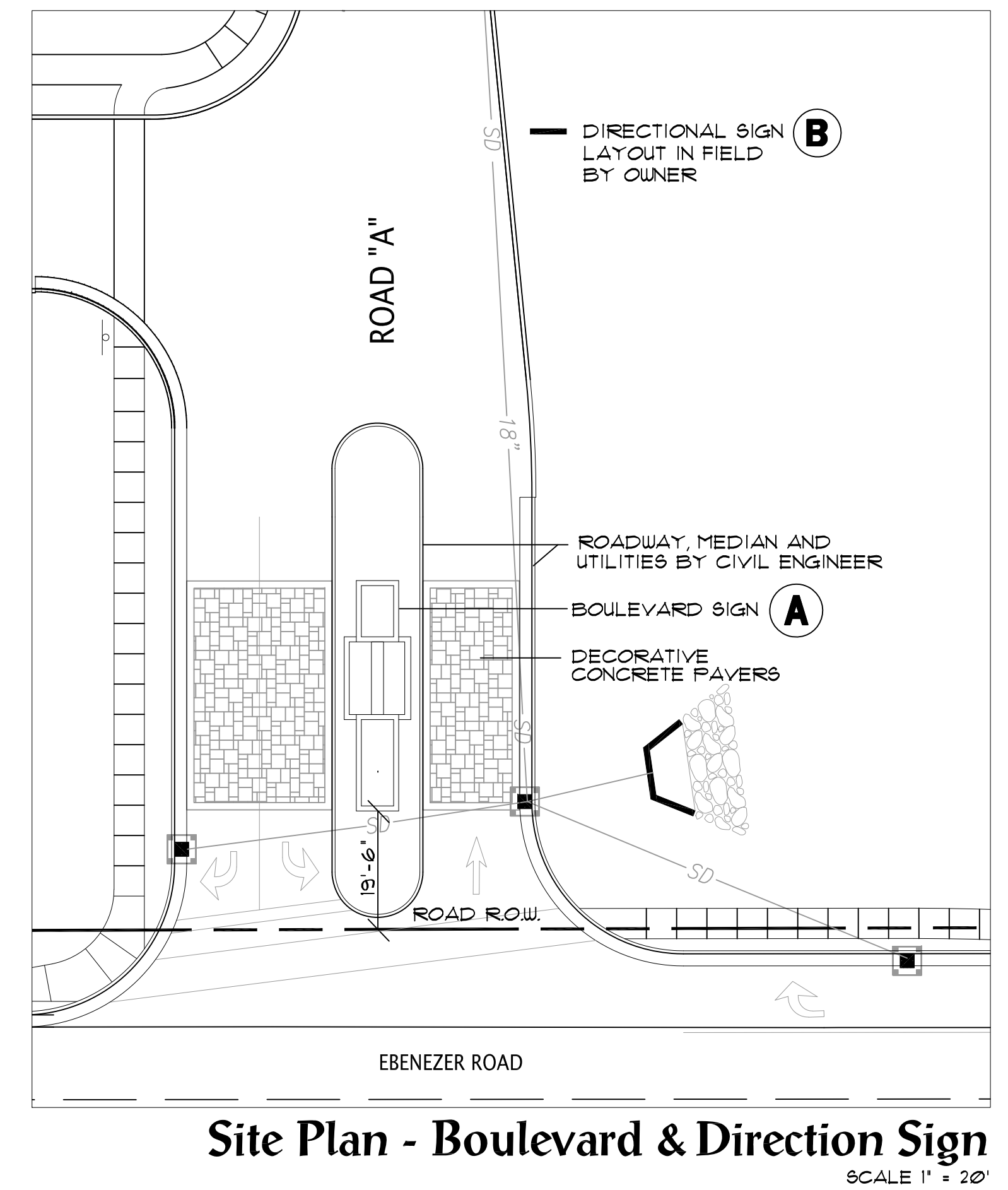
Boulevard Sign A
SCALE AS SHOWN



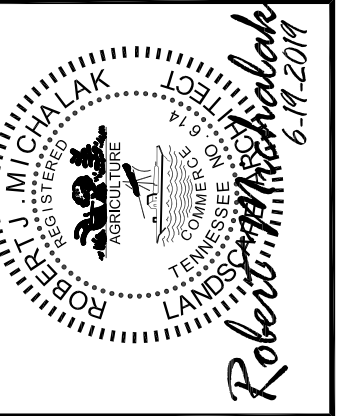
SECTION
SCALE 3/4" = 1'-0"



Directional Sign B
SCALE AS SHOWN



Site Plan - Boulevard & Directional Sign
SCALE 1" = 20'

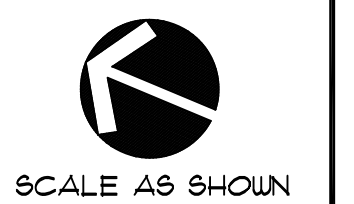


MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE ... LAND PLANNING
299 N. WEBBARD RD., SUITE 201 KNOXVILLE, TN 37919
(865) 588-1931

Signage - Commercial Parcel

The Crescent at Ebenezer
1000 Ebenezer Road Knoxville, Tennessee

JOB NO. 219003
DRAWN: MAV/RJM
DATE: MAY 31, 2019
REVISIONS: JUNE 11, 2019
JUNE 19, 2019



C-1