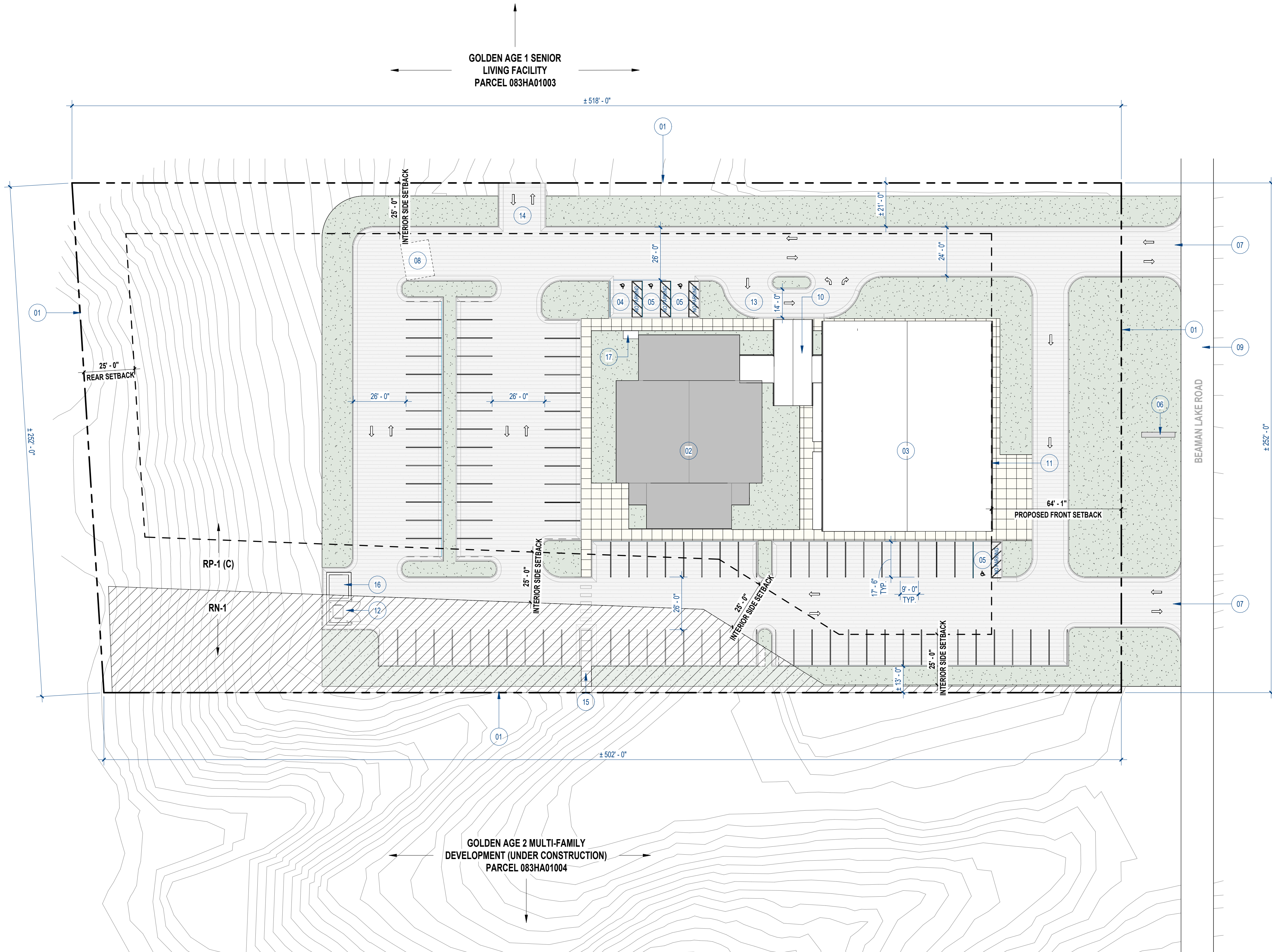


7-H-26-SU
Rev. 6.15.2026



GENERAL NOTES

- A CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION
- B CONSTRUCT ALL SIDEWALKS WITH A MAXIMUM 2% CROSS SLOPE AWAY FROM BUILDING, UNLESS NOTED OTHERWISE. SLOPE AWAY FROM BUILDING IF ADJACENT
- C NEW SIDEWALKS ARE 5' - 0" WIDE WITH CONTROL JOINTS EVERY 5' - 0" O.C. AND EXPANSION JOINTS EVERY 20' - 0" O.C. UNLESS NOTED OTHERWISE.
- D DIMENSIONS SHOW ON SITE PLAN ARE TO FRONT FFACE OF CURB, EXTERIOR FACE OF BUILDING CLADDING, AND CENTERLINE OF STRIPING UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. DO NOT SCALE THE DRAWINGS.
- E REFER TO CIVIL FOR FINISHED FLOOR ELEVATION(S), PARKING LAYOUT, ACCESSIBLE PAHTWAYS, STRIPING, DRIVE SIGNS, AND LOCATION OF BUILDING/BUILT ELEMENTS.
- F REFER TO CIVIL DRAWINGS FOR EXISTING SITE ITEMS TO REMAIN, TO BE REMOVED, TO BE RELOCATED AND THE RESPONSIBLE PARTY FOR EACH.
- G ALL GRADING SHALL SLOPE AWAY FROM BUILDINGS.

KEYED NOTES

- 01 PROPERTY LINES
- 02 EXISTING FACILITY - 5,797 SQ FT
- 03 NEW ADDITION - 8,558 SQ FT
- 04 ACCESSIBLE PARKING - VAN
- 05 ACCESSIBLE PARKING - CAR
- 06 EXISTING MONUMENT SIGN - TBD
- 07 SITE ACCESS POINT
- 08 APPROXIMATE LOCATION OF EXISTING SHED - TO BE DEMOLISHED
- 09 EXISTING 2-LANE ROAD
- 10 PRIMARY BUILDING ENTRANCE
- 11 SECONDARY BUILDING ENTRANCE
- 12 DUMPSTER ENCLOSURE
- 13 DROP OFF AREA
- 14 EXISTING ACCESS DRIVE TO ADJACENT GOLDEN AGE HOUSING PROPERTY TO BE INCORPORATED INTO THE NEW PARKING LOT TO ACCOMMODATE OVERFLOW PARKING WHEN NEEDED.
- 15 PROPOSED NEW PEDESTRIAN PATHWAY PROVIDING CONNECTIVITY TO THE ADJACENT GOLDEN AGE APARTMENTS DEVELOPMENT IN THE CASE THAT OVERFLOW PARKING IS NEEDED.
- 16 PROPOSED SHED LOCATION - 111 SQ FT
- 17 BIKE RACK - 8 SPOTS

SITE PLAN LEGEND

NOT TO SCALE

	LANDSCAPE		PROPERTY LINE
	ASPHALT		SETBACK LINE
	HARDSCAPE		RN-1 REGION

ZONING REQUIREMENTS

CITY OF KNOXVILLE ZONING ORDINANCE

RP-1 (C-DESIGNATION) - PLANNED RESIDENTIAL DISTRICT (ZONING ORDINANCE 1982-04-02)

ALLOWED USE:
COMMUNITY FACILITIES

BUILDING SETBACKS

MINIMUM FRONT SETBACK: SHALL BE AS DETERMINED BY THE PLANNING COMMISSION
PERIPHERY BOUNDARY SETBACK: NOT LESS THAN 25 FT

PARKING

1 PER 3 SEATS OR 1 PER 25 SF OF USABLE FLOOR AREA OF AUDITORIUM, WHICHEVER IS GREATER

SEAT COUNT: 235 / 79 SPOTS
USABLE FLOOR AREA: 2,265 SF / 91 SPOTS

REQUIRED: 91 SPACES
PROVIDED: 100 SPACES (1 VAN / 3 ADA)

BIKING - PUBLIC USES

1 PER 5,000 SF OF GROSS FLOOR AREA, 4 MIN

REQUIRED BIKE: 4 SPACES
PROVIDED BIKE: 4 SPACES

RN-1 - LOW DENSITY RESIDENTIAL (CURRENT ZONING)

ALLOWED USE:
PLACE OF WORSHIP

IMPERVIOUS AREA:
6,143 IMPERVIOUS / 15,598 OVERALL AREA = 39.4% < MAX. 40%



PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT INFORMATION:

PROJECT NUMBER:

24098

SCHEMATIC DESIGN / DESIGN
DEVELOPMENT

**CANAAN BAPTIST
CHURCH ADDITION**

REVISION TRACKING:

#	REVISION	DATE
A	SD/DD PACKAGE	2026-06-24

SHEET INFORMATION:

AS101

ARCHITECTURAL SITE PLAN

SHEET ISSUE DATE:

2026-06-24

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A.H. PLANS REVIEW /
ELECTRONIC PERMIT STAMP

A21

OVERALL SITE PLAN

1" = 30'-0"



6/15/2026 5:33:20 PM

GENERAL NOTES

FLOOR PLANS

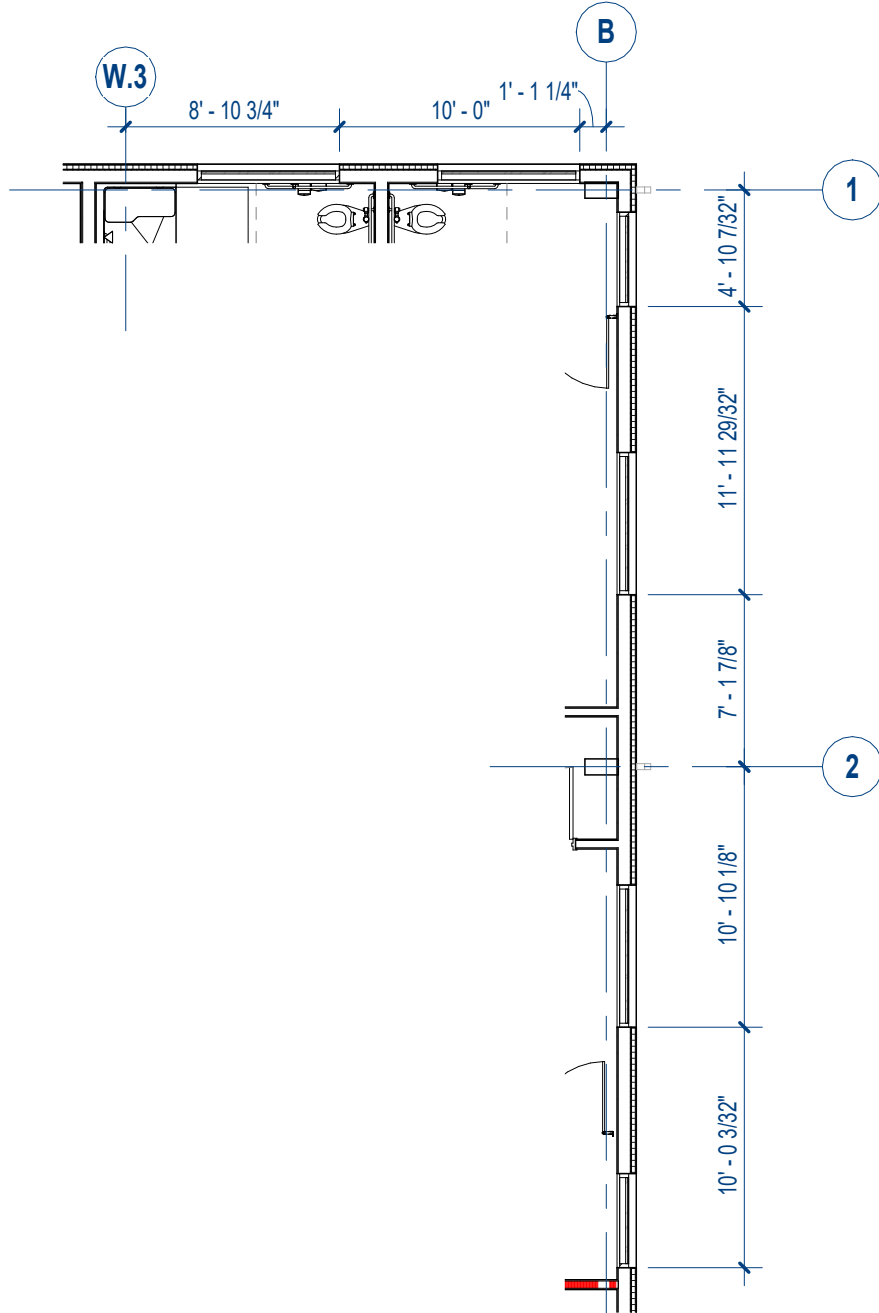
- A CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING WITH THE ASSOCIATED WORK. IN THE EVENT THE DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO SO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.
- B DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY / CONCRETE, U.N.O.
- C THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM UNDIMENSIONED SHALL BE 0' OR 8' IN MASONRY WALLS (AS GRAPHICALLY INDICATED ON PLANS) OR 6' IN STUD FRAMED WALLS (AS GRAPHICALLY INDICATED ON PLANS) FROM THE INSIDE CORNER, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- D THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL UNDIMENSIONED SHALL BE CENTERED ON THE WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- E IN SPACES OPEN TO EXPOSED STRUCTURE ABOVE, PERIMETER WALLS OF SPACE SHALL EXTEND TO UNDERSIDE OF ROOF / FLOOR DECKING ABOVE.
- F ALL WALLS ARE TO BE EXTENDED TO UNDERSIDE OF DECK (ROOF OR FLOOR), UNLESS NOTED OTHERWISE.
- G ALL LOCATIONS WHERE BRICK VENEER BUTTS INTO CMU OR CAST STONE, A SOFT JOINT WITH BACKER ROD AND SEALANT SHALL BE PROVIDED.
- H ALL INTERIOR WALLS NOT TAGGED TO BE WALL TYPE S3, NON-FIRE-RATED, & TO BE 6' ABOVE CEILING UNLESS NOTED OTHERWISE.

WALL CONSTRUCTION GRAPHIC LEGEND

NOT TO SCALE

	EXISTING, NON-RATED CONSTRUCTION TO REMAIN		NON-RATED WALL ASSEMBLY
	GLAZING SYSTEM. SEE ELEVATIONS & SPECS.		INDICATES LOCATION OF WALL CONTROL JOINT(S)
	1 HOUR-RATED, FIRE PARTITION (IBC §708)		INDICATES STACKED WALL

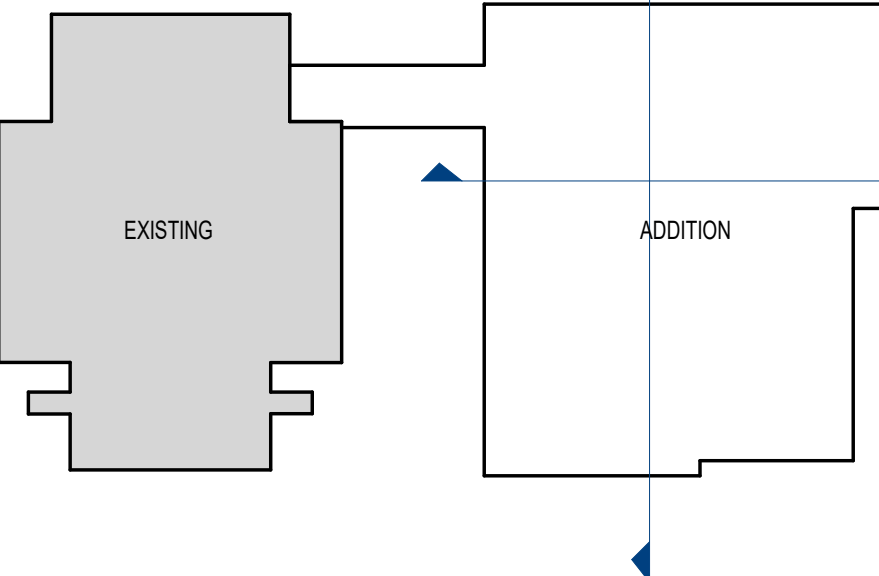
NOTE
A. REFER TO SHEET A000 - WALL TYPES FOR ADDITIONAL INFORMATION.



F04

ENLARGED FLOOR PLAN - CLERESTORY

1/8" = 1'-0"



A04

KEY PLAN

NOT TO SCALE

21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05

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A

A21

OVERALL FLOOR PLAN - DIMENSIONS

1/8" = 1'-0"

21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT INFORMATION:

PROJECT NUMBER:

24098

SCHEMATIC DESIGN

CANAAN BAPTIST
CHURCH ADDITION

REVISION TRACKING:

REVISION DATE

SHEET INFORMATION:

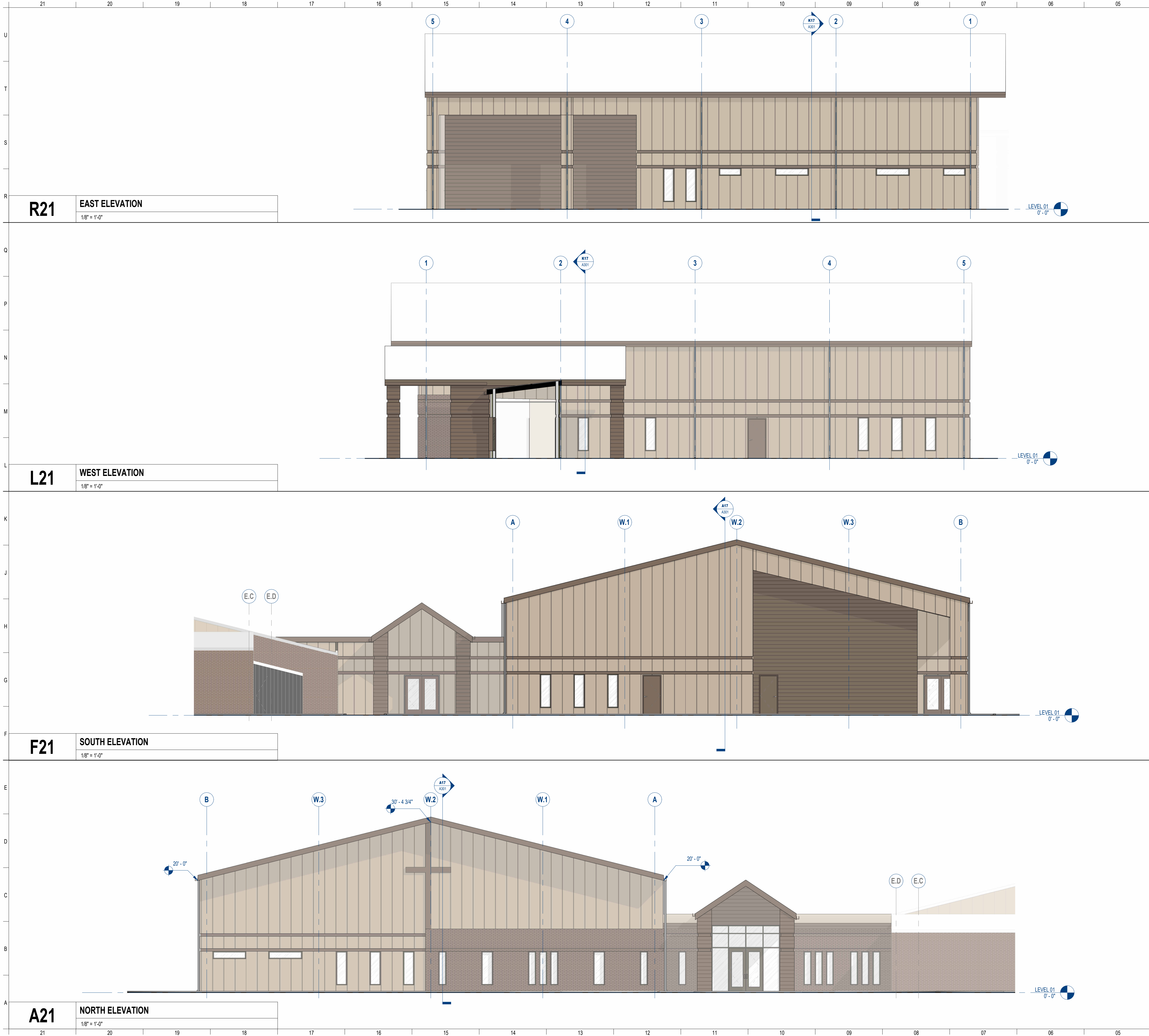
A101

OVERALL FLOOR PLAN -
DIMENSIONS

SHEET ISSUE DATE:

2026-05-26

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GENERAL NOTES	
EXTERIOR ELEVATIONS	
A EXAMPLE EXTERIOR ELEVATION GENERAL NOTES CONTENT	
KEYED NOTES	
EXTERIOR ELEVATIONS	
GRAPHIC LEGEND	
NOT TO SCALE	
EXTERIOR ELEVATIONS	
BR01, BRICK	
GLAZING, CLEAR	
CB01, CEMENT BOARD & BATTEN	
CB02, CEMENT BOARD LAP-SIDING	
A17 A301	
K17 A301	
EXISTING	
ADDITION	
KEY PLAN	
NOT TO SCALE	

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT INFORMATION:

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24098

SCHEMATIC DESIGN
**CANAAN BAPTIST
CHURCH ADDITION**

REVISION TRACKING:

#	REVISION	DATE
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SHEET INFORMATION:

A201
EXTERIOR ELEVATIONS

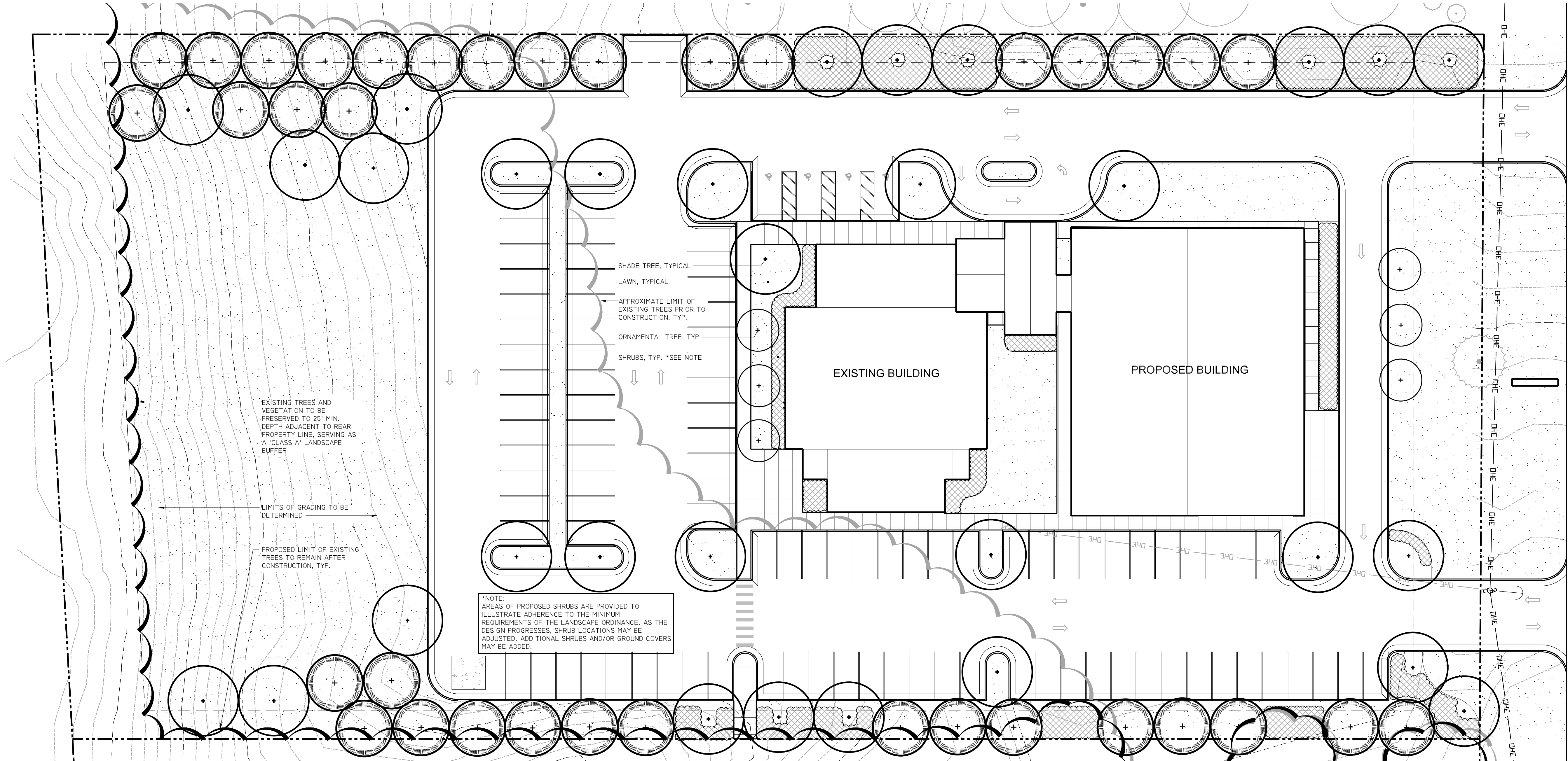
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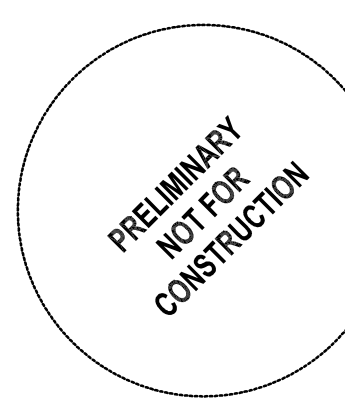
PERMITTING NOTES:

- THE 2.95 ACRE PARCEL IS ZONED CITY OF KNOXVILLE RN-1. ADJACENT PARCELS ARE ZONED RN-1 & RN-5.
- PREPARATION OF A SURVEY IS IN PROGRESS. THE DESIGN ILLUSTRATED IS PRELIMINARY AND SUBJECT TO CHANGE.
- PROPOSED LANDSCAPING IS ILLUSTRATED TO DEMONSTRATE THE MINIMUM REQUIREMENTS OF THE CITY OF KNOXVILLE ORDINANCE WILL BE MET. ADDITIONAL LANDSCAPING MAY BE ADDED AS DESIGN PROGRESSES.
- RE. KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 14-34 DESTRUCTION OR REMOVAL OF TREES: THE APPLICANT PROPOSES TO REMOVE EXISTING TREES AS REQUIRED FOR GRADING.
- RE. KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 14-35 PROTECTION OF TREES OF HISTORICAL OR BOTANICAL IMPORTANCE; NO EXISTING TREES ON SITE ARE OF HISTORICAL OR BOTANICAL IMPORTANCE.
- RE. KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 14-36 PLANTING OF TREES:
 - SITE= 2.95 ACRES X 8 TREES/ACRE = 24 (MIN.) TREES REQUIRED. (73) TREES ARE PROPOSED.
 - AT LEAST HALF OF REQUIRED TREES SHALL REACH 50' HT. AT MATