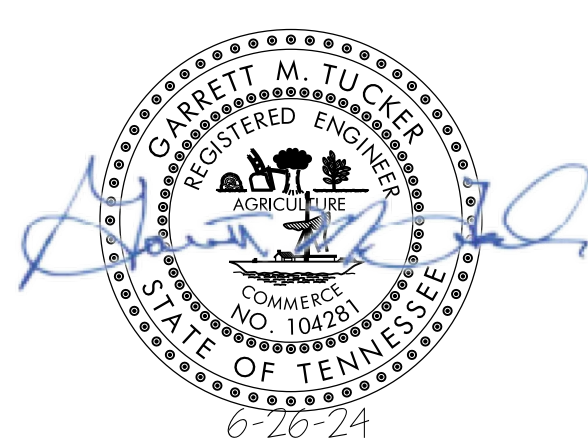
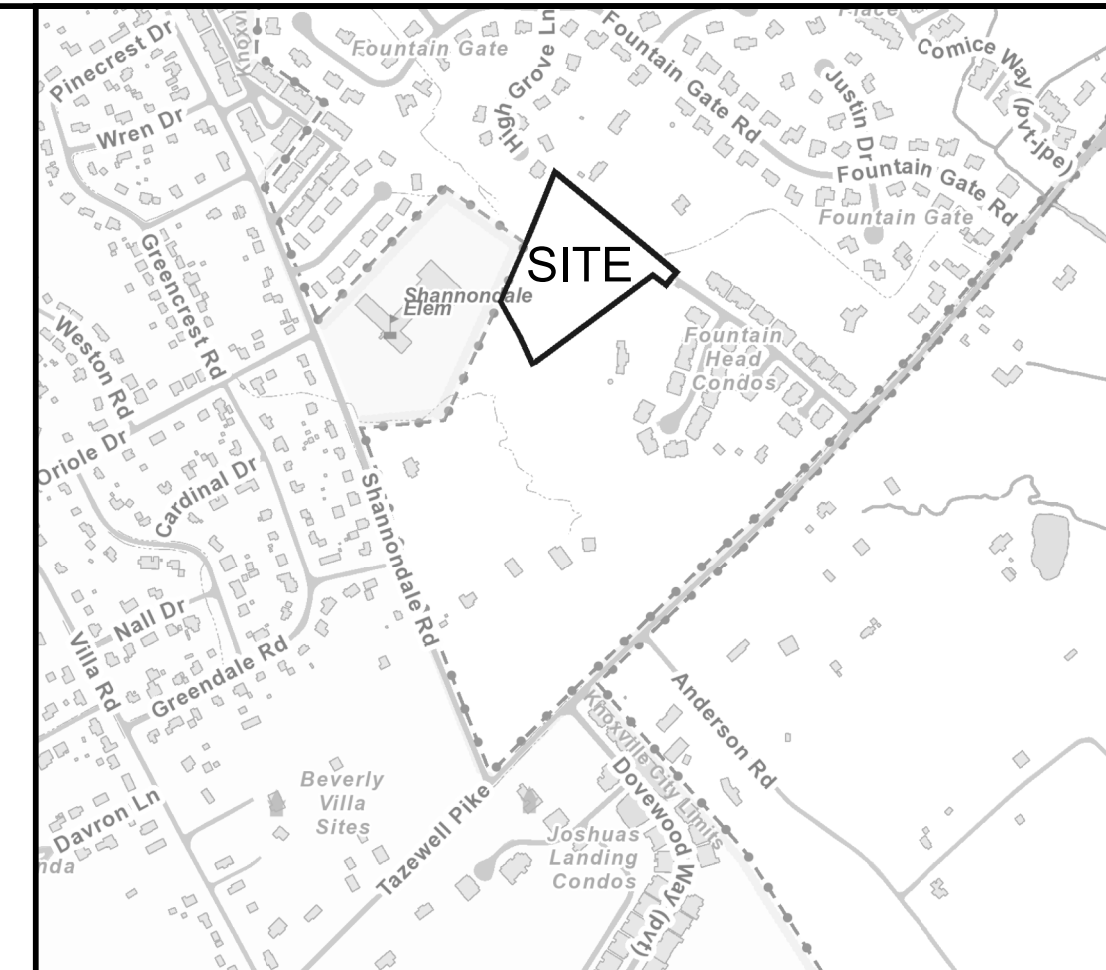


LEGEND

SF * SF * SF * SF * SF SILT FENCE	PIPE FOUND
CONSTRUCTION EXIT	PIPE FOUND
STORM DRAIN INLET PROTECTION	G.V.
STORM DRAIN OUTLET PROTECTION	W.M.
OVERLAND DRAINAGE PATTERN	MANHOLE
EROSION CONTROL MATTING	SIGN
ENHANCED ROCK CHECK AM	WATER VALVE
1150 EXISTING GRADE	FIRE HYDRANT
1150 PROPOSED GRADE	POWER/TELEPHONE
PROPOSED SWALE	GUY WIRE
PERVIOUS CONCRETE / PERVIOUS PAVERS	
PERMANENT CROSS ACCESS / UTILITY EASEMENT	
PERMANENT CROSS ACCESS / UTILITY / DRAINAGE EASEMENT	
DRAINAGE / UTILITY EASEMENT	



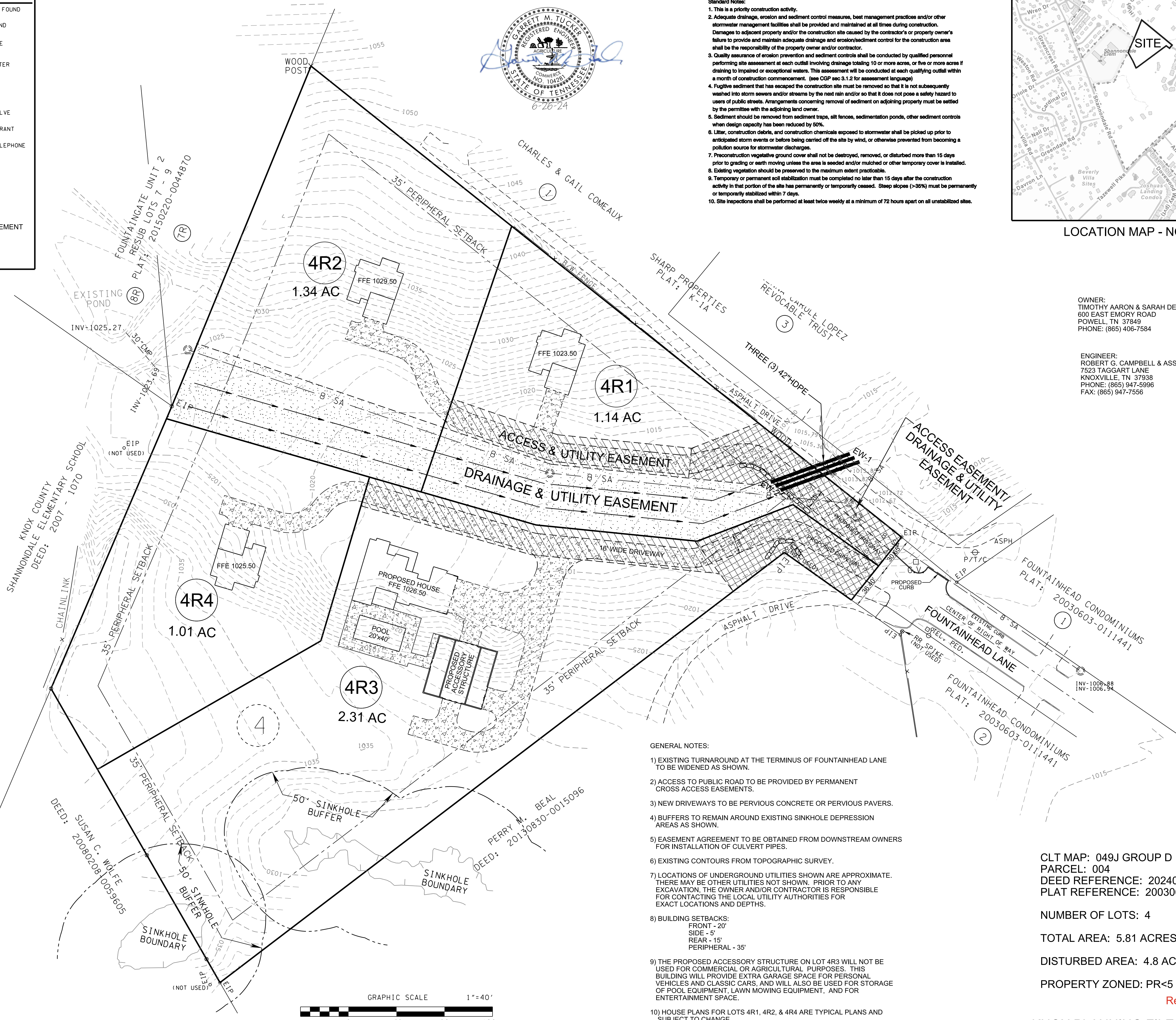
- Standard Notes:
- This is a priority construction activity.
 - Adequate drainage, erosion and sediment control measures, best management practices and/or other stormwater management facilities shall be provided and maintained at all times during construction. Damages to adjacent property and/or the construction site caused by the contractor's or property owner's failure to provide and maintain adequate drainage and erosion/sediment control for the construction area shall be the responsibility of the property owner and/or contractor.
 - Quality assurance of erosion prevention and sediment controls shall be conducted by qualified personnel performing site assessment at each outlet involving drainage totaling 10 or more acres, or five or more acres if draining to impaired or exceptional waters. This assessment will be conducted at each qualifying outlet within a month of construction commencement. (see CGP sec 3.1.2 for assessment language)
 - Fugitive sediment that has escaped the construction site must be removed so that it is not subsequently washed into storm sewers and/or streams by the next rain and/or so that it does not pose a safety hazard to users of public streets. Arrangements concerning removal of sediment on adjoining property must be settled by the permittee with the adjoining land owner.
 - Sediment should be removed from sediment traps, silt fences, sediment ponds, other sediment controls when design capacity has been reduced by 50%.
 - Litter, construction debris, and construction chemicals exposed to stormwater shall be picked up prior to anticipated storm events or before being carried off the site by wind, or otherwise prevented from becoming a pollution source for stormwater discharges.
 - Preconstruction vegetative ground cover shall not be destroyed, removed, or disturbed more than 15 days prior to grading or earth moving unless the area is seeded and/or mulched or other temporary cover is installed.
 - Existing vegetation should be preserved to the maximum extent practicable.
 - Temporary or permanent soil stabilization must be completed no later than 15 days after the construction activity in that portion of the site has permanently or temporarily ceased. Steep slopes (>35%) must be permanently or temporarily stabilized within 7 days.
 - Site inspections shall be performed at least twice weekly at a minimum of 72 hours apart on all unstabilized sites.



LOCATION MAP - NO SCALE

OWNER:
TIMOTHY AARON & SARAH DENISE WELLS
600 EAST EMORY ROAD
POWELL, TN 37849
PHONE: (865) 406-7584

ENGINEER:
ROBERT G. CAMPBELL & ASSOCIATES, L.P.
7523 TAGGART LANE
KNOXVILLE, TN 37938
PHONE: (865) 947-5996
FAX: (865) 947-7556



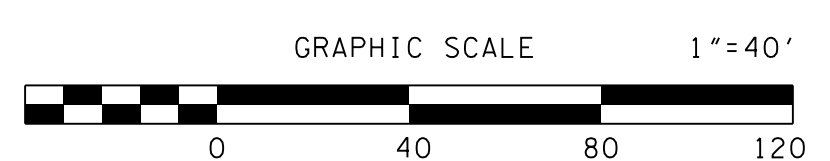
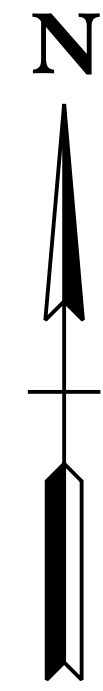
- GENERAL NOTES:
- EXISTING TURNAROUND AT THE TERMINUS OF FOUNTAINHEAD LANE TO BE WIDENED AS SHOWN.
 - ACCESS TO PUBLIC ROAD TO BE PROVIDED BY PERMANENT CROSS ACCESS EASEMENTS.
 - NEW DRIVEWAYS TO BE PERVIOUS CONCRETE OR PERVIOUS PAVERS.
 - BUFFERS TO REMAIN AROUND EXISTING SINKHOLE DEPRESSION AREAS AS SHOWN.
 - EASEMENT AGREEMENT TO BE OBTAINED FROM DOWNSTREAM OWNERS FOR INSTALLATION OF CULVERT PIPES.
 - EXISTING CONTOURS FROM TOPOGRAPHIC SURVEY.
 - LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES NOT SHOWN. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATIONS AND DEPTHS.
 - BUILDING SETBACKS:
FRONT - 20'
SIDE - 5'
REAR - 15'
PERIPHERAL - 35'
 - THE PROPOSED ACCESSORY STRUCTURE ON LOT 4R3 WILL NOT BE USED FOR COMMERCIAL OR AGRICULTURAL PURPOSES. THIS BUILDING WILL PROVIDE EXTRA GARAGE SPACE FOR PERSONAL VEHICLES AND CLASSIC CARS, AND WILL ALSO BE USED FOR STORAGE OF POOL EQUIPMENT, LAWN MOWING EQUIPMENT, AND FOR ENTERTAINMENT SPACE.
 - HOUSE PLANS FOR LOTS 4R1, 4R2, & 4R4 ARE TYPICAL PLANS AND SUBJECT TO CHANGE.

CLT MAP: 049J GROUP D
PARCEL: 004
DEED REFERENCE: 20240220-0040068
PLAT REFERENCE: 20030603-0111441

NUMBER OF LOTS: 4
TOTAL AREA: 5.81 ACRES
DISTURBED AREA: 4.8 ACRES
PROPERTY ZONED: PR<5 DU/AC

Revised: 6/27/2024

KNOX PLANNING FILE NO. 7-H-24-DP



NO.	DATE	DESCRIPTION	BY	CKD.
		REVISIONS		

ROBERT G. CAMPBELL & ASSOC., L.P.
CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

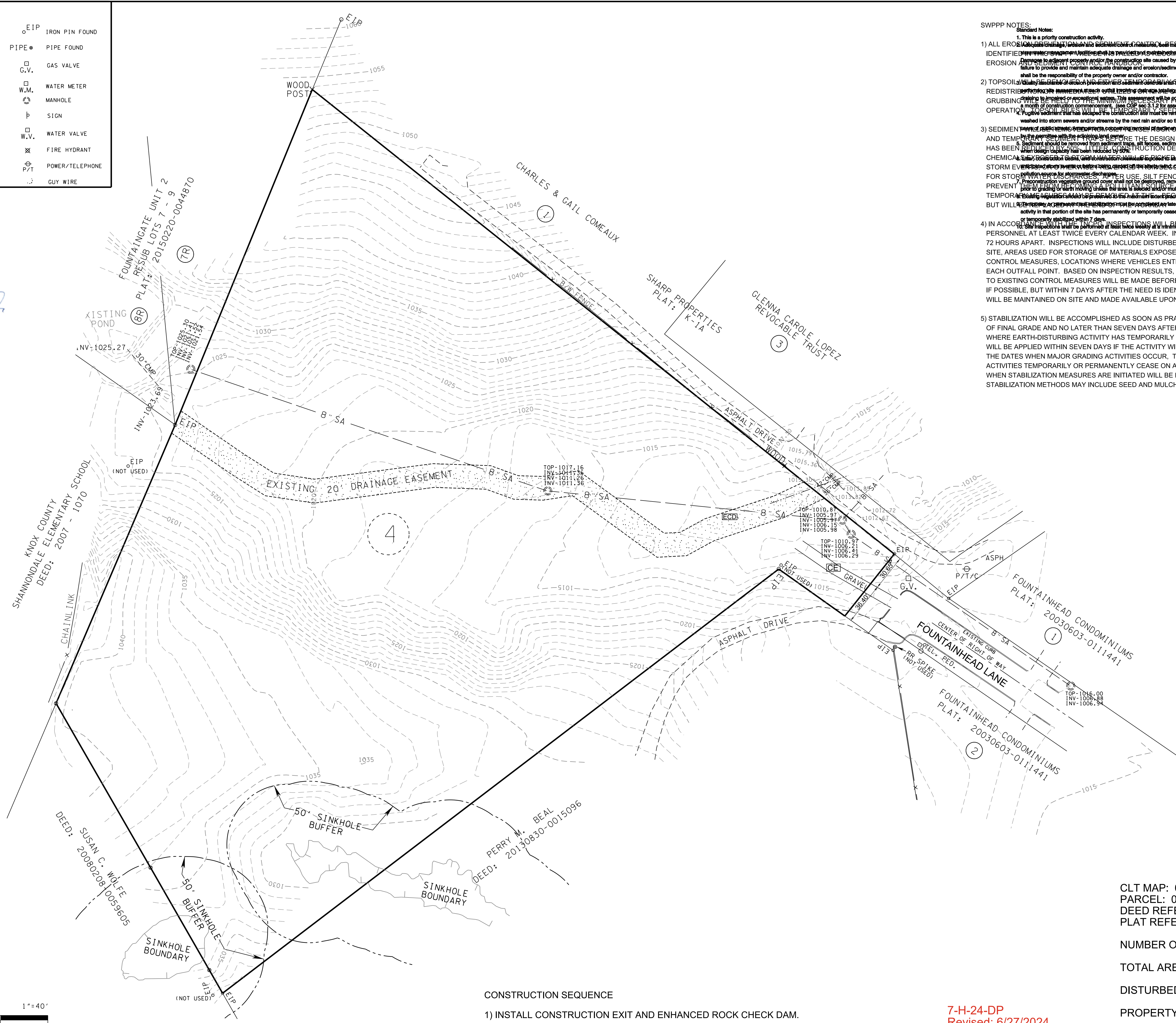
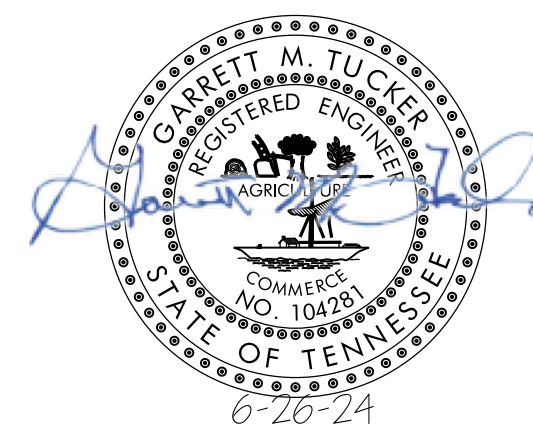
FOUNTAINHEAD VILLAGE
SITE DEVELOPMENT PLAN &
STORMWATER POLLUTION PREVENTION PLAN (TNR 135902)

GENERAL SITE LAYOUT

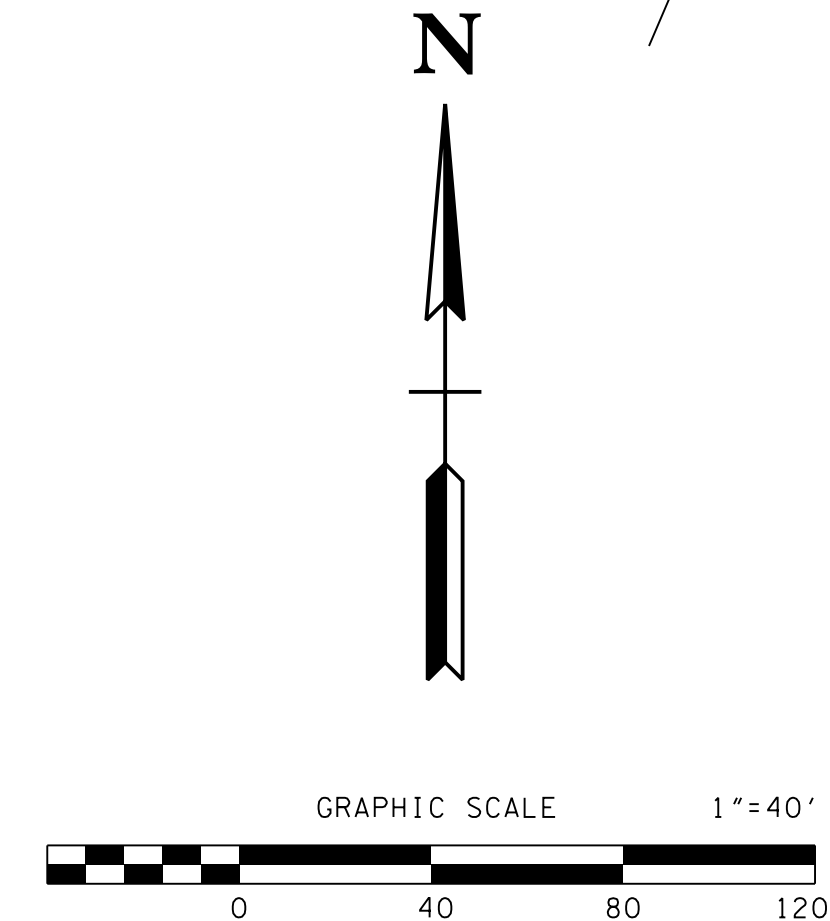
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DRAWN BY GMT	DATE 6-26-24	FILE NO. 18097	OF 5 SHEETS

LEGEND

- SF * SF * SF * SF * SF SILT FENCE
- CE CONSTRUCTION EXIT
- IP STORM DRAIN INLET PROTECTION
- OP STORM DRAIN OUTLET PROTECTION
- OVERLAND DRAINAGE PATTERN
- MA EROSION CONTROL MATTING
- CD ROCK CHECK DAM
- 1150 --- EXISTING GRADE
- 1150 --- PROPOSED GRADE
- EIP IRON PIN FOUND
- PIPE PIPE FOUND
- G.V. GAS VALVE
- W.M. WATER METER
- MANHOLE
- SIGN
- W.V. WATER VALVE
- FIRE HYDRANT
- P/T POWER/TELEPHONE
- GUY WIRE



- SWPPP NOTES:**
- Standard Note:
- 1) This is a priority construction activity. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY EARTH-DISTURBING ACTIVITIES. IDENTIFIED EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - 2) TOPSOIL SHALL BE PROTECTED FROM EROSION AND RUNOFF. TOPSOIL SHALL BE STORED IN A PROTECTED AREA. TOPSOIL SHALL BE STORED IN A PROTECTED AREA. TOPSOIL SHALL BE STORED IN A PROTECTED AREA. TOPSOIL SHALL BE STORED IN A PROTECTED AREA.
 - 3) SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY EARTH-DISTURBING ACTIVITIES. SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - 4) IN ACCORDANCE WITH THE SWPPP, INSPECTIONS WILL BE PERFORMED BY QUALIFIED PERSONNEL AT LEAST TWICE EVERY CALENDAR WEEK. INSPECTIONS WILL BE AT LEAST 72 HOURS APART. INSPECTIONS WILL INCLUDE DISTURBED AREAS OF THE CONSTRUCTION SITE, AREAS USED FOR STORAGE OF MATERIALS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER AND EXIST THE SITE, AND EACH OUTFALL POINT. BASED ON INSPECTION RESULTS, MODIFICATIONS OR REPAIRS TO EXISTING CONTROL MEASURES WILL BE MADE BEFORE THE NEXT RAIN EVENT IF POSSIBLE, BUT WITHIN 7 DAYS AFTER THE NEED IS IDENTIFIED. INSPECTION DOCUMENTS WILL BE MAINTAINED ON SITE AND MADE AVAILABLE UPON REQUEST.
 - 5) STABILIZATION WILL BE ACCOMPLISHED AS SOON AS PRACTICABLE AFTER ATTAINMENT OF FINAL GRADE AND NO LATER THAN SEVEN DAYS AFTER ATTAINING FINAL GRADE. WHERE EARTH-DISTURBING ACTIVITY HAS TEMPORARILY CEASED, TEMPORARY STABILIZATION WILL BE APPLIED WITHIN SEVEN DAYS IF THE ACTIVITY WILL NOT RESUME WITHIN 15 DAYS. THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND THE DATES WHEN STABILIZATION MEASURES ARE INITIATED WILL BE RECORDED AND MAINTAINED ON THE SITE. STABILIZATION METHODS MAY INCLUDE SEED AND MULCH, OR SEED AND EROSION CONTROL BLANKETS.



CONSTRUCTION SEQUENCE
 1) INSTALL CONSTRUCTION EXIT AND ENHANCED ROCK CHECK DAM.

7-H-24-DP
 Revised: 6/27/2024

CLT MAP: 049J GROUP D
 PARCEL: 004
 DEED REFERENCE: 20240220-0040068
 PLAT REFERENCE: 20030603-0111441
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NO.	DATE	DESCRIPTION	BY	CKD.
REVISIONS				

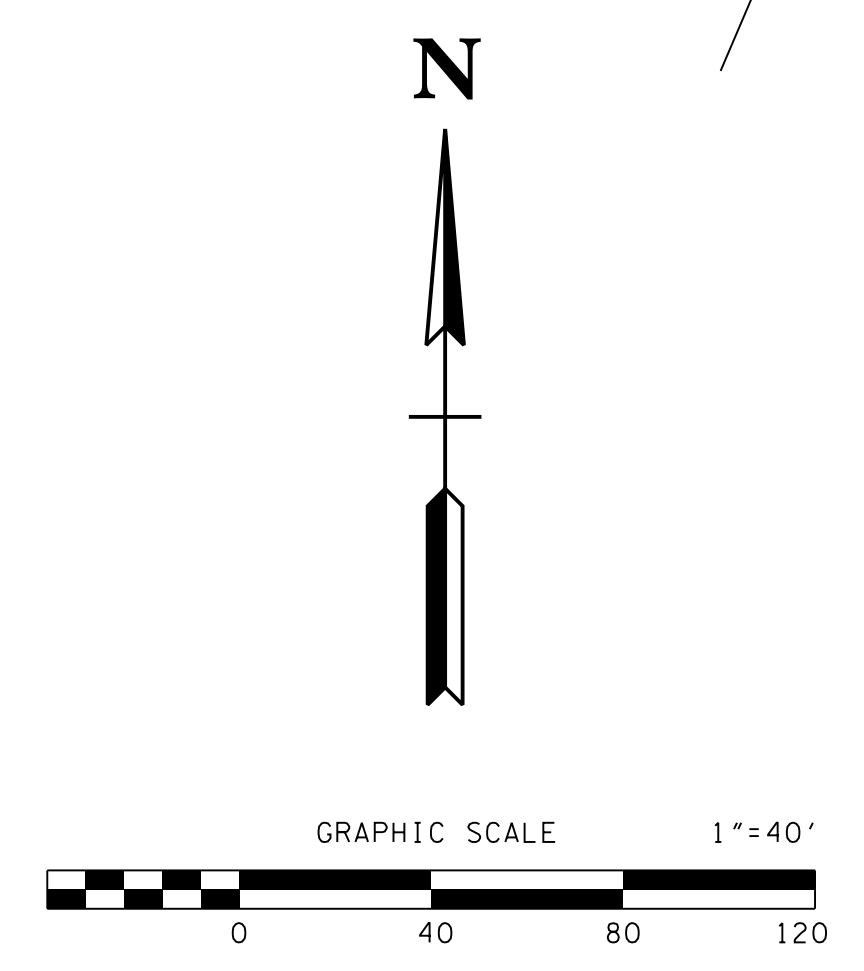
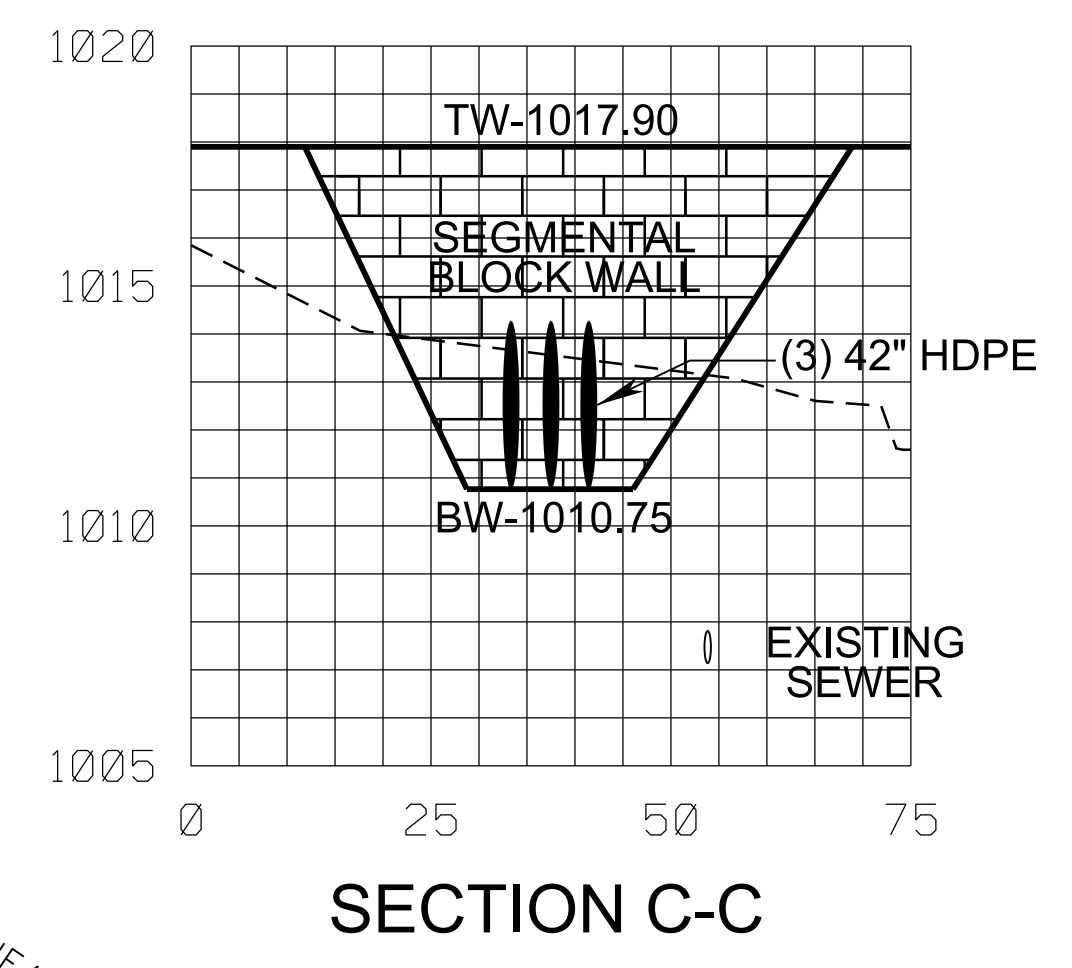
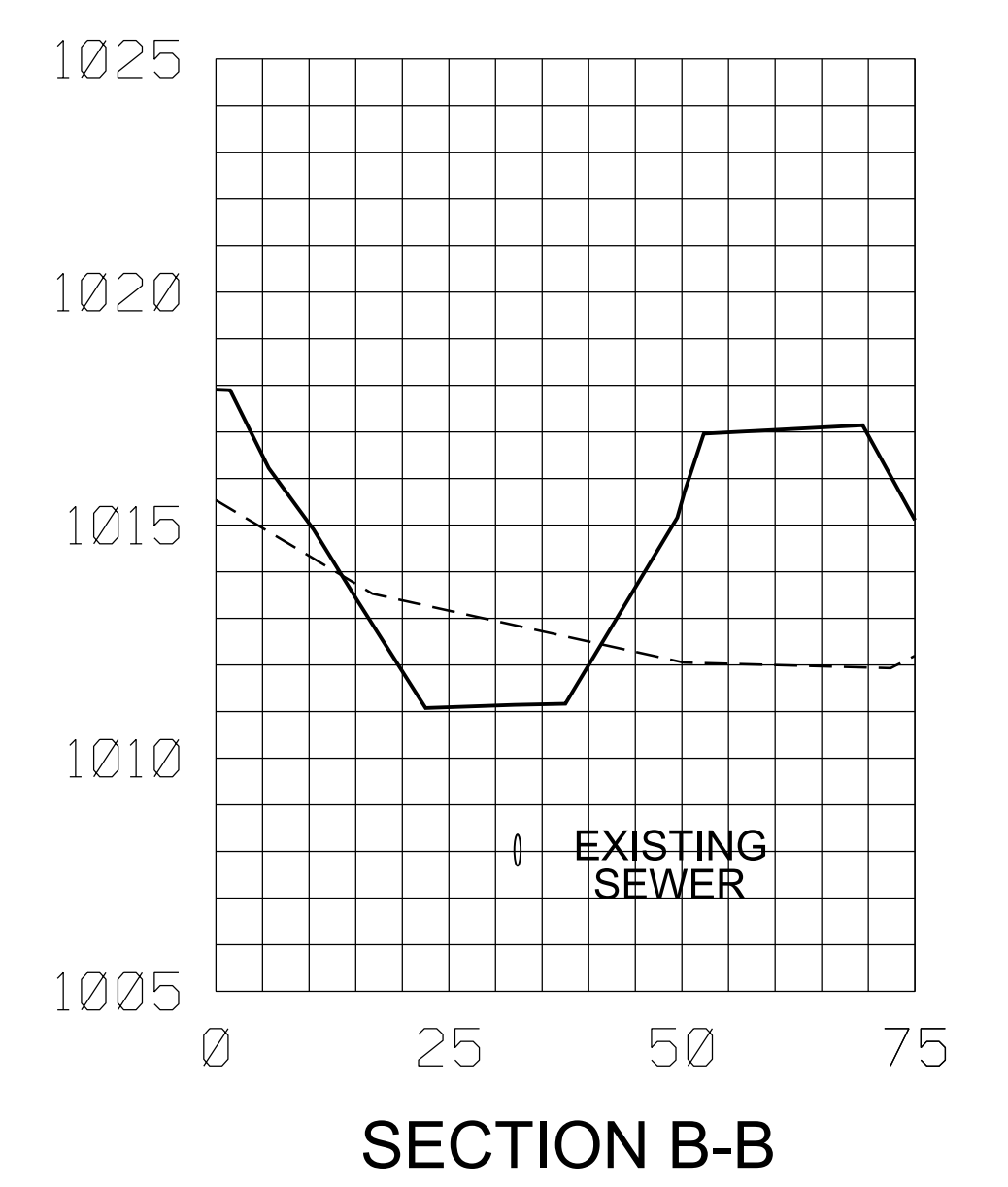
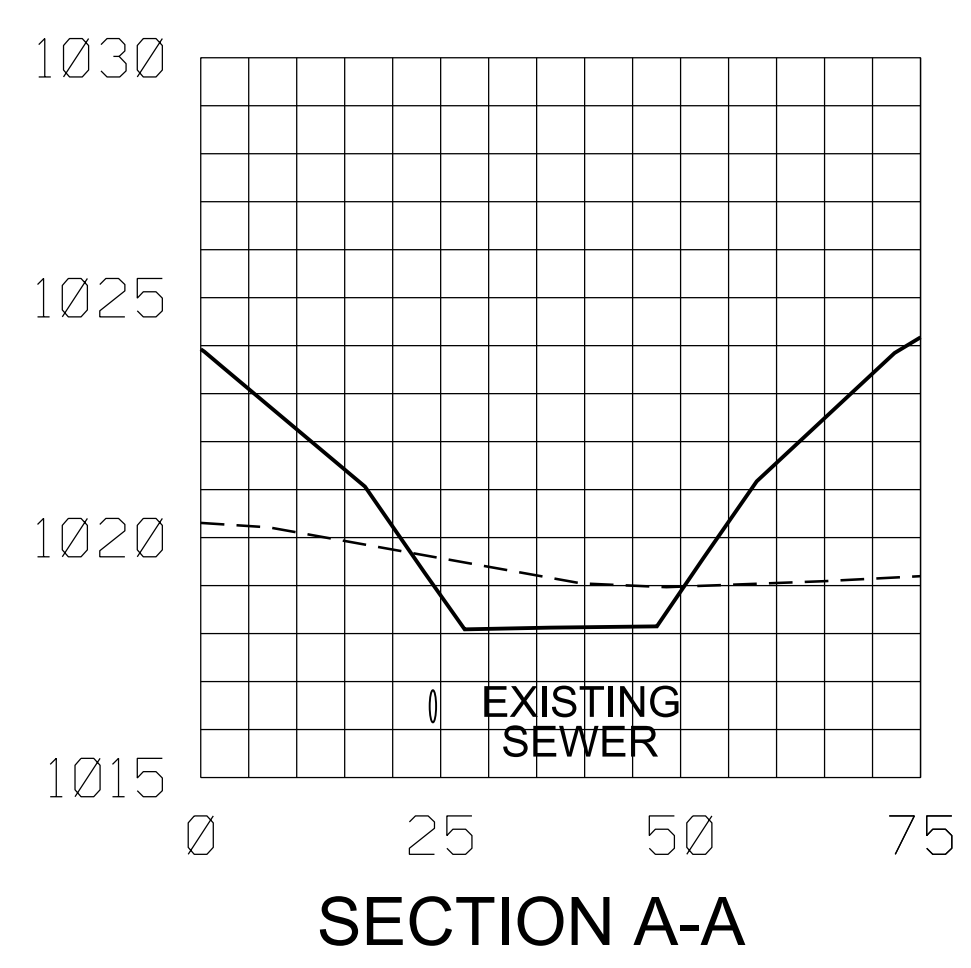
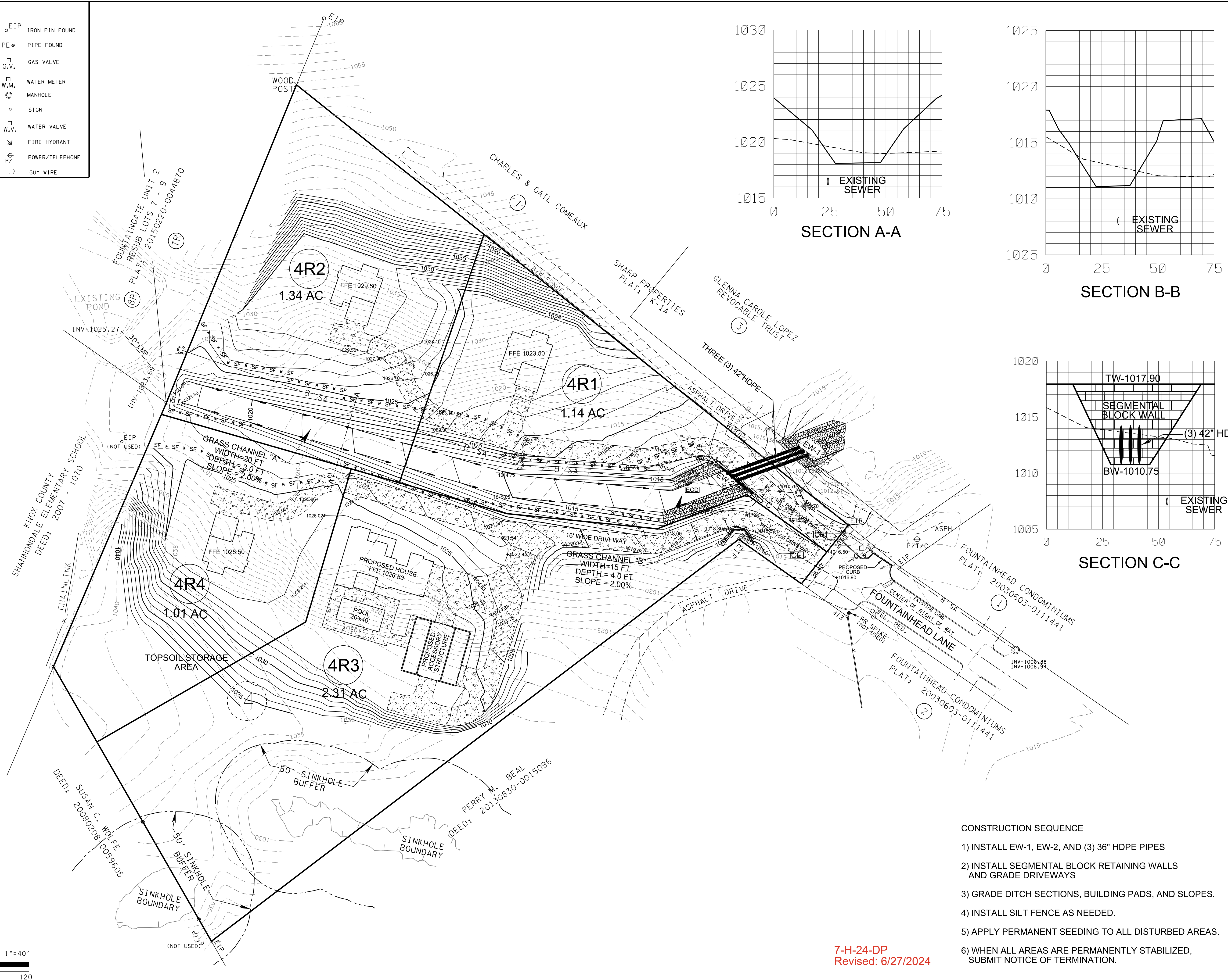
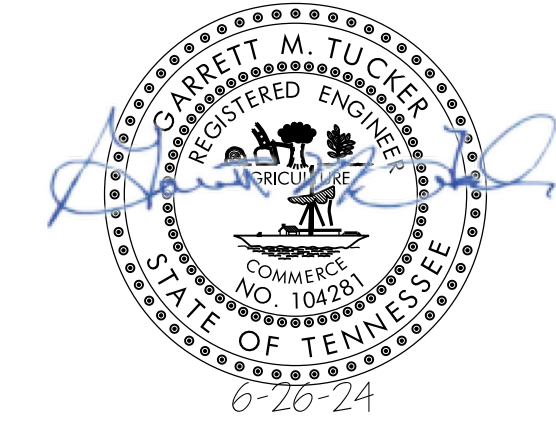
ROBERT G. CAMPBELL & ASSOC., L.P.
 CONSULTING ENGINEERS
 KNOXVILLE, TENNESSEE

FOUNTAINHEAD VILLAGE
 SITE DEVELOPMENT PLAN &
 STORMWATER POLLUTION PREVENTION PLAN (TNR 135902)

EXISTING SITE CONDITIONS
 SWPPP STAGE 1

DESIGNED BY GMT	CHECKED BY RGC	SCALE AS SHOWN	SHEET NO. 2 OF 4 SHEETS
DRAWN BY GMT	DATE 6-26-24	FILE NO. 18097	

LEGEND			
SF * SF * SF * SF	SILT FENCE	○ EIP	IRON PIN FOUND
□ CE	CONSTRUCTION EXIT	○ PIPE	PIPE FOUND
□ IP	STORM DRAIN INLET PROTECTION	□ G.V.	GAS VALVE
□ OP	STORM DRAIN OUTLET PROTECTION	□ W.M.	WATER METER
→	OVERLAND DRAINAGE PATTERN	□	MANHOLE
MA	EROSION CONTROL MATTING	⊥	SIGN
CD	ROCK CHECK DAM	□ W.V.	WATER VALVE
---	EXISTING GRADE	⊗	FIRE HYDRANT
—1150—	PROPOSED GRADE	⊕ P/T	POWER/TELEPHONE
		⋯	GUY WIRE



- CONSTRUCTION SEQUENCE**
- 1) INSTALL EW-1, EW-2, AND (3) 36" HDPE PIPES
 - 2) INSTALL SEGMENTAL BLOCK RETAINING WALLS AND GRADE DRIVEWAYS
 - 3) GRADE DITCH SECTIONS, BUILDING PADS, AND SLOPES.
 - 4) INSTALL SILT FENCE AS NEEDED.
 - 5) APPLY PERMANENT SEEDING TO ALL DISTURBED AREAS.
 - 6) WHEN ALL AREAS ARE PERMANENTLY STABILIZED, SUBMIT NOTICE OF TERMINATION.

7-H-24-DP
Revised: 6/27/2024

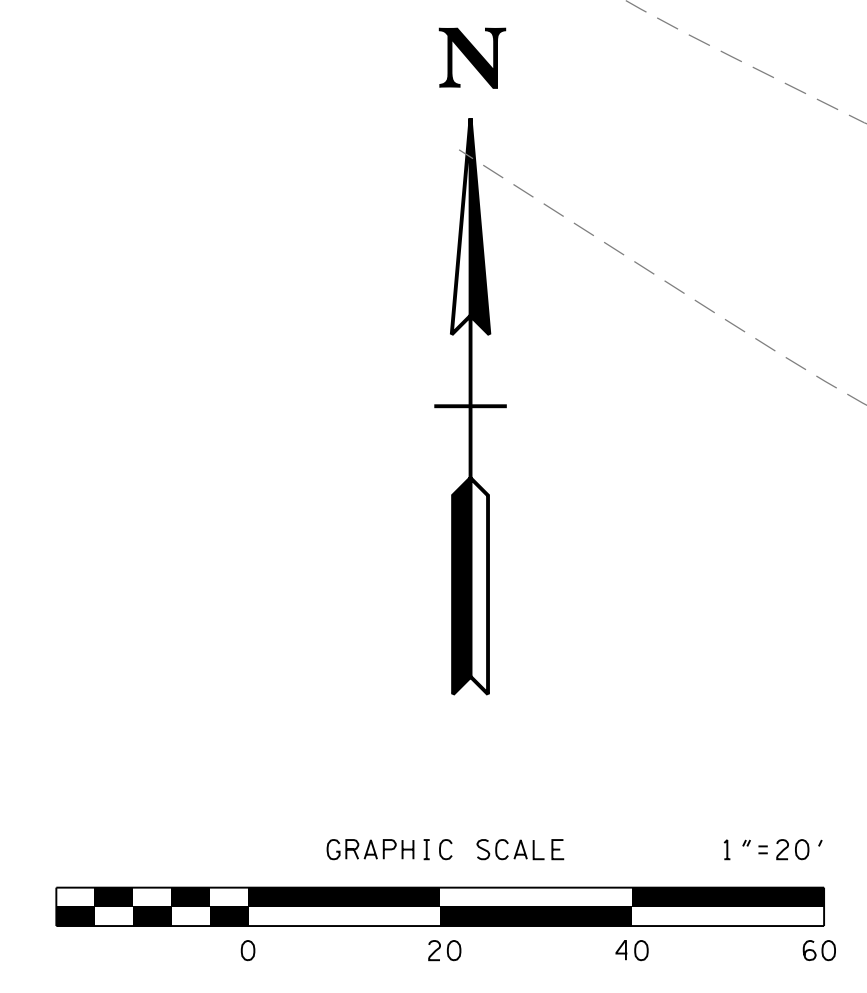
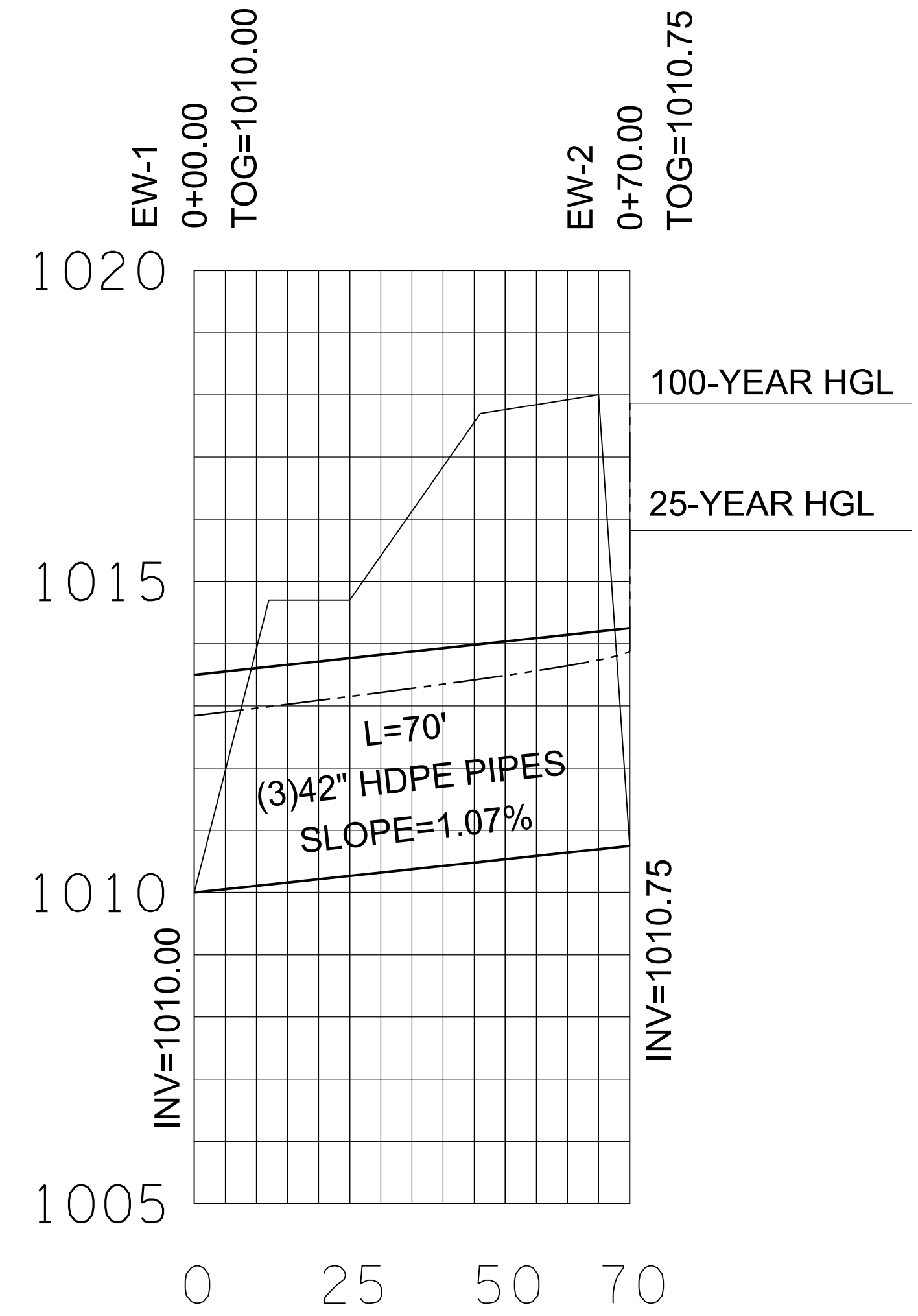
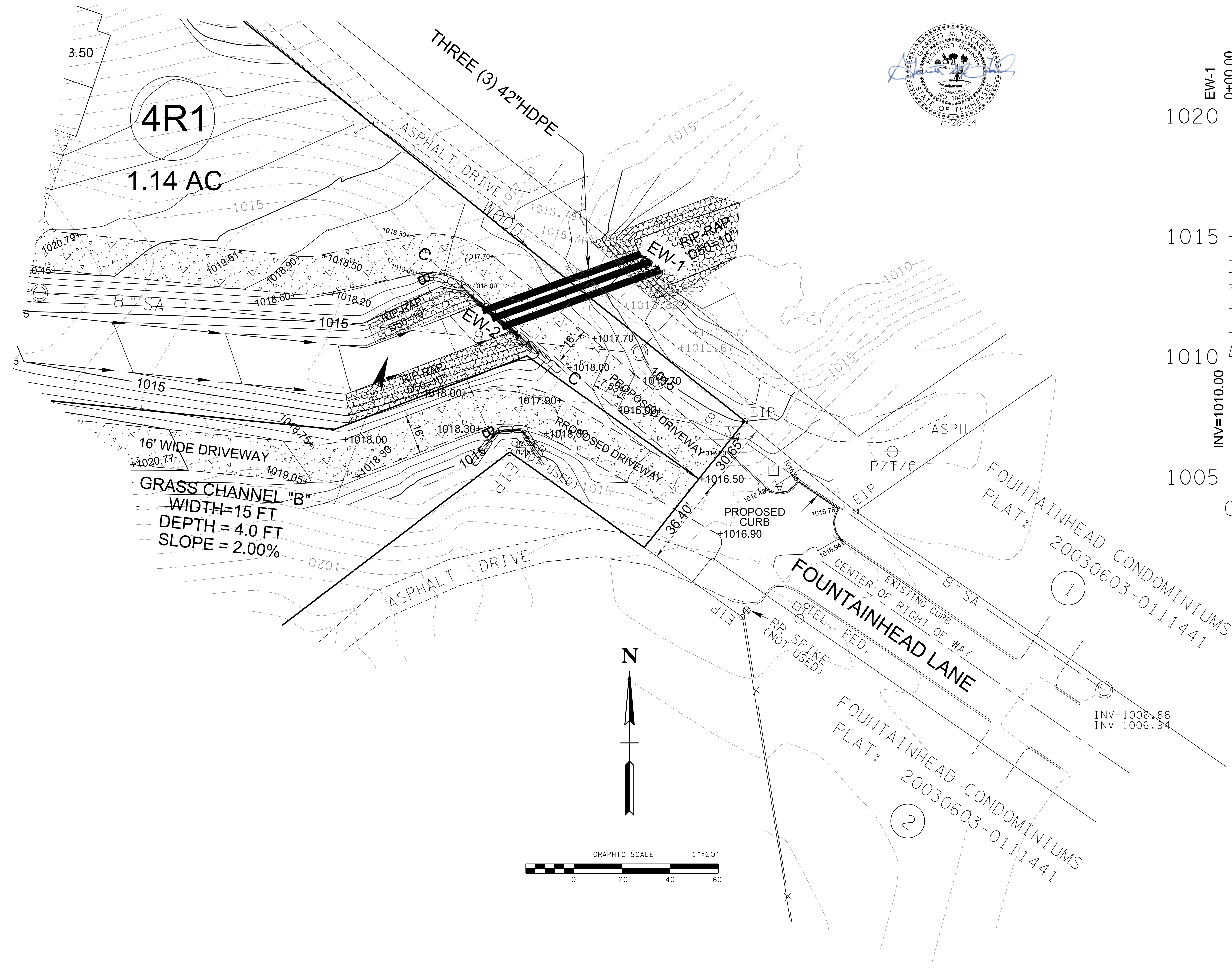
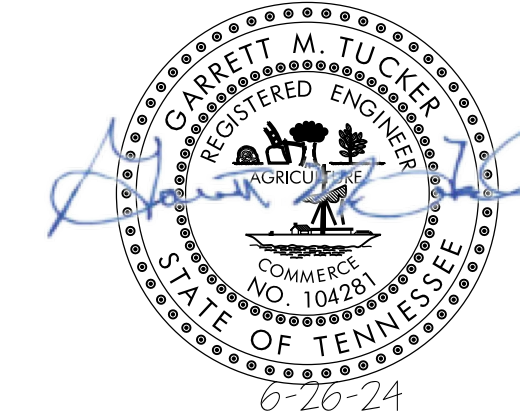
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		REVISIONS		

RGC&A
ROBERT G. CAMPBELL & ASSOC., L.P.
 CONSULTING ENGINEERS
 KNOXVILLE, TENNESSEE

FOUNTAINHEAD VILLAGE
 SITE DEVELOPMENT PLAN &
 STORMWATER POLLUTION PREVENTION PLAN (TNR 135902)

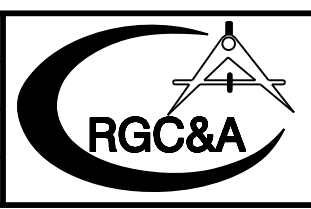
PROPOSED SITE CONDITIONS
SWPPP STAGE 2

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DRAWN BY GMT	DATE 6-26-24	FILE NO. 18097	



7-H-24-DP
Revised: 6/27/2024

NO.	DATE	DESCRIPTION	BY	CHKD.



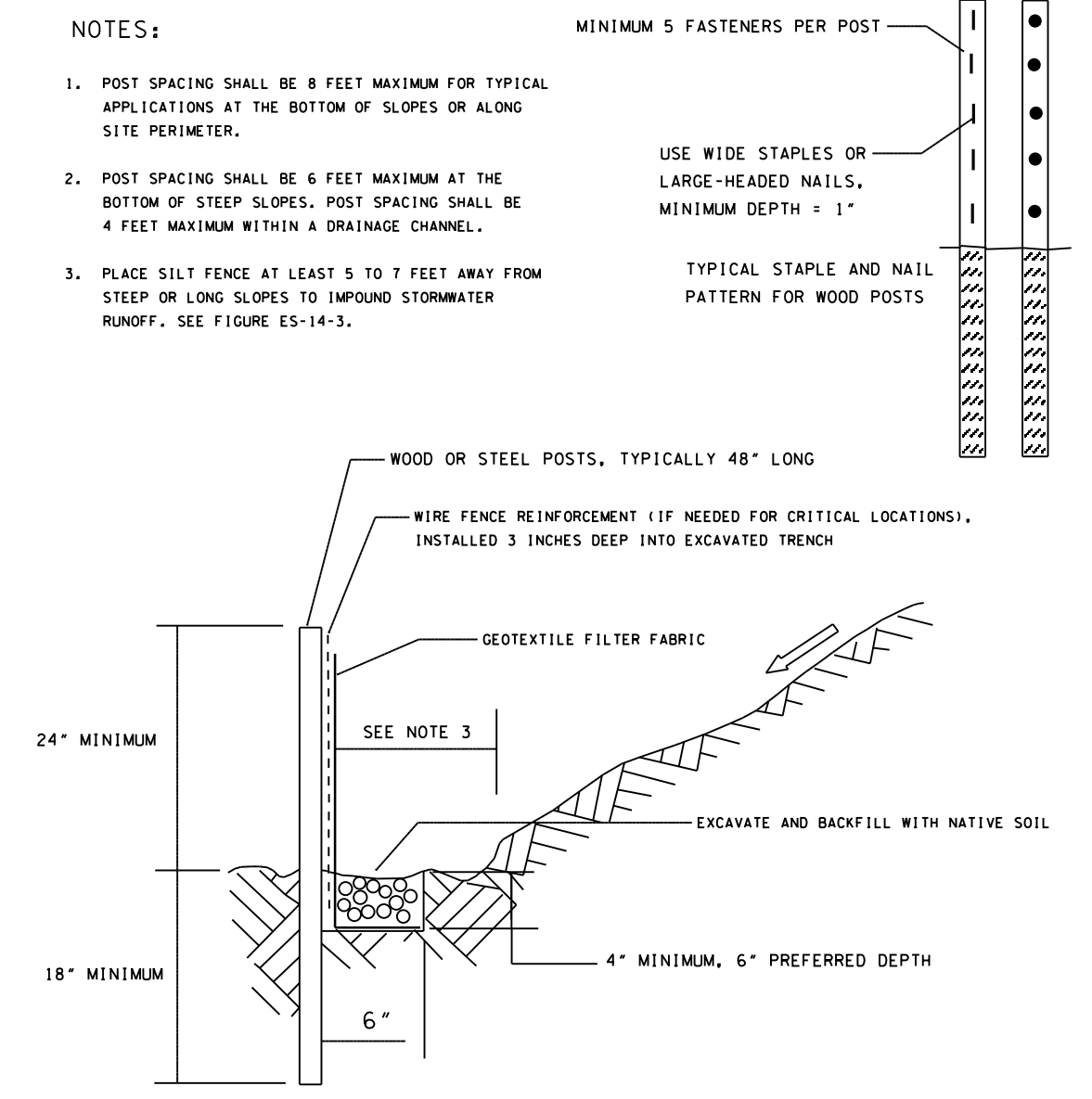
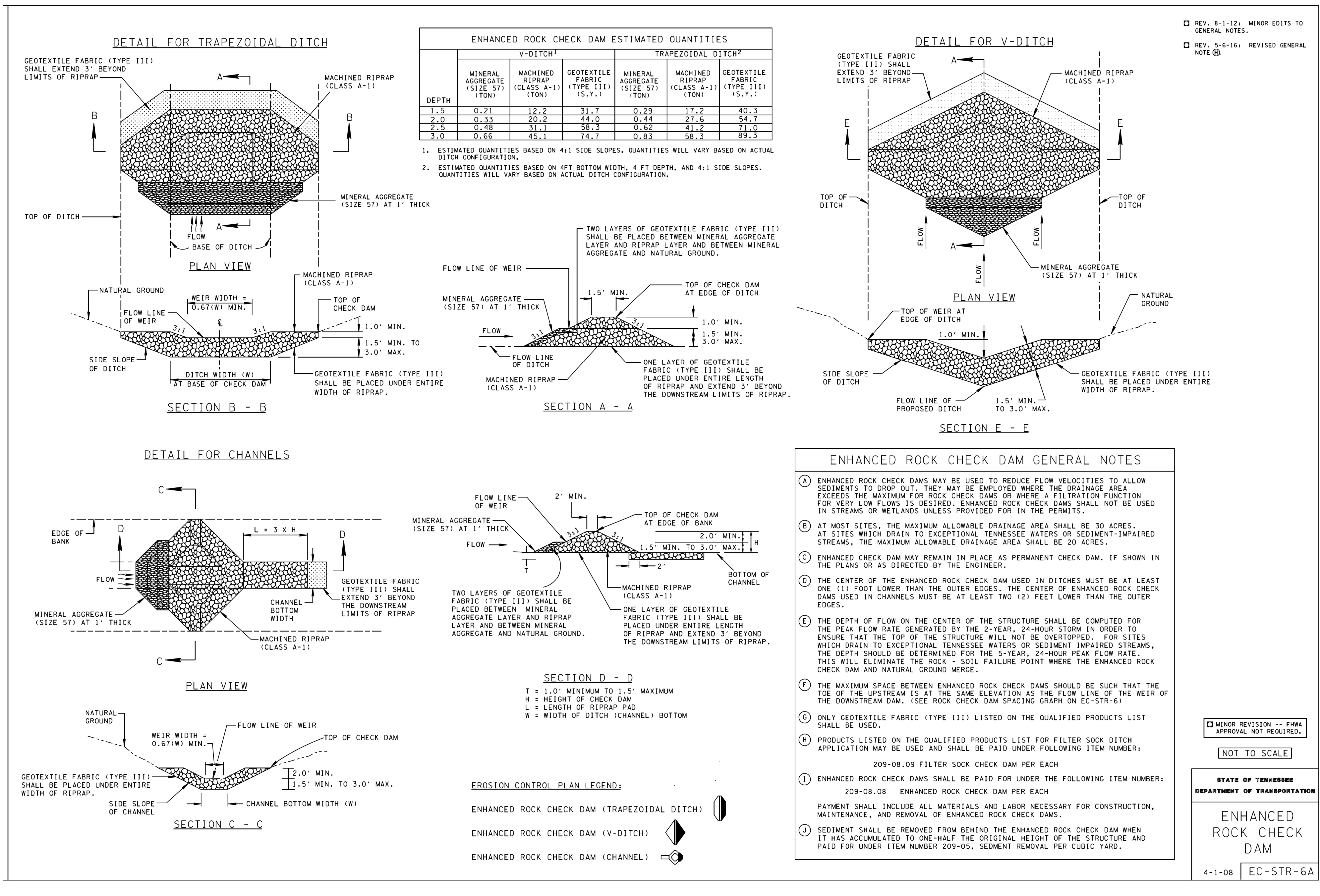
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CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

FOUNTAINHEAD VILLAGE
SITE DEVELOPMENT PLAN &
STORMWATER POLLUTION PREVENTION PLAN (TNR 135902)

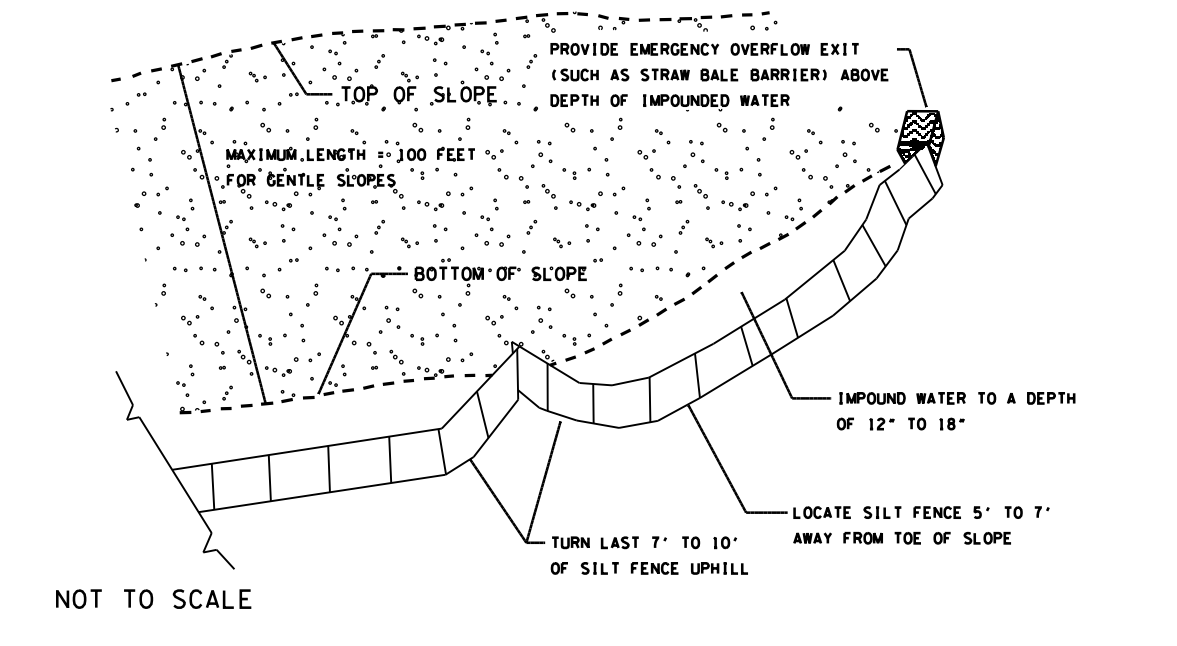
SITE GRADING DETAILS

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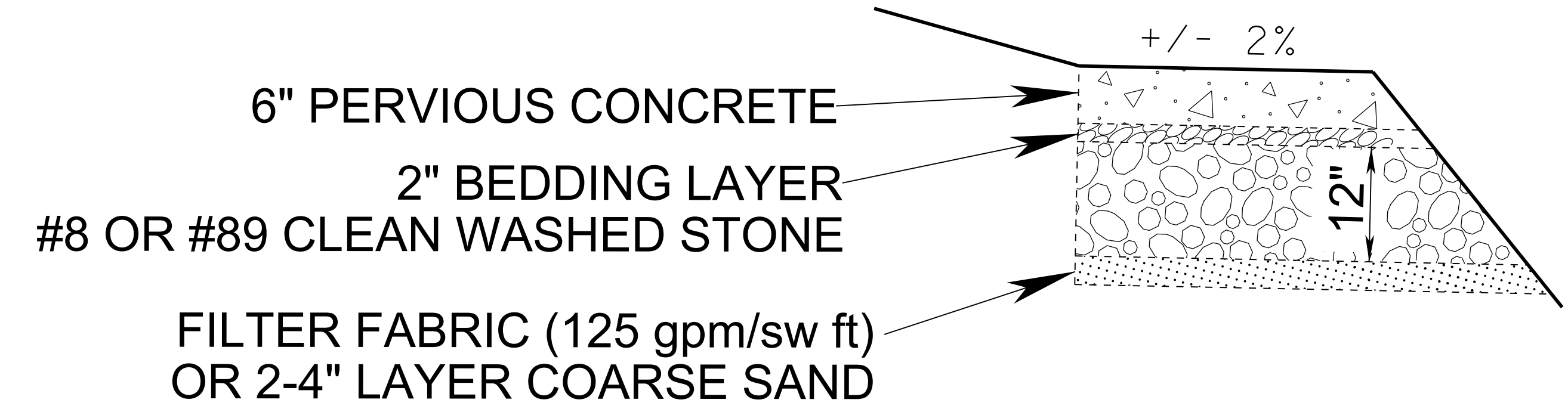
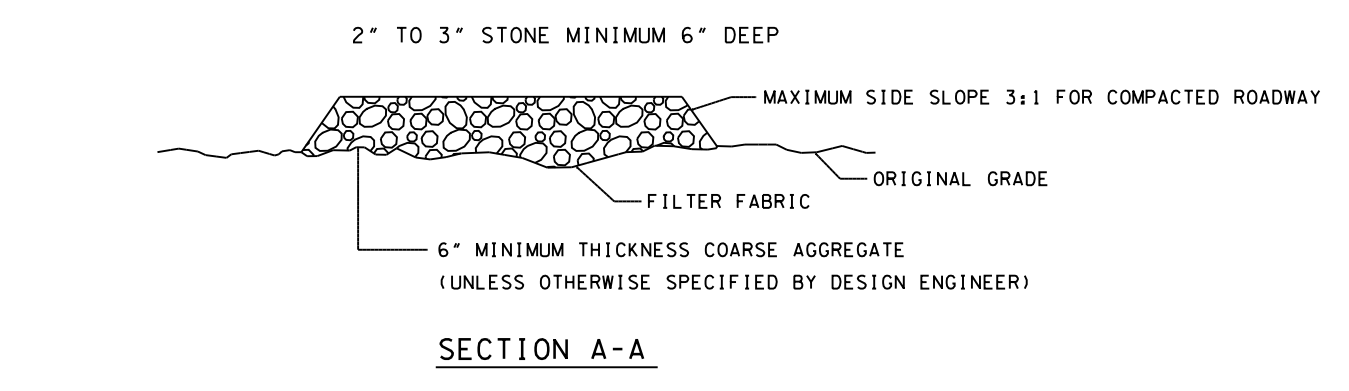
SHEET NO. **4**
OF 5 SHEETS



TYPICAL SILT FENCE INSTALLATION



SILT FENCE (BELOW A STEEP OR LONG SLOPE)



TYPICAL PERVIOUS CONCRETE DRIVEWAY

ENHANCED ROCK CHECK DAM GENERAL NOTES

(A) ENHANCED ROCK CHECK DAMS MAY BE USED TO REDUCE FLOW VELOCITIES TO ALLOW SEDIMENTS TO DROP OUT. THEY MAY BE EMPLOYED WHERE THE DRAINAGE AREA EXCEEDS THE MAXIMUM FOR ROCK CHECK DAMS OR WHERE A FILTRATION FUNCTION FOR VERY LOW FLOWS IS DESIRED. ENHANCED ROCK CHECK DAMS SHALL NOT BE USED IN STREAMS OR WETLANDS UNLESS PROVIDED FOR IN THE PERMITS.

(B) AT MOST SITES, THE MAXIMUM ALLOWABLE DRAINAGE AREA SHALL BE 30 ACRES. AT SITES WHICH DRAIN TO EXCEPTIONAL TENNESSEE WATERS OR SEDIMENT-IMPAIRED STREAMS, THE MAXIMUM ALLOWABLE DRAINAGE AREA SHALL BE 20 ACRES.

(C) ENHANCED CHECK DAM MAY REMAIN IN PLACE AS PERMANENT CHECK DAM. IF SHOWN IN THE PLANS OR AS DIRECTED BY THE ENGINEER.

(D) THE CENTER OF THE ENHANCED ROCK CHECK DAM USED IN DITCHES MUST BE AT LEAST ONE (1) FOOT LOWER THAN THE OUTER EDGES. THE CENTER OF ENHANCED ROCK CHECK DAMS USED IN CHANNELS MUST BE AT LEAST TWO (2) FEET LOWER THAN THE OUTER EDGES.

(E) THE DEPTH OF FLOW ON THE CENTER OF THE STRUCTURE SHALL BE COMPUTED FOR THE PEAK FLOW RATE GENERATED BY THE 2-YEAR, 24-HOUR STORM IN ORDER TO ENSURE THAT THE TOP OF THE STRUCTURE WILL NOT BE OVERTOPPED. FOR SITES WHICH DRAIN TO EXCEPTIONAL TENNESSEE WATERS OR SEDIMENT-IMPAIRED STREAMS, THE DEPTH SHOULD BE DETERMINED FOR THE 5-YEAR, 24-HOUR PEAK FLOW RATE. THIS WILL ELIMINATE THE ROCK-SOIL FAILURE POINT WHERE THE ENHANCED ROCK CHECK DAM AND NATURAL GROUND MERGE.

(F) THE MAXIMUM SPACE BETWEEN ENHANCED ROCK CHECK DAMS SHOULD BE SUCH THAT THE TOE OF THE UPSTREAM IS AT THE SAME ELEVATION AS THE FLOW LINE OF THE WEIR OF THE DOWNSTREAM DAM. (SEE ROCK CHECK DAM SPACING GRAPH ON EC-STR-6)

(G) ONLY GEOTEXTILE FABRIC (TYPE III) LISTED ON THE QUALIFIED PRODUCTS LIST SHALL BE USED.

(H) PRODUCTS LISTED ON THE QUALIFIED PRODUCTS LIST FOR FILTER SOCK DITCH APPLICATION MAY BE USED AND SHALL BE PAID UNDER FOLLOWING ITEM NUMBER:
209-08.09 FILTER SOCK CHECK DAM PER EACH

(I) ENHANCED ROCK CHECK DAMS SHALL BE PAID FOR UNDER THE FOLLOWING ITEM NUMBER:
209-08.08 ENHANCED ROCK CHECK DAM PER EACH

PAYMENT SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY FOR CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ENHANCED ROCK CHECK DAMS.

(J) SEDIMENT SHALL BE REMOVED FROM BEHIND THE ENHANCED ROCK CHECK DAM WHEN IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE STRUCTURE AND PAID FOR UNDER ITEM NUMBER 209-05, SEDIMENT REMOVAL PER CUBIC YARD.

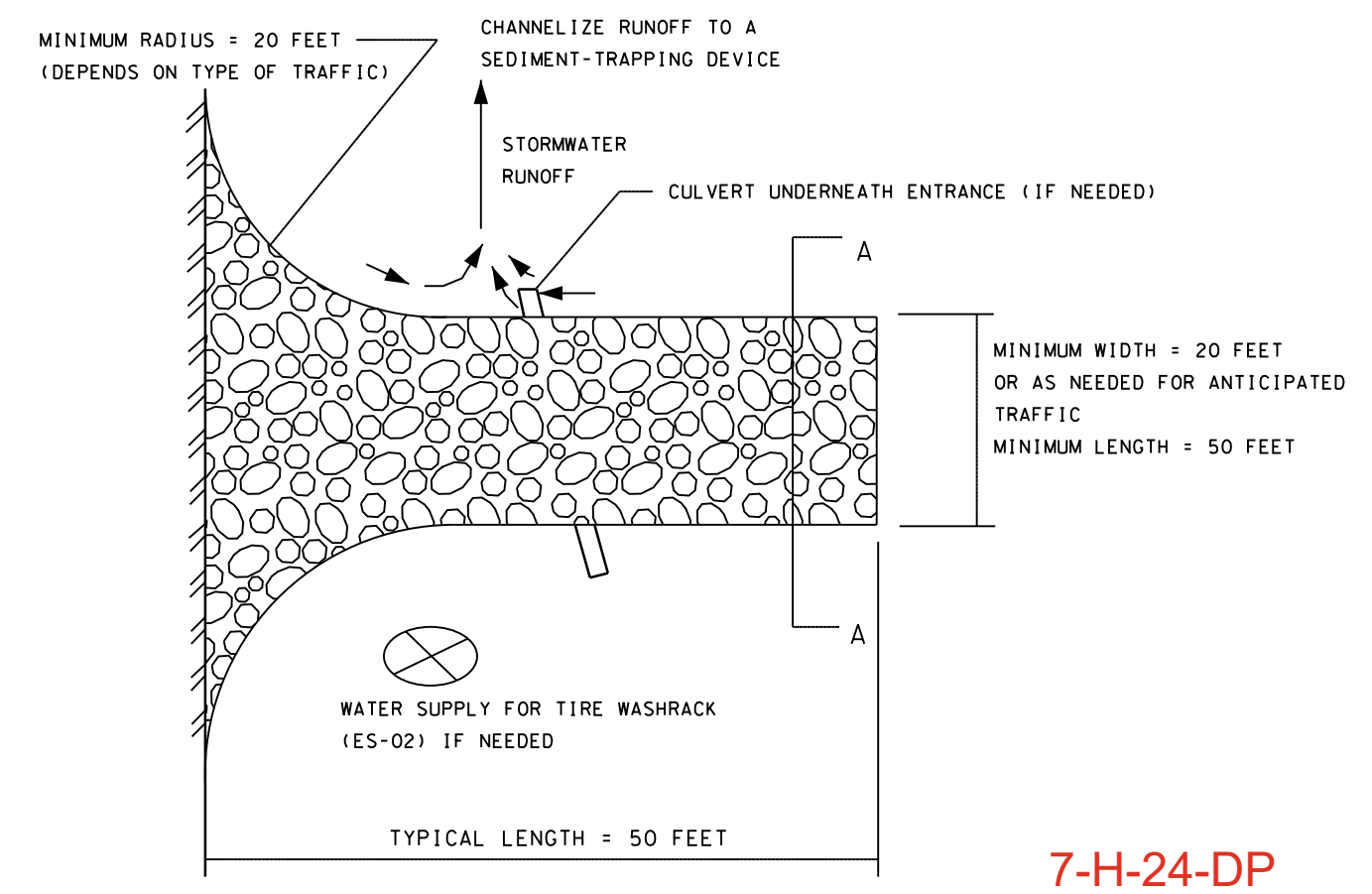
MINOR REVISION -- FHWA APPROVAL NOT REQUIRED.

NOT TO SCALE

STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION

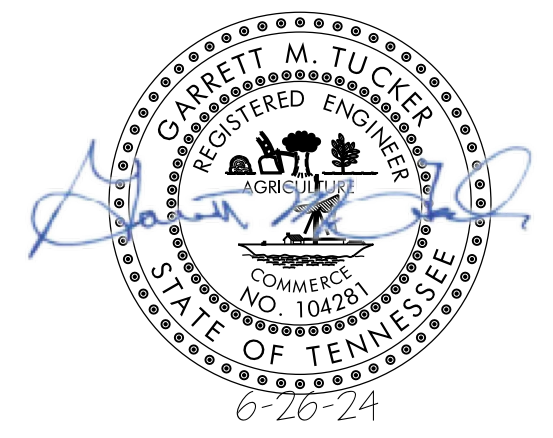
ENHANCED ROCK CHECK DAM

4-1-08 EC-STR-6A



CONSTRUCTION EXIT DETAIL

7-H-24-DP
Revised: 6/27/2024



NO.	DATE	DESCRIPTION	BY	CKD.
		REVISIONS		

ROBERT G. CAMPBELL & ASSOC., L.P.
CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

BACKROAD AT FOUNTAINHEAD
SITE DEVELOPMENT PLAN &
STORMWATER POLLUTION PREVENTION PLAN (TNR 135902)

DETAILS

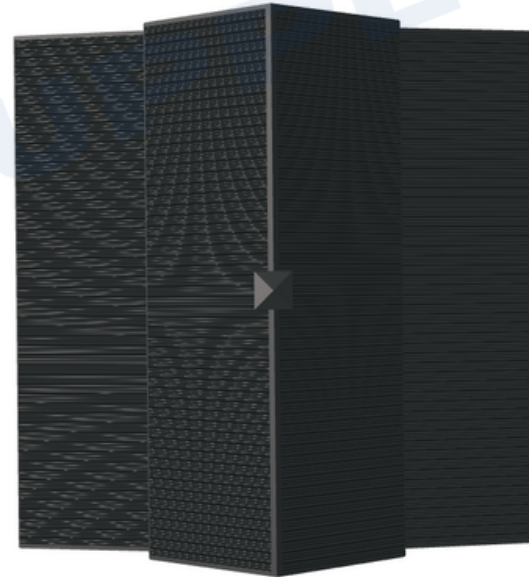
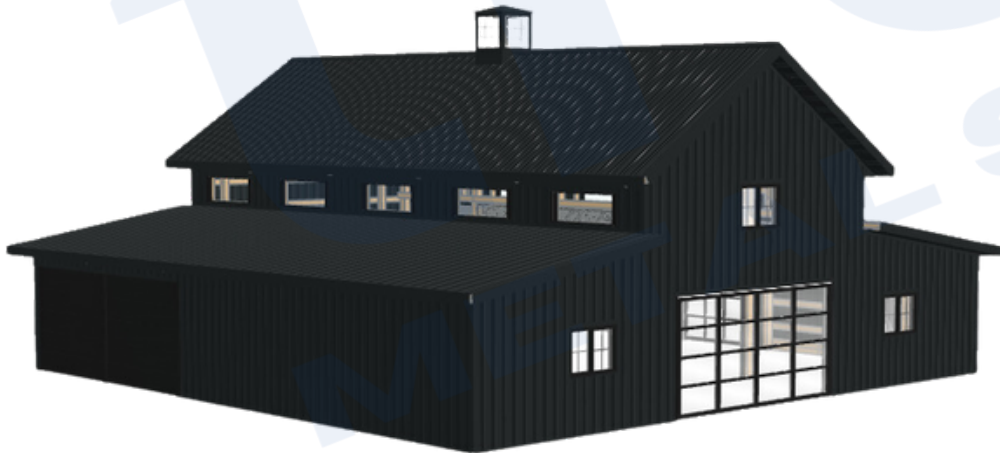
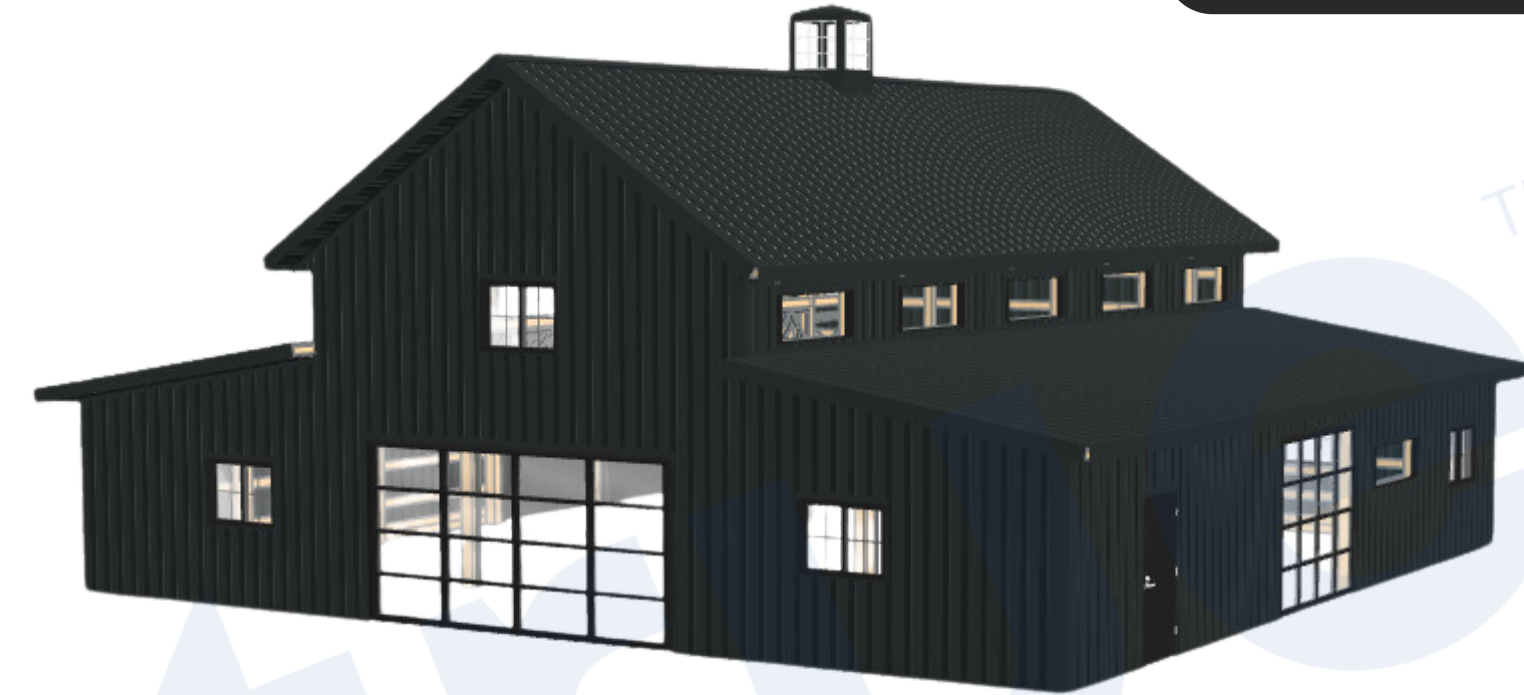
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GMT	RGC	NO SCALE	NO. 5
DRAWN BY	DATE	FILE NO.	OF
GMT	6-26-24	18097	5 SHEETS

[View 3D Model](#)

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(865) 224-3055
truemetalsupply.com

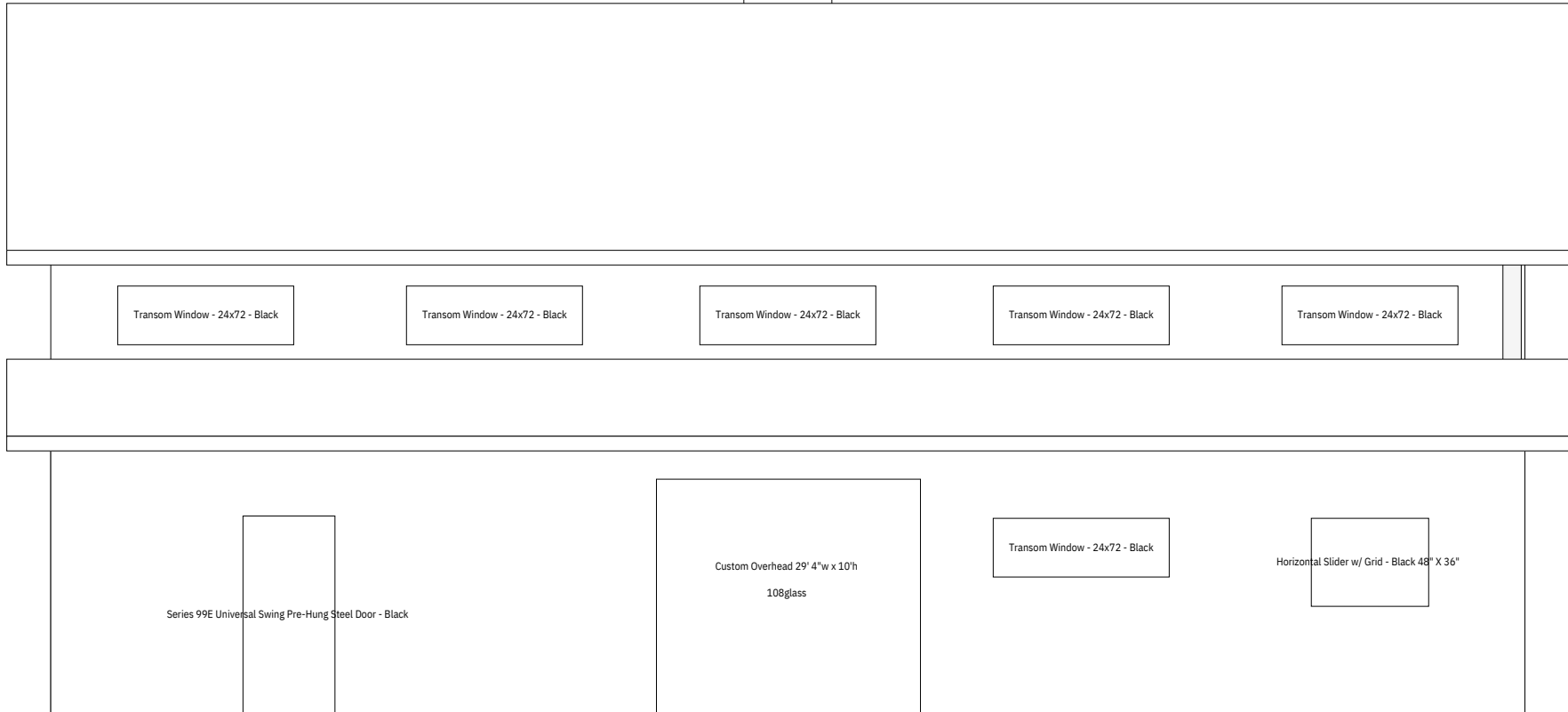
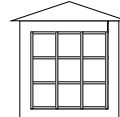
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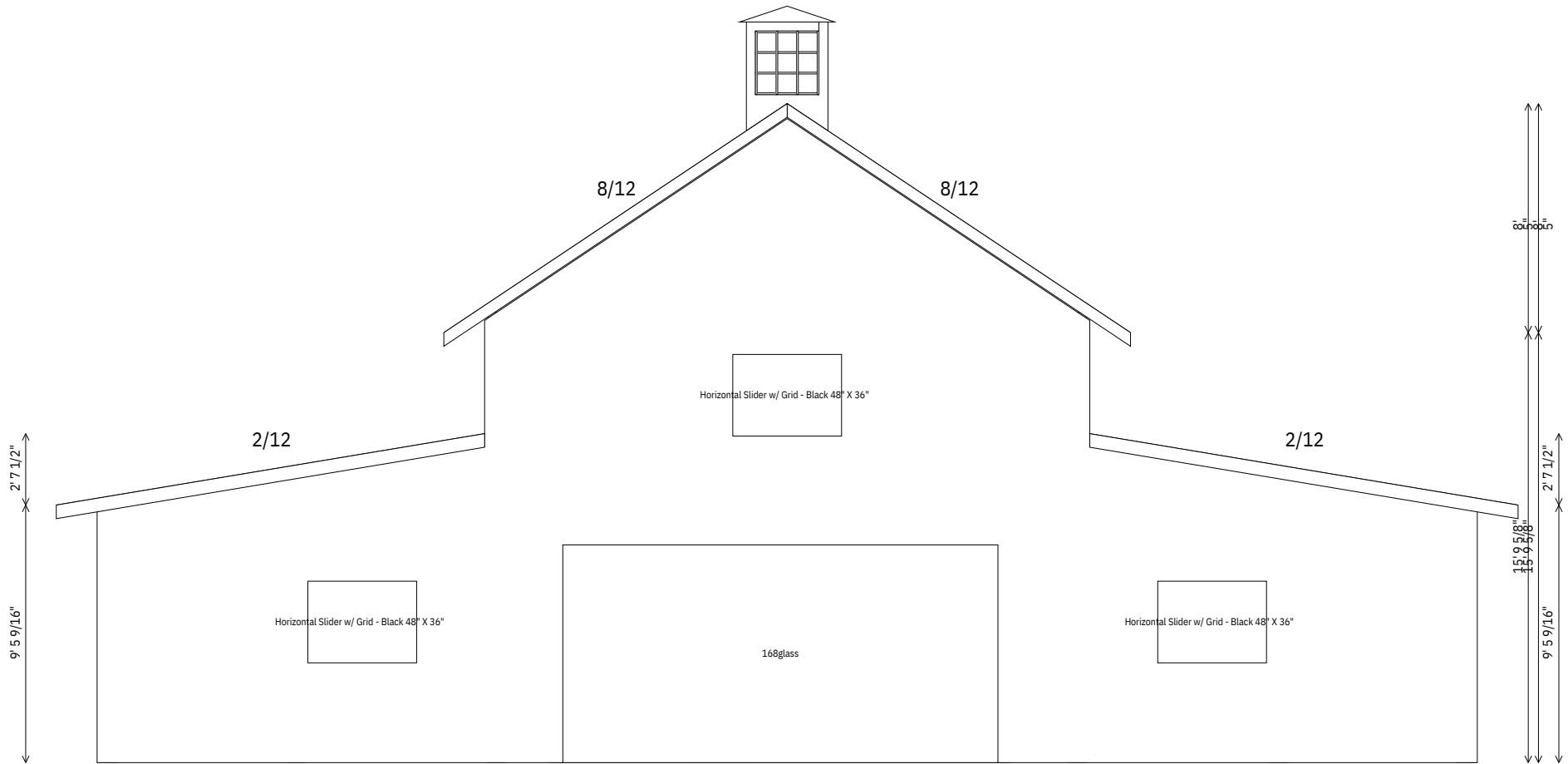
7-H-24-DP
Revised: 6/27/2024

TIM WELLS

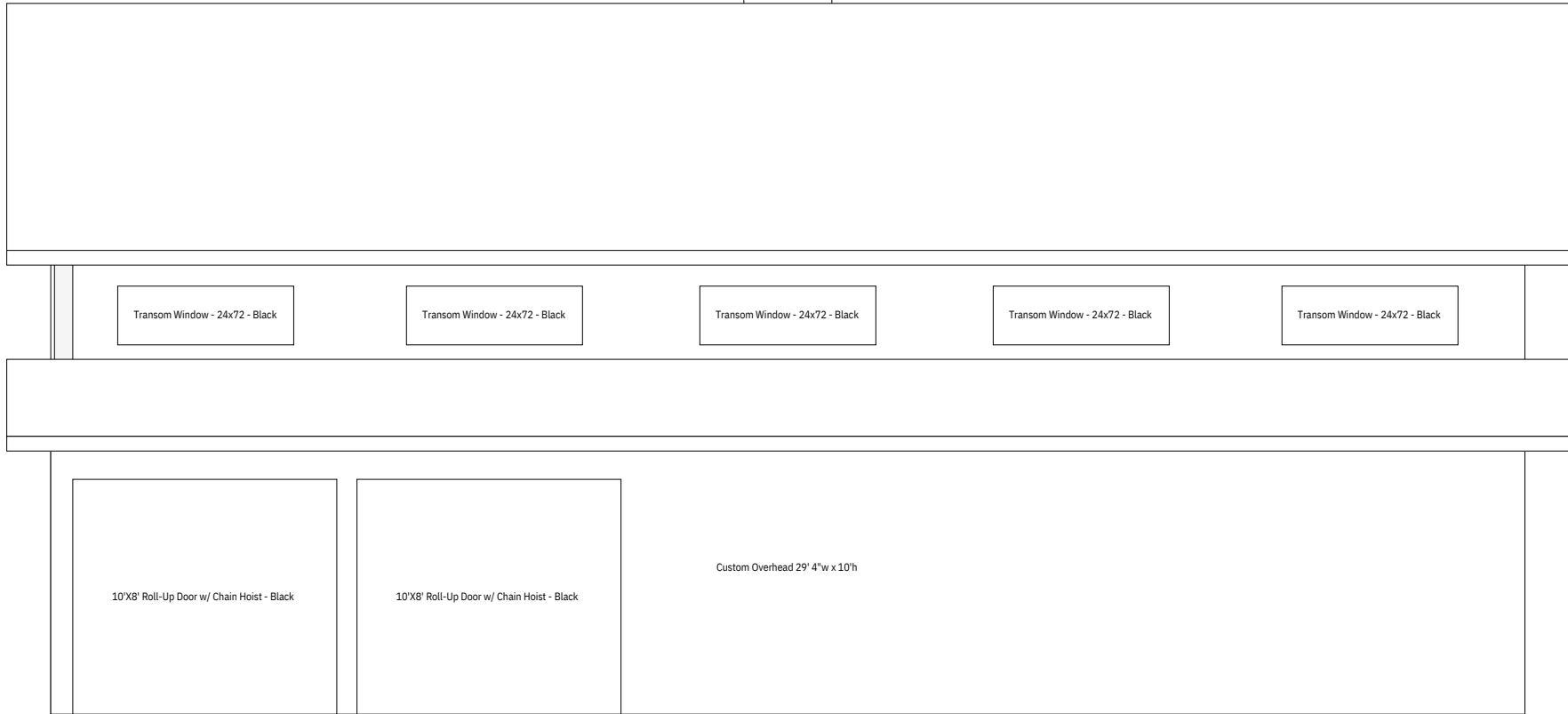
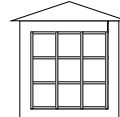
Left Elevation



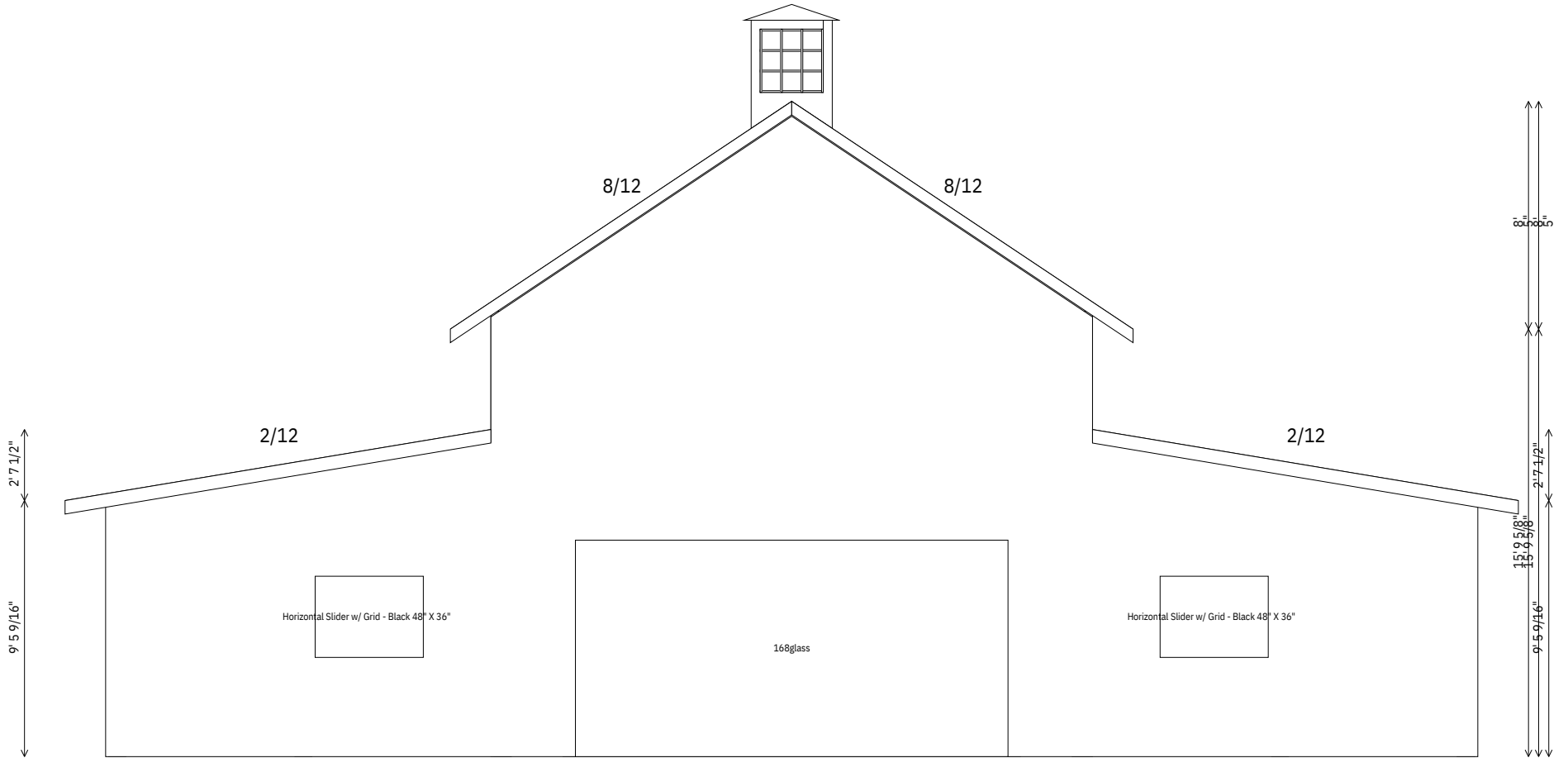
Front Elevation



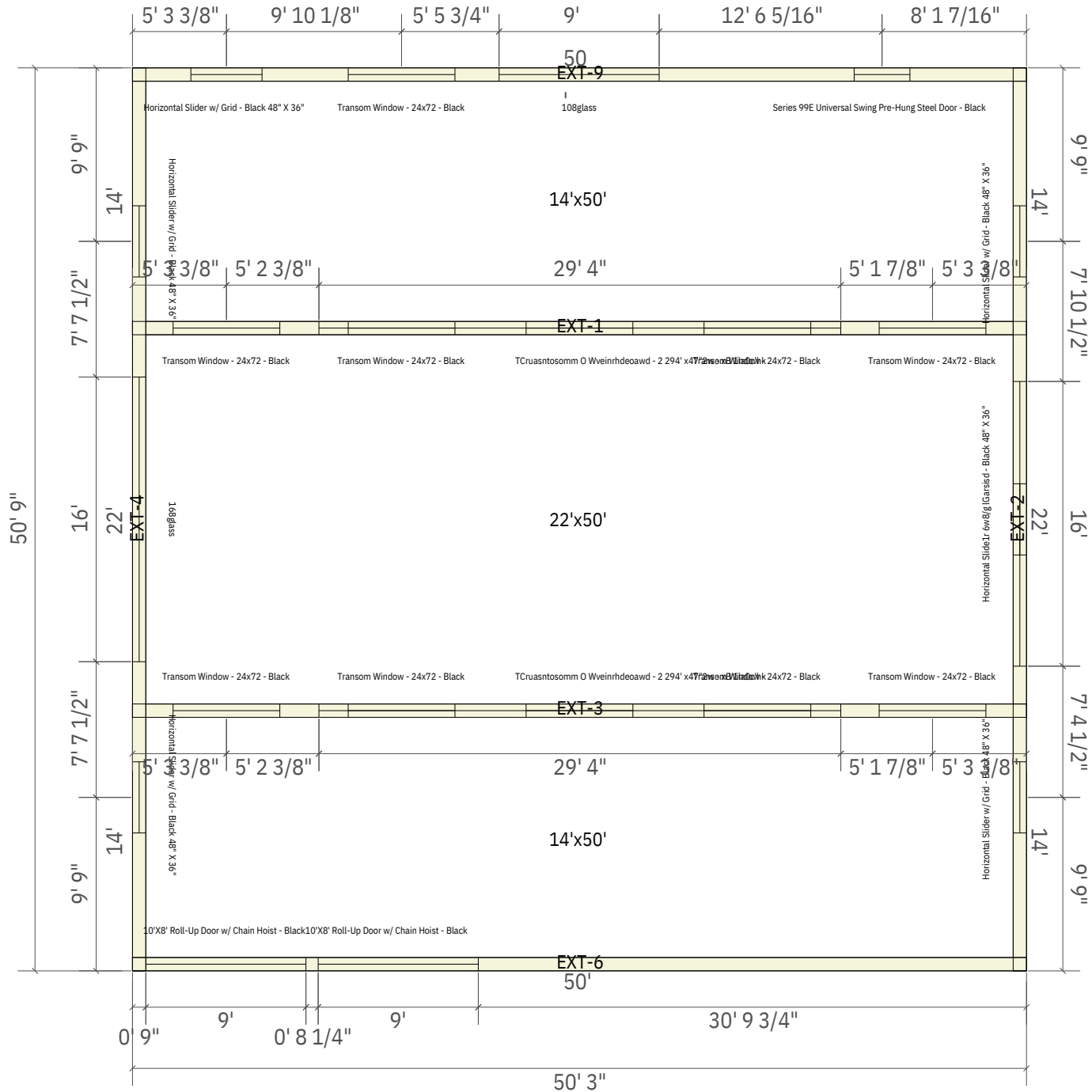
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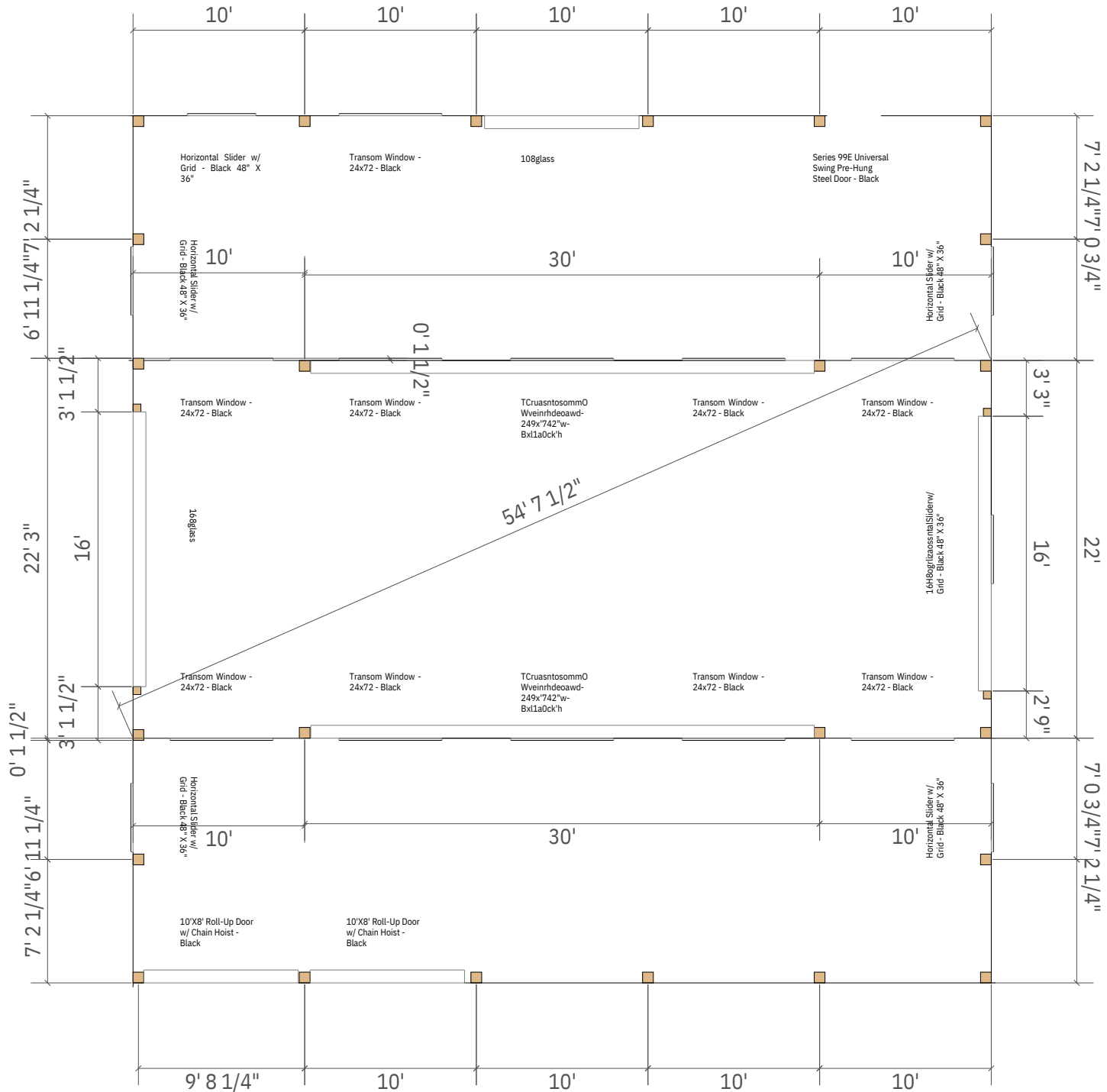
Back Elevation



Wall Layout



Post Layout

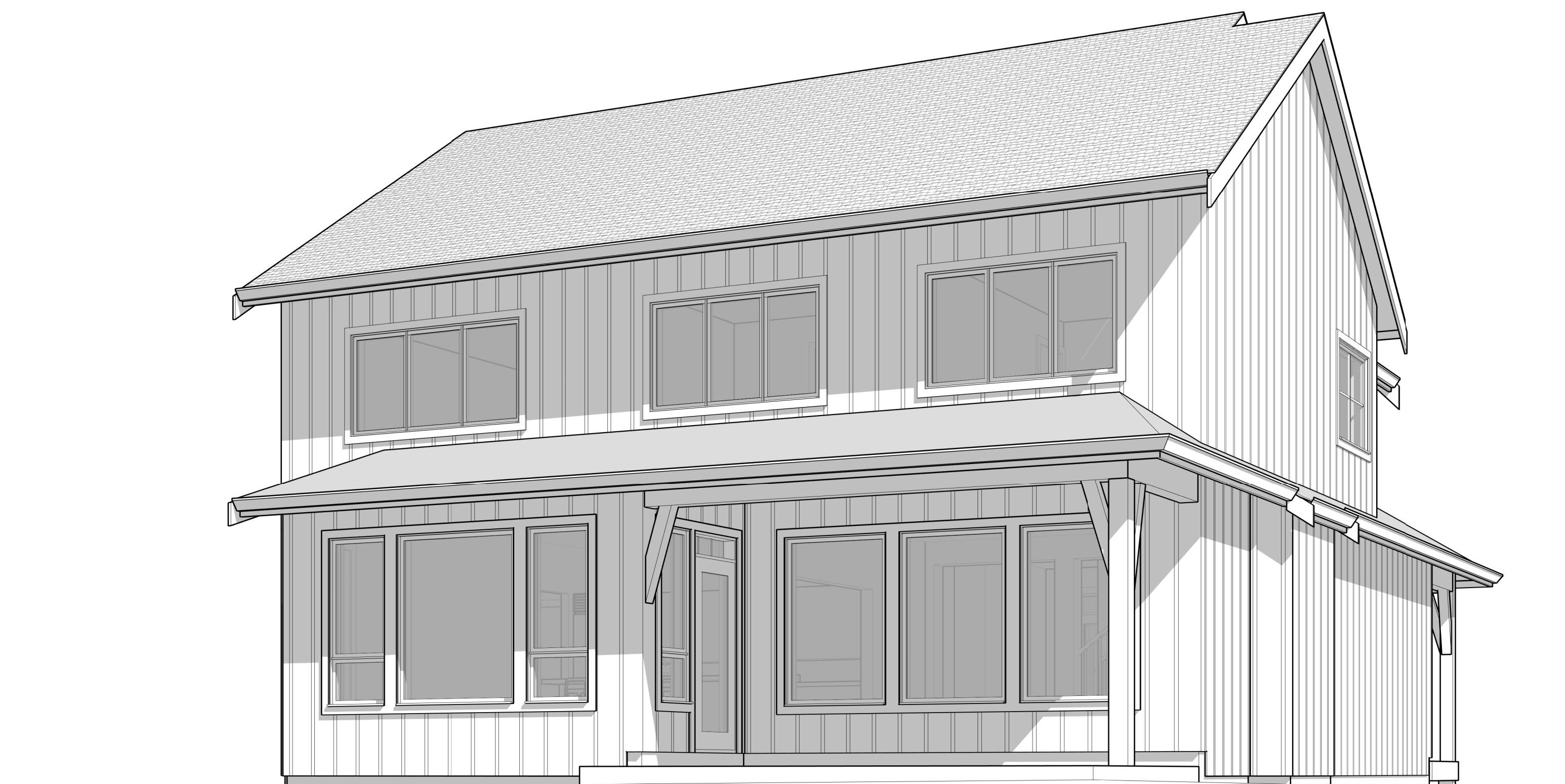


7-H-24-DP
Revised: 6/27/2024

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FRONT VIEW



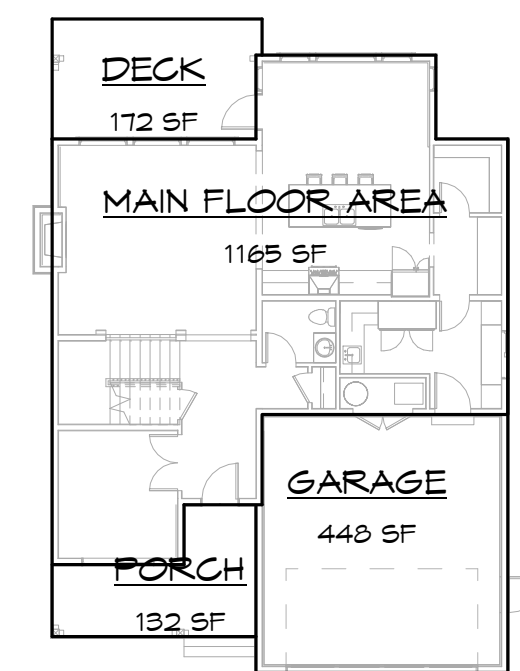
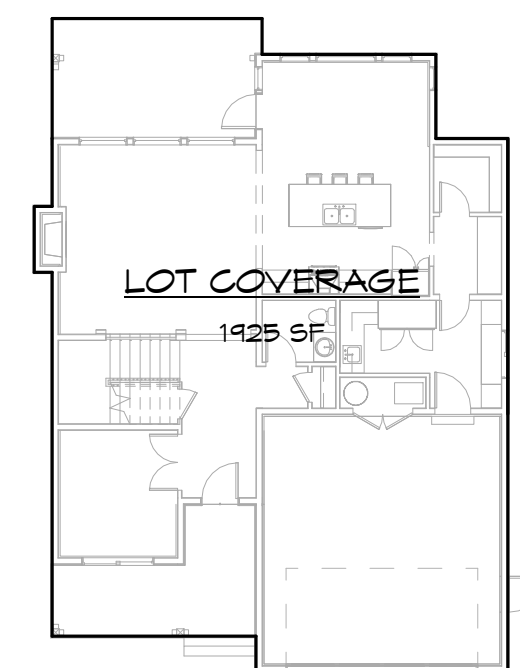
REAR-LEFT VIEW

DRAWING INDEX	
SHEET	DRAWING TITLE
A1.0	TITLE SHEET
A2.0	FND/MAIN FLOOR PLAN
A2.2	UPPER FLOOR/ROOF PLAN
A3.0	ELEVATIONS
A3.1	ELEVATIONS/SECTIONS
A4.0	SECTIONS/DETAILS

REVISIONS

GENERAL NOTES

- CONTRACTOR TO ASSURE ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL BUILDING CODE. BEAM SIZING, SPANS AND BEARING POINTS TO BE VERIFIED AND REVIEWED
- ANY DISCREPANCIES ON PLANS TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCING WORK
- ALL WINDOWS TO BE VINYL FRAME, DOUBLE GLAZED
- PROVIDE RAINSCREEN BEHIND ALL EXTERIOR GLADDING AS REQUIRED ACCORDING TO BE LOCAL BUILDING CODE
- ALL EXTERIOR FOUNDATION WALLS MUST BE DAMPROOFED
- ALL FOUNDATION WALLS & FOOTINGS TO BE IN COMPLIANCE WITH THE LOCAL BUILDING CODE
- ASSURE ALL PAD FOOTING SIZES ARE OF ADEQUATE SIZE ACCORDING TO THE LOCAL BUILDING CODE
- ALL BEARING POINTS IN BEARING WALLS TO BE SOLID STUDDING
- PROVIDE BEAM POCKETS IN FOUNDATION WHERE REQUIRED
- ALL OPENINGS IN STRUCTURAL WALLS (OVER WINDOWS/DOORS) TO HAVE STRUCTURAL HEADER ABOVE
- ALL WOOD USED IS TO BE S.P.F. KD. NO. 142 OR BETTER
- ALL FLOOR JOISTS TO BE NAILED AND GLUED TO SUBFLOOR IV/ BRIDGING WHERE NECESSARY ACCORDING TO THE LOCAL BUILDING CODE
- ALL EXTERIOR DOORS - METAL INSULATED, PAINTED (U.N.O.)



GEODETTIC HEIGHTS

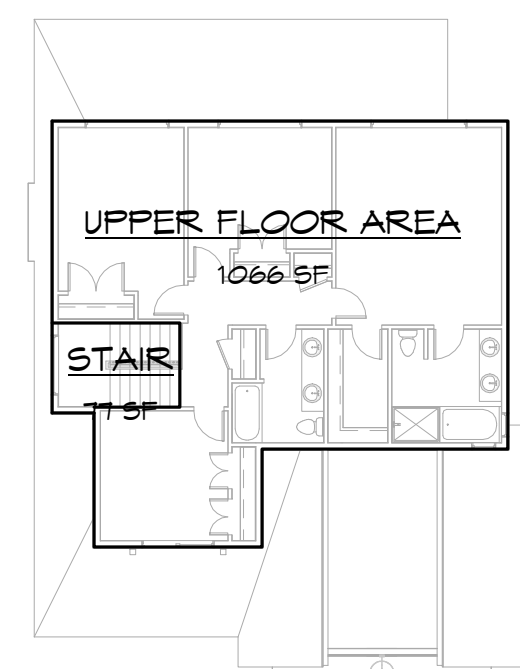
ROOF PEAK	39.21 m
ROOF MEAN	37.50 m
T.O. UPPER FLR.	33.49 m
T.O. MAIN FLR.	30.48 m
T.O. GARAGE SLAB @ ENTRY	30.02 m

PROJECT SYNOPSIS

T.O. MAIN FLR.	
MAIN FLOOR AREA	1165 SF
GARAGE	448 SF
	1613 SF

T.O. UPPER FLR.	
UPPER FLOOR AREA	1066 SF
TOTAL FLOOR AREA	2679 SF

PROPOSED HEIGHT: 30' - 1 5/8"



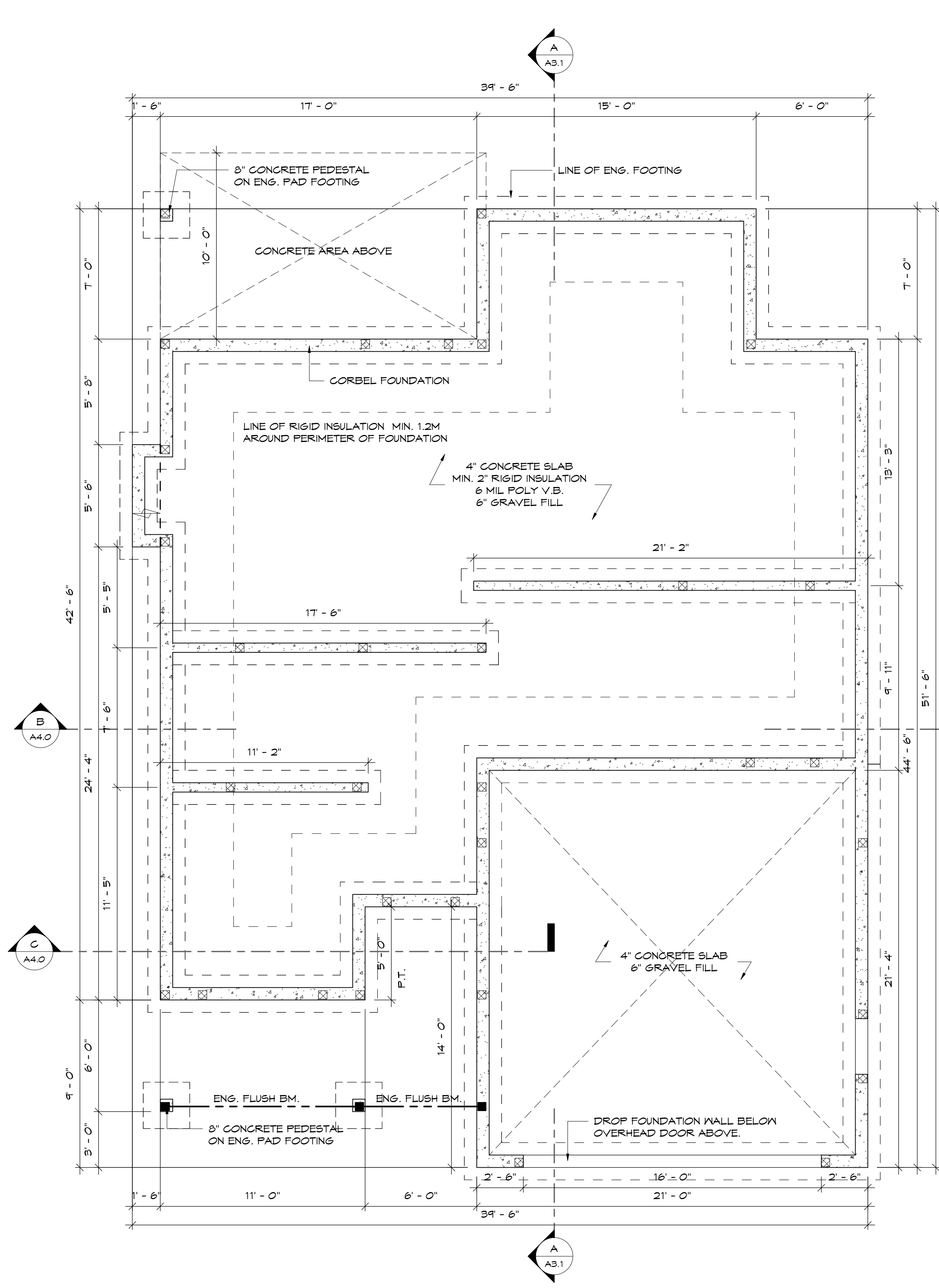
WOODLAND

**SU CASA
DESIGN**

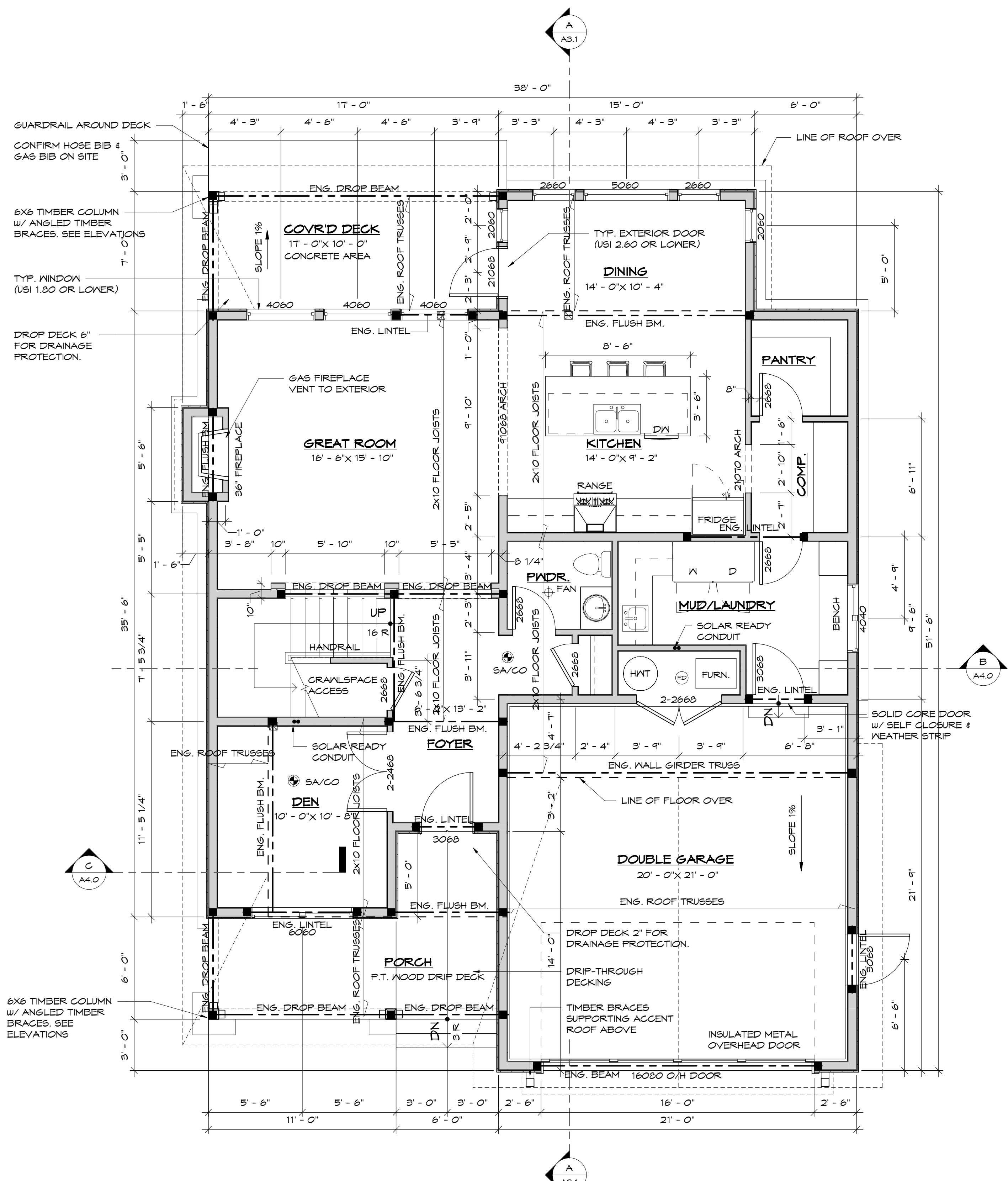
EMAIL: INFO@SUCASADESIGN.CA

ADDRESS: 2648 MONTROSE AVE. ABBOTSFORD, B.C. TEL: (604) 864-4303

PROJECT	
TITLE SHEET	
SCALE As indicated	SHEET NUMBER A1.0
DATE 2024-04-01 10:41:42 AM	



CRAWLSPACE/FOUNDATION PLAN
1/4" = 1'-0"



MAIN FLOOR PLAN
1/4" = 1'-0"
MAIN FLOOR AREA 1165 SF
GARAGE 440 SF
TOTAL MAIN FLOOR AREA 1613 SF

- TYPICAL FLOOR PLAN NOTES**
- ALL INTERIOR DOOR ARE 4" FROM WALL (UNO)
 - PROPOSED STRUCTURE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR BEAM LOCATION/SIZE & JOIST DIRECTION
 - PROPOSED TRUSSES SHOWN FOR REFERENCE ONLY. REFER TO TRUSS MANUFACTURER DRAWINGS FOR TRUSS LOCATIONS
 - POINT LOAD FROM ABOVE
 - POINT LOAD CARRIED TO FLOOR BELOW

REVISIONS

WOODLAND

SU CASA
DESIGN

ADDRESS: 2643 MONTROSE AVE. ABBOTSFORD, BC TEL: (604) 864-4303 EMAIL: INFO@SUCASADESIGN.CA

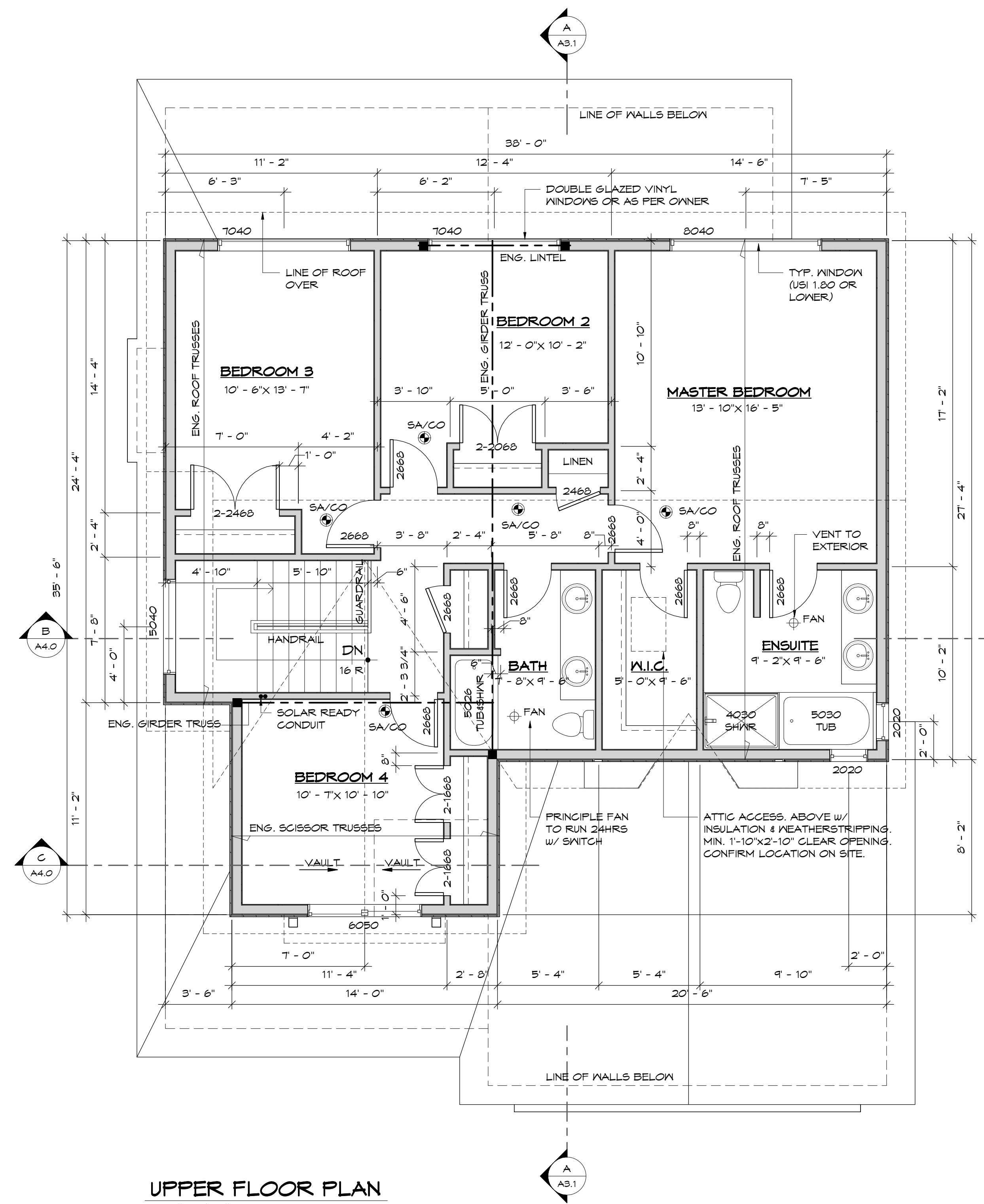
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TITLE FND/MAIN FLOOR PLAN	
SCALE 1/4" = 1'-0"	SHEET NUMBER A2.0
DATE 2024-04-01 10:41:45 AM	

7-H-24-DP
Revised: 6/27/2024

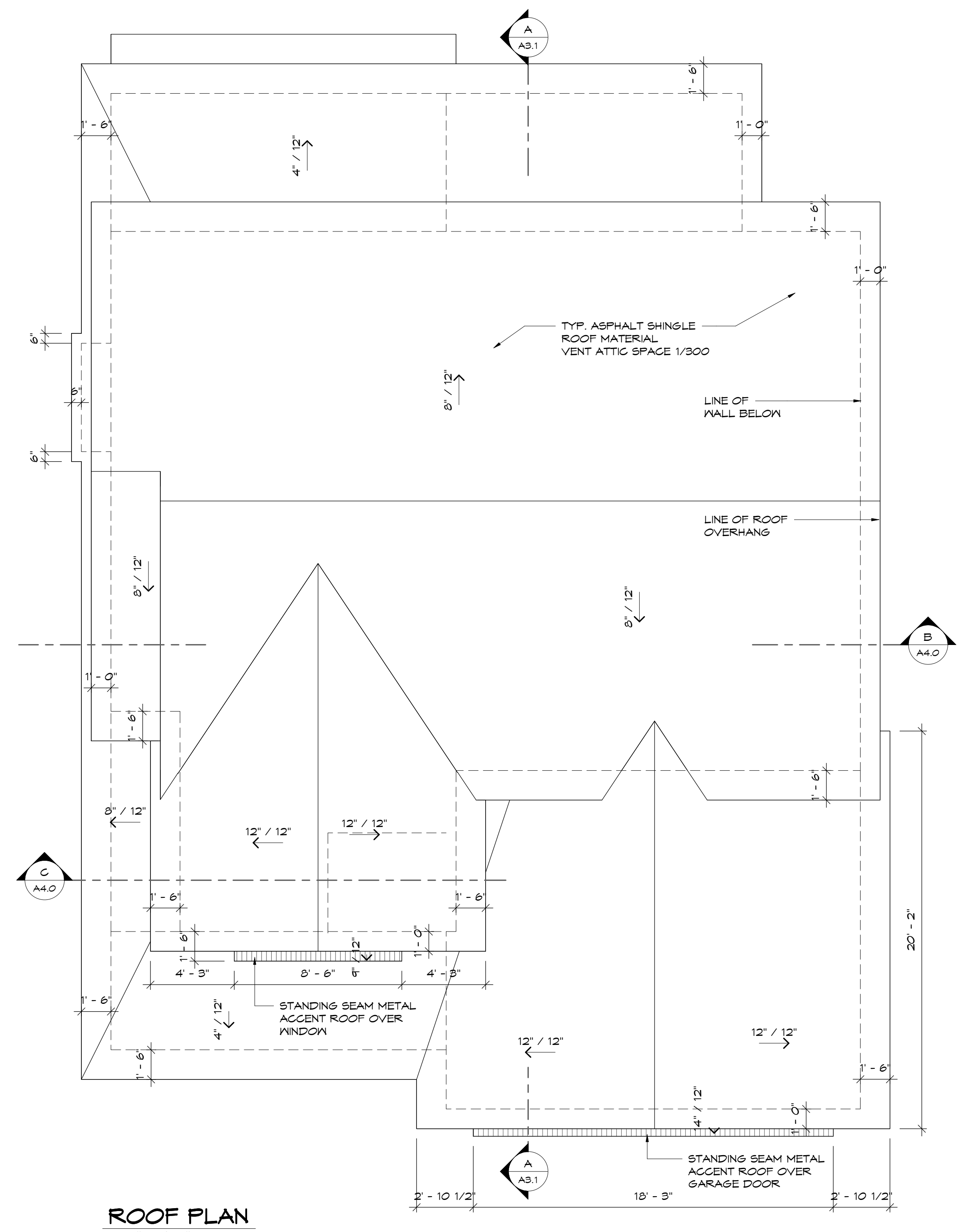
TYPICAL FLOOR PLAN NOTES

- ALL INTERIOR DOOR ARE 4" FROM WALL (UNO)
- PROPOSED STRUCTURE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR BEAM LOCATION/SIZE & JOIST DIRECTION
- PROPOSED TRUSSES SHOWN FOR REFERENCE ONLY. REFER TO TRUSS MANUFACTURER DRAWINGS FOR TRUSS LOCATIONS
- ◻ POINT LOAD FROM ABOVE
- ◼ POINT LOAD CARRIED TO FLOOR BELOW

REVISIONS



UPPER FLOOR PLAN
1/4" = 1'-0"
UPPER FLOOR AREA 1066 SF



ROOF PLAN
1/4" = 1'-0"

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DESIGN

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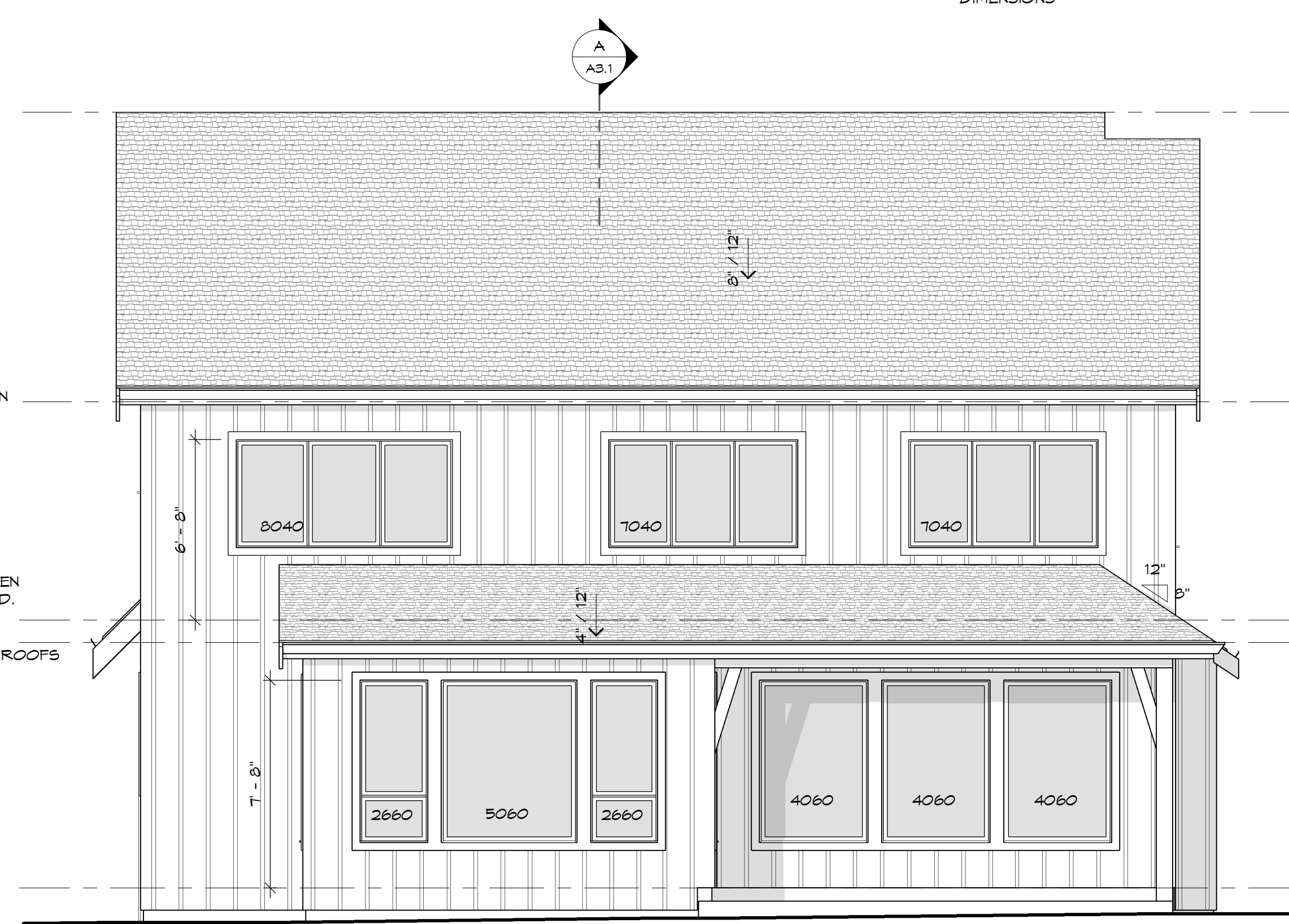
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TITLE UPPER FLOOR/ROOF PLAN	
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DATE 2024-04-01 10:41:46 AM	

7-H-24-DP
Revised: 6/27/2024

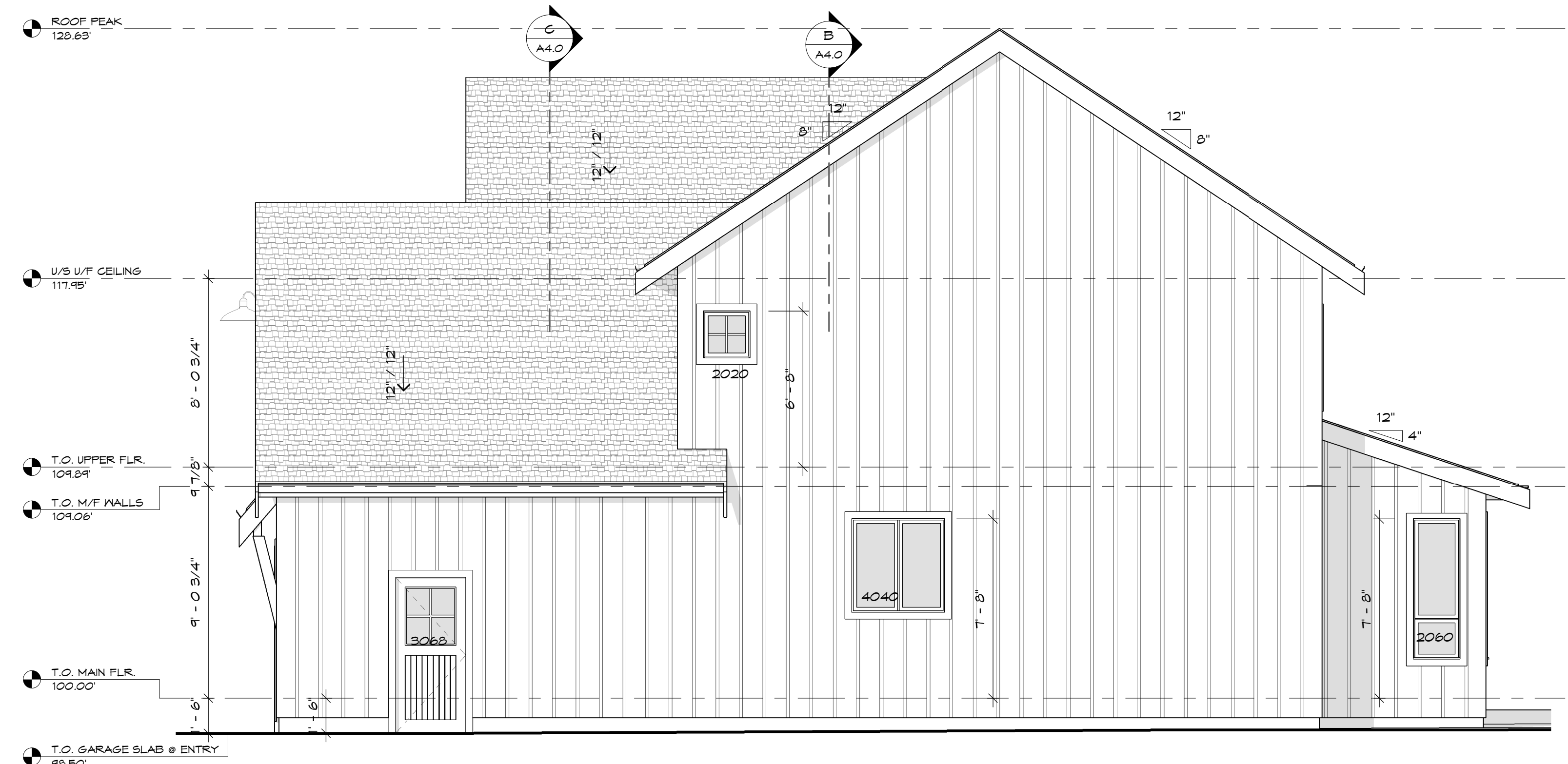
7-H-24-DP
Revised: 6/27/2024



FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

- EXTERIOR NOTES**
- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
 - CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
 - REFER TO ROOF PLAN FOR OVERHANG DIMENSIONS

REVISIONS

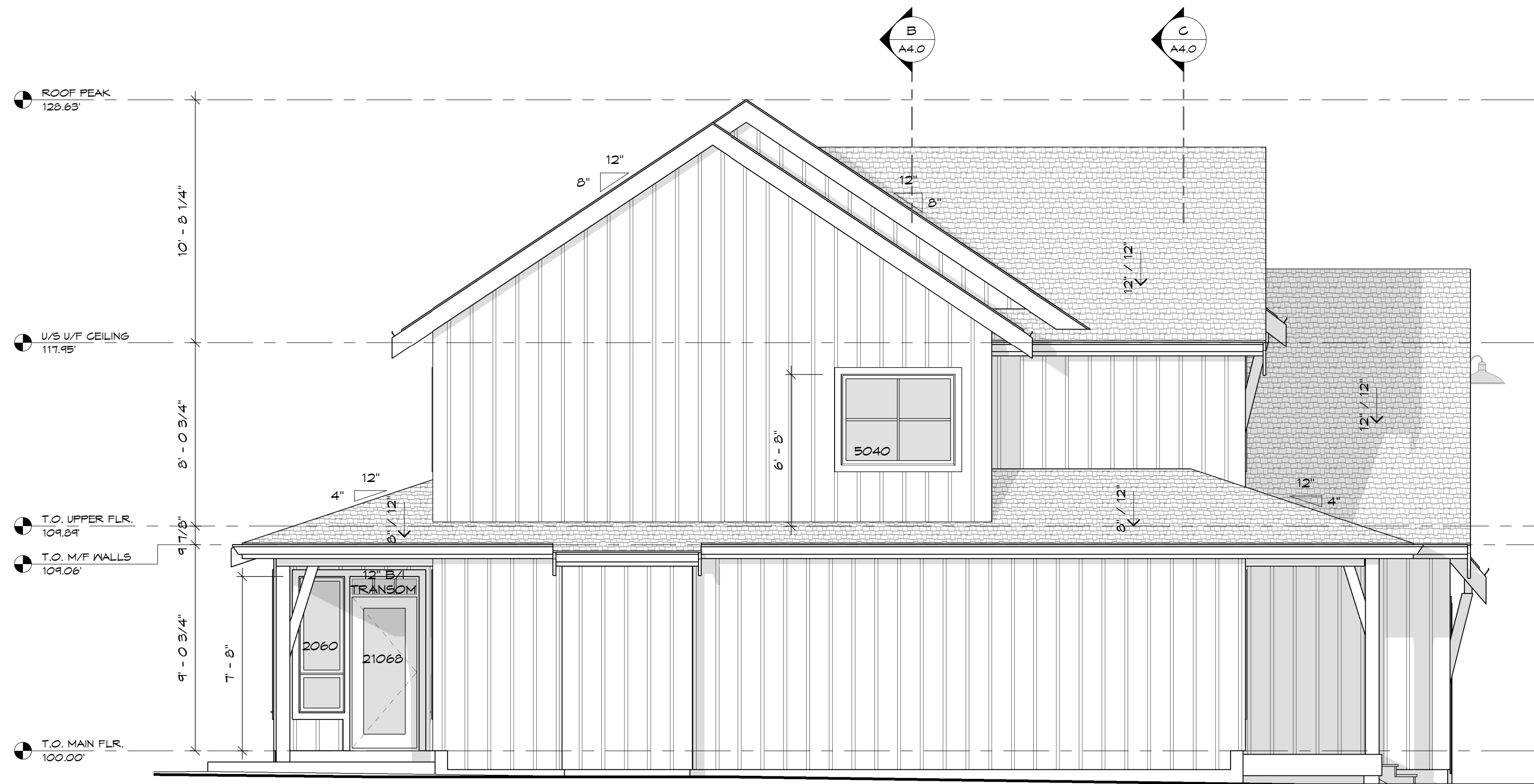
WOODLAND

SU CASA
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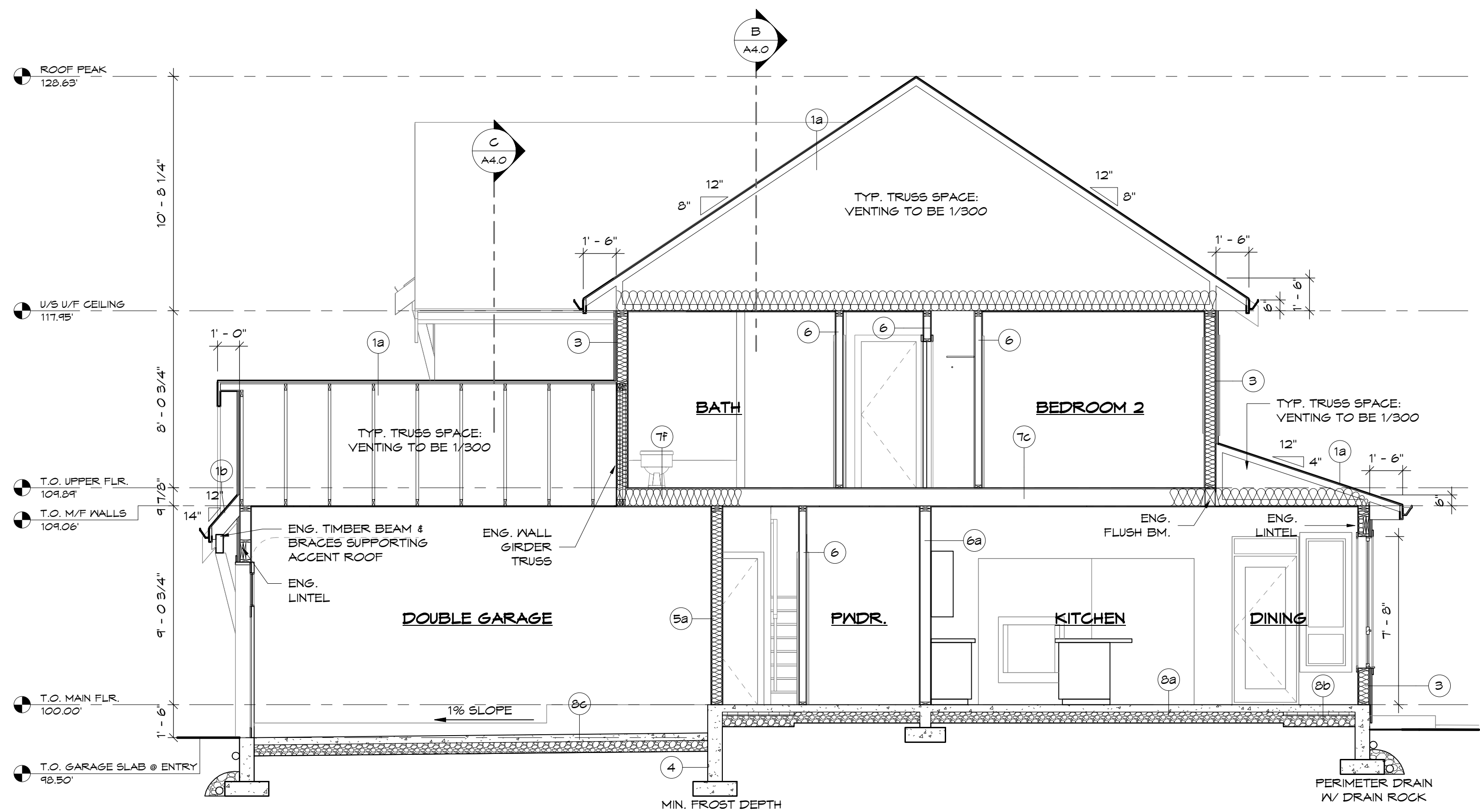
ADDRESS: 2648 MONTROSE AVE. ABBOTSFORD, B.C. TEL: (604) 864-4303 EMAIL: INFO@SUCASADDESIGN.CA

PROJECT	
TITLE ELEVATIONS	
SCALE As indicated	SHEET NUMBER A3.0
DATE 2024-04-01 10:41:51 AM	

7-H-24-DP
Revised: 6/27/2024



LEFT ELEVATION
1/4" = 1'-0"



SECTION A
1/4" = 1'-0"

- EXTERIOR NOTES**
- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
 - CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
 - REFER TO ROOF PLAN FOR OVERHANG DIMENSIONS

BUILDING SPECIFICATIONS

MINIMUM RSI VALUES LISTED IN ASSEMBLIES ARE AS PER LOCAL BUILDING CODE SEE DETAILS FOR REQUIRED BATT INSULATION VALUES.

1a
TYPICAL TRUSS ROOF
MIN RSI 6.91 FOR ASSEMBLY
ASPHALT SHINGLE ROOF
15# BREATHER TYPE ROOFING FELT
1/2" PLYWOOD ROOF SHEATHING
PROVIDE EAVE PROTECTION TO CODE
ENG. TRUSSES
BATT INSULATION
6 MIL POLY V.B.
GYPSUM CEILING BOARD

1b
ACCENT ROOF
MIN RSI 6.91 FOR ASSEMBLY
STANDING SEAM METAL ROOFING
15# BREATHER TYPE ROOFING FELT
1/2" PLYWOOD ROOF SHEATHING
2x6 WOOD RAFTERS
SOFFIT AS PER OWNER

3
TYPICAL EXTERIOR WALLS
MIN RSI 2.78 FOR ASSEMBLY
EXTERIOR FINISH
REQUIRED RAINSCREEN
BUILDING PAPER
1/2" PLYWOOD SHEATHING
2x6 STUDS @ 16" O.C.
BATT INSULATION
6 MIL POLY V.B.
GYPSUM WALL BOARD

4
TYPICAL FOUNDATION WALLS
MIN RSI 1.99 FOR ASSEMBLY INCL. FURRING
ASPHALT EMULSION (DAMP-PROOFING)
ENG. CONCRETE FOUNDATION WALL
ENG. CONCRETE STRIP FOOTING W/ REBAR
(SEE STRUCTURAL FOR SPECS.)
6" MIN. DRAIN ROCK
4" PERIMETER DRAIN

5a
TYPICAL GARAGE WALL
MIN RSI 2.62 FOR ASSEMBLY
1/2" GYPSUM WALL BOARD
2x6 STUDS @ 16" O.C.
6 MIL UV POLY VAPOUR BARRIER
BATT INSULATION
1/2" GYPSUM WALL BOARD

6
TYPICAL INTERIOR WALLS
1/2" GYPSUM WALL BOARD
2x4 STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD

6a
TYPICAL INTERIOR WALLS
1/2" GYPSUM WALL BOARD
2x6 STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD

7c
TYPICAL FLOOR
FINISH FLOORING
5/8" T&G PLYWOOD SHEATHING (NAILED & GLUED)
2X10 FLOOR JOISTS
TO ENGR'S SPECS
GYPSUM CEILING BOARD

7f
FLOOR OVER UNCONDITIONED SPACE (2x10)
OVER UNCONDITIONED SPACE
MIN RSI 4.67 FOR ASSEMBLY
FINISH FLOORING
5/8" T&G PLYWOOD SHEATHING (NAILED & GLUED)
6 MIL UV POLY VAPOUR BARRIER
2X10 ENG. FLOOR JOISTS
TO ENGR'S SPECS.
BATT INSULATION
GYPSUM CEILING BOARD

8a
TYPICAL BASEMENT FLOOR (UNHEATED, UNINSULATED)
4" CONG. SLAB
6 MIL POLY V.B.
6" MIN. COMPACT GRANULAR FILL

8b
BASEMENT FLOOR (PERIMETER ABOVE FROST)
MIN RSI 1.96 FOR ASSEMBLY
4" CONG. SLAB
MIN. 2" XPS RIGID INSULATION
MIN. 1.2m WIDTH INSIDE OF FDN.
6 MIL POLY V.B.
6" MIN. COMPACT GRANULAR FILL

8c
TYPICAL GARAGE SLAB
4" CONCRETE SLAB
(SEE STRUCTURAL FOR SPECS.)
6" MIN. COMPACT GRANULAR FILL
1% MIN. SLOPE TO ENTRY

8d
TYPICAL EXTERIOR SLAB
FINISH AS PER OWNER
4" CONCRETE SLAB
6" MIN. COMPACT GRANULAR FILL
1% MIN. SLOPE AWAY FROM HOUSE

9a
TYPICAL DECK (2X10 UNCONDITIONED)
P.T. WOOD DECK SURFACE
P.T. 2X10 DECK JOISTS @ 16" O.C.
OR AS PER ENGR'S. SPECS.
VENTED SOFFIT

10a
TYP. INTERIOR STAIR
11" TREAD
10" RUN
3-2X12 STRINGER
32"-36" HANDRAIL @ STAIRS W/
3 OR MORE RISERS
PROVIDE 6'-8" MIN. FINISHED HEADROOM

REVISIONS

WOODLAND

SU CASA DESIGN

PROJECT: _____

TITLE: **ELEVATIONS/SECTIONS**

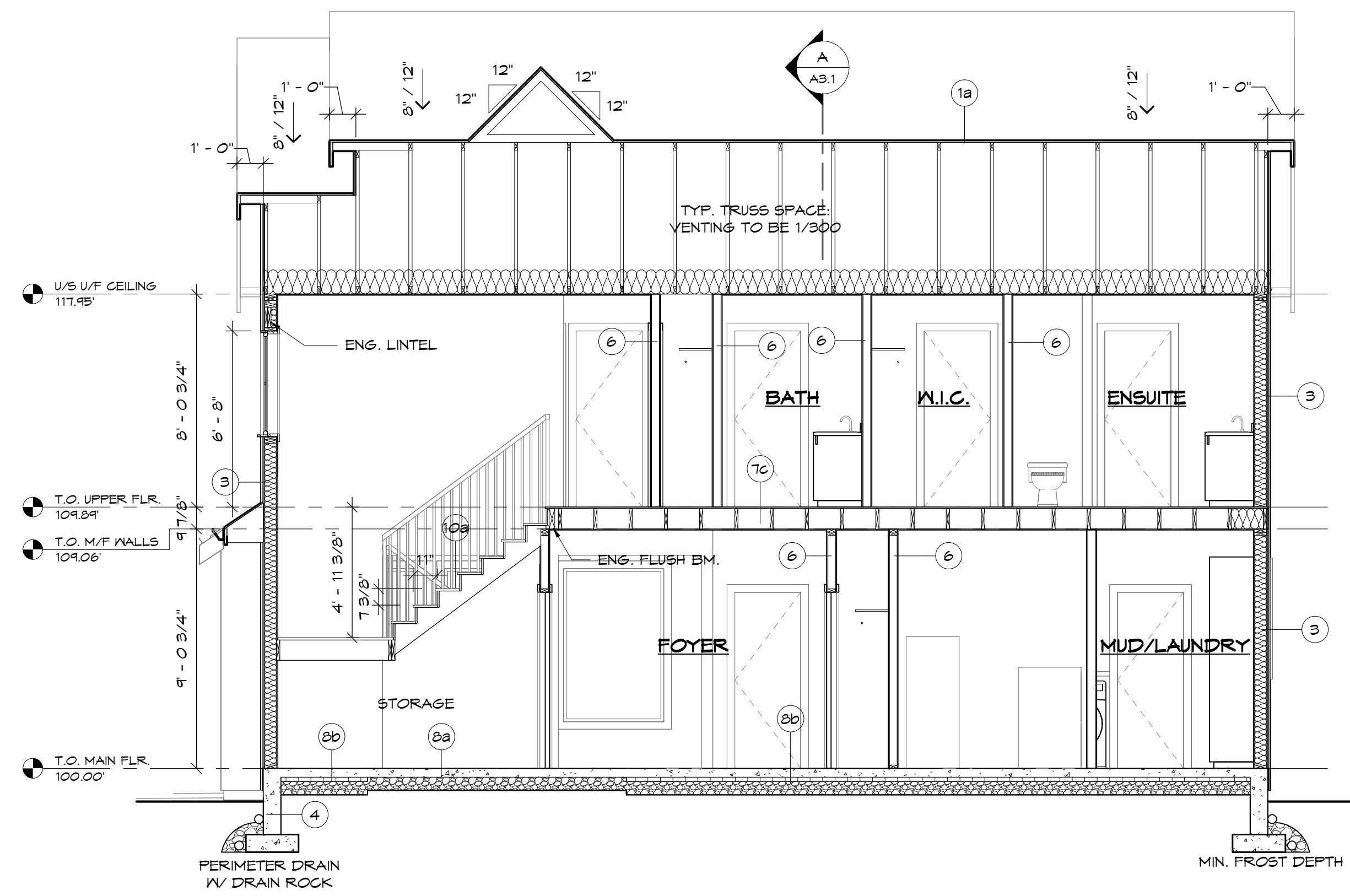
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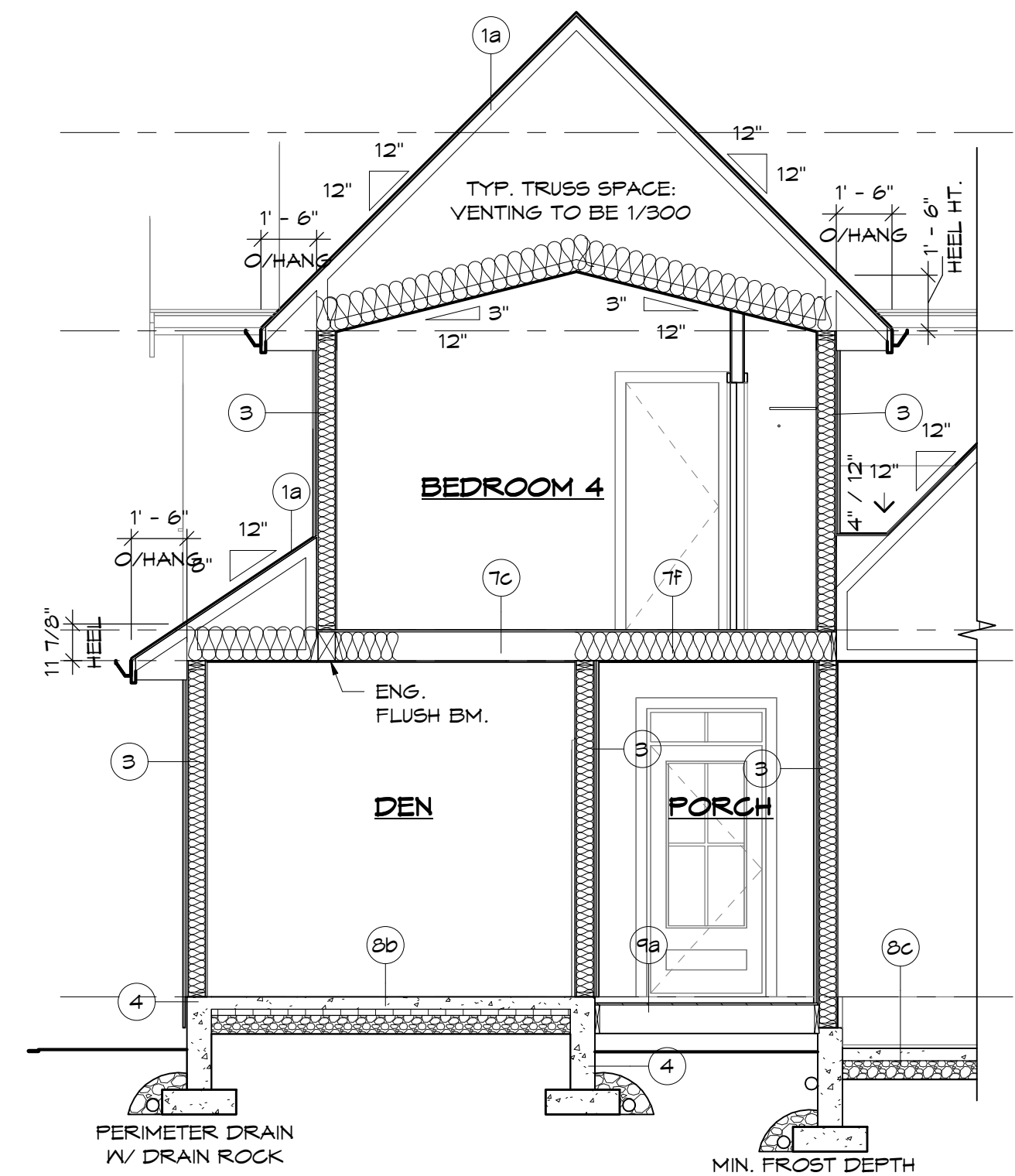
SHEET NUMBER: **A3.1**

7-H-24-DP
Revised: 6/27/2024

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SECTION B
1/4" = 1'-0"

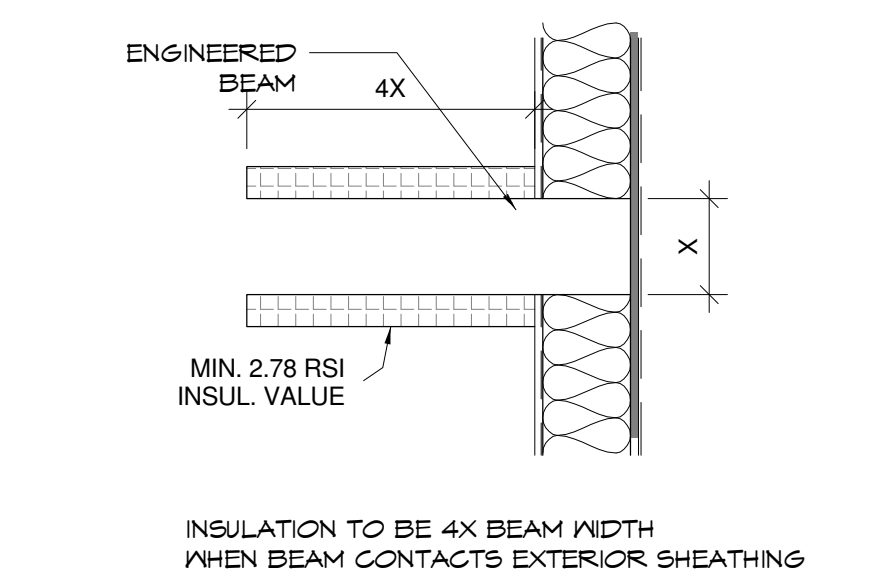


SECTION C
1/4" = 1'-0"

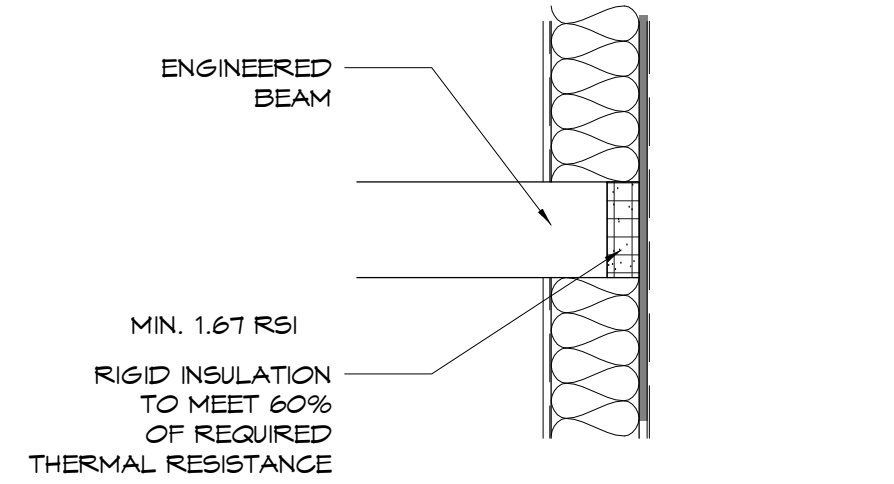
- EXTERIOR NOTES**
- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
 - CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
 - REFER TO ROOF PLAN FOR OVERHANG DIMENSIONS

NOTES PERTAINING TO LEAKAGE PATHS IN PROBLEMATIC AREAS

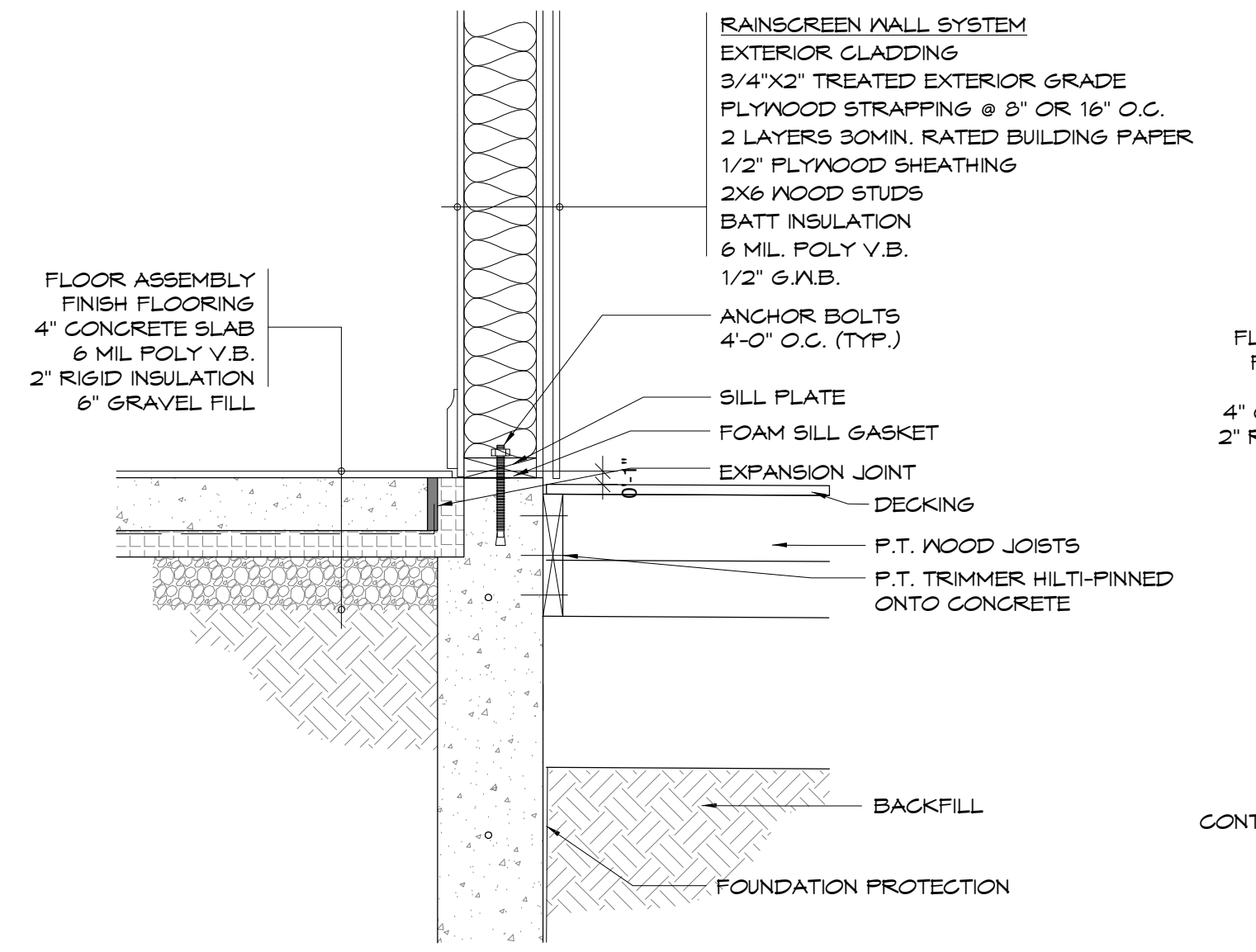
- FOUNDATION TO SILL PLATE AND RIM JOISTS**
ALL JOISTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIR-TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL
- INTERIOR WALL INTERFACE**
INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WITH AN INTERIOR PLANE OF AIR TIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL
- RIM JOIST**
ALL JOISTS AT THE RIM JOIST ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL
- CANTILEVERED FLOOR**
CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES/EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL
- WINDOW HEAD**
THE INTERFACE BETWEEN THE HEAD/JAMS AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS
- WINDOW SILL**
THE INTERFACE BETWEEN WINDOW SILL AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS
- MECHANICAL FLUES AND CHIMNEYS**
STEEL-LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES
- PLUMBING STACKS**
PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY EITHER SEALING THE AIR BARRIER MATERIAL TO THE VENT PIPE WITH A COMPATIBLE MATERIAL OR SHEATHING TAPE OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION OF THE PLANE OF AIR TIGHTNESS AND SEALING IT TO THE TOP PLATE
- SKYLIGHTS**
THE INTERFACE BETWEEN THE SKYLIGHT AND THE WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE SKYLIGHT
- WALL TO CEILING**
ALL JOINTS AT THE TRANSITION BETWEEN THE ABOVE GRADE WALL AND CEILING MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL
- WALL VENTED DUCTS**
DUCT PENETRATIONS THROUGH THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL
- ELECTRICAL PENETRATION IN WALL**
ELECTRICAL PENETRATIONS IN WALLS, INCLUDING ELECTRICAL OUTLETS, WIRING, SWITCHES, AND RECESSED FIXTURES THROUGH THE PLANE OF AIR TIGHTNESS MUST BE AIRTIGHT. OPTIONS INCLUDE USING A COMPONENT THAT IS DESIGNED TO BE AIRTIGHT AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL OR BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL



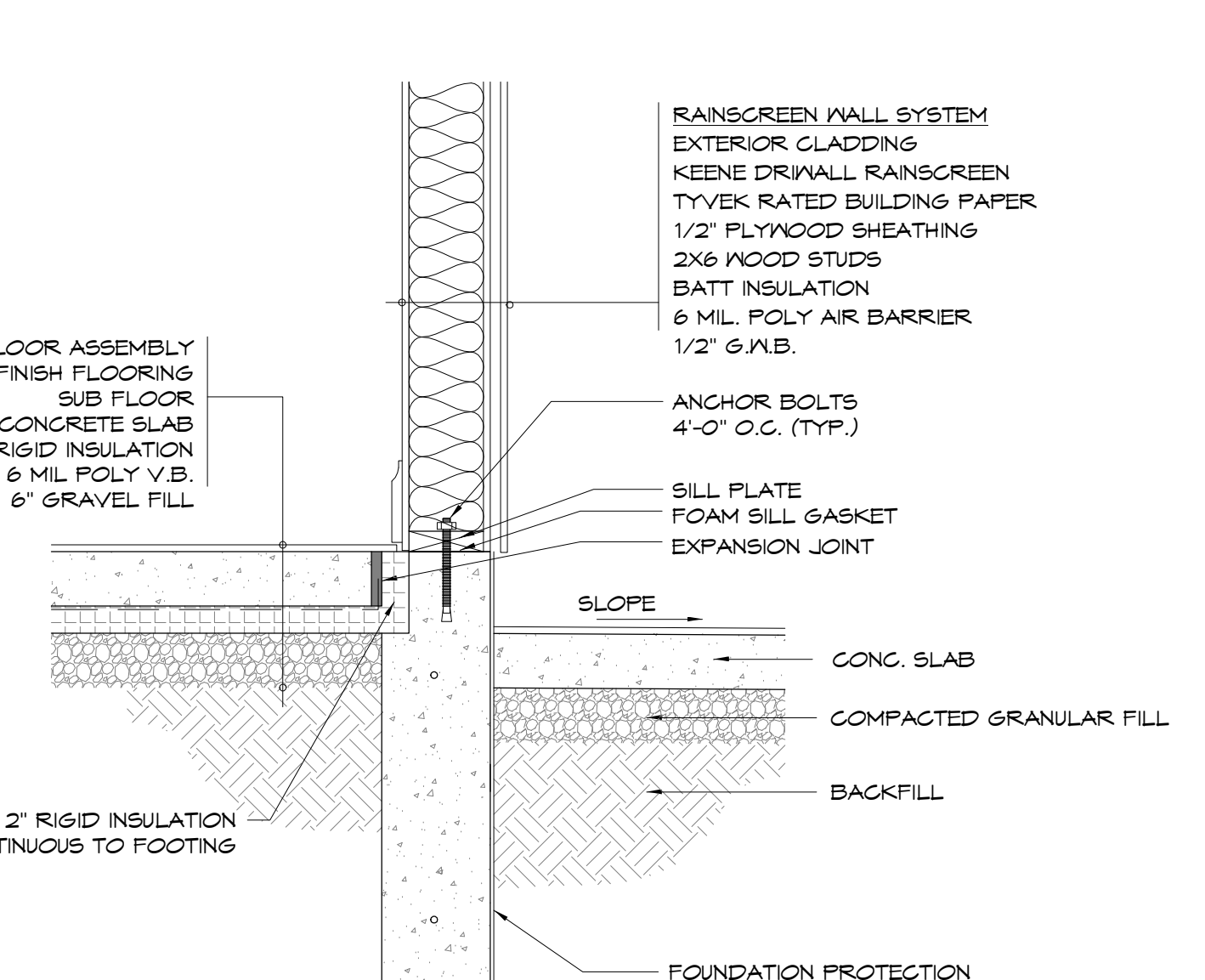
BEAM / WALL - PLAN DETAIL 1
1" = 1'-0"



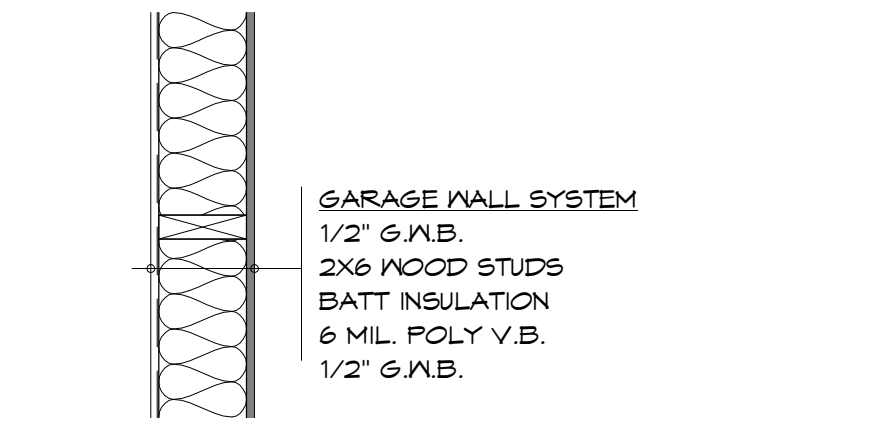
BEAM / WALL - PLAN DETAIL 2
1" = 1'-0"



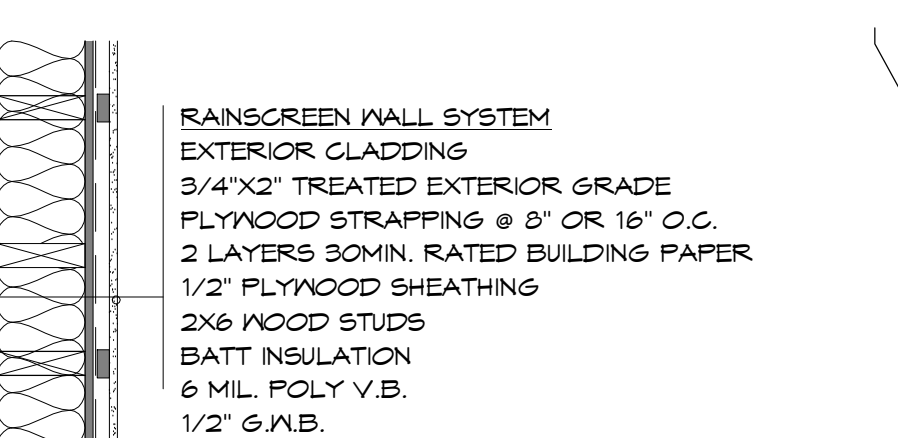
TYP. ENTRY DECK @ SLAB
1" = 1'-0"



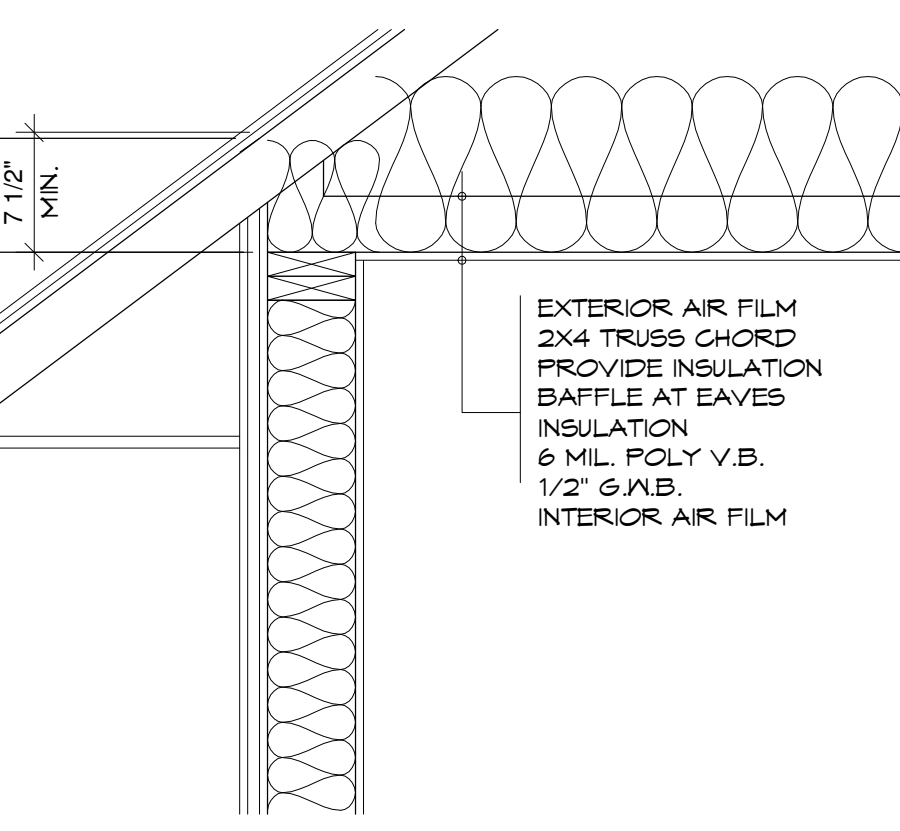
TYP. SLAB ON GRADE/BASEMENT ENTRY
1" = 1'-0"



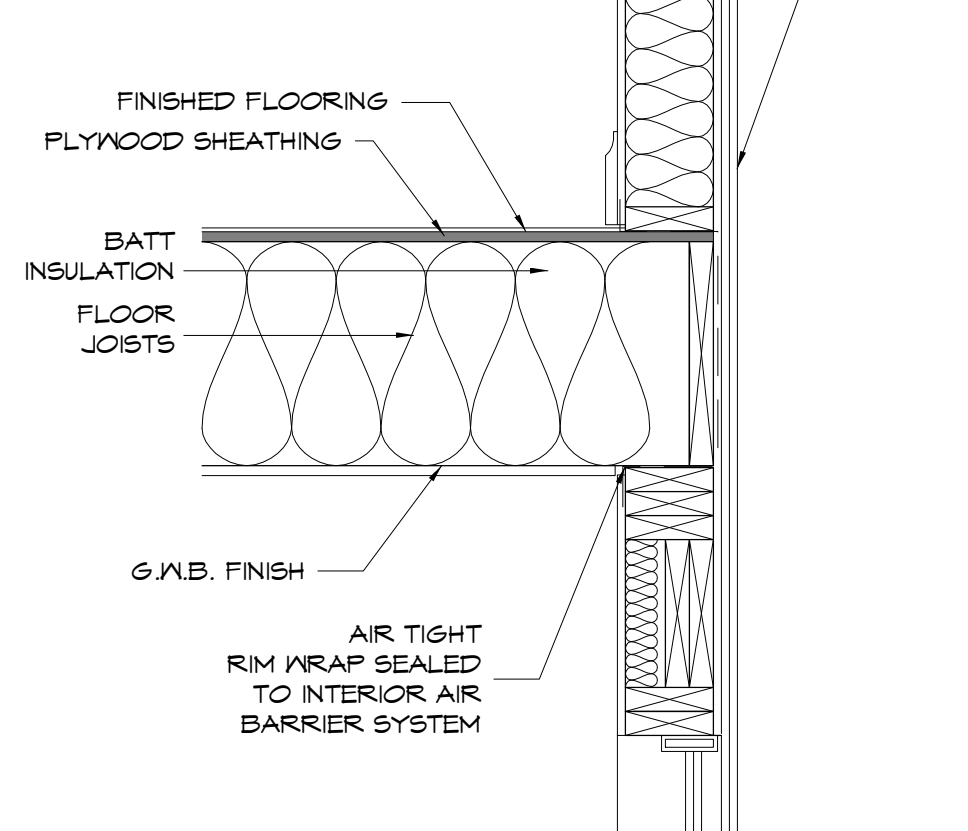
TYP. GARAGE WALL
1" = 1'-0"



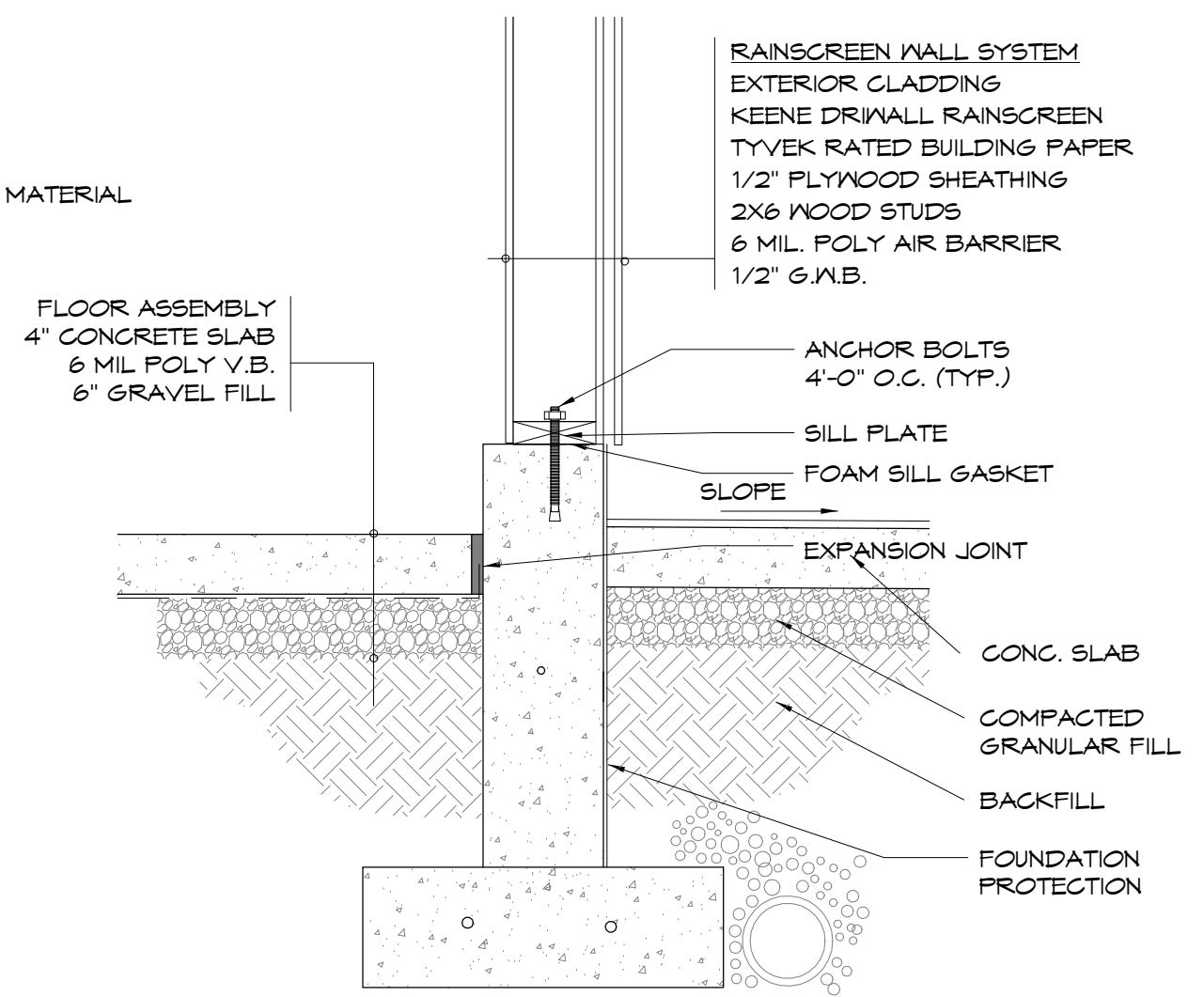
TYP. EXTERIOR WALL
1" = 1'-0"



TYP. CEILING/ROOF EAVE
1" = 1'-0"



TYP. FLOOR @ EXTERIOR WALL
1" = 1'-0"



TYP. GARAGE SLAB @ EXTERIOR WALL
1" = 1'-0"

REVISIONS

7-H-24-DP
Revised: 6/27/2024

WOODLAND

SU CASA DESIGN

PROJECT: _____

TITLE: **SECTIONS/DETAILS**

SCALE: As indicated

DATE: 2024-04-01 10:42:01 AM

SHEET NUMBER: **A4.0**

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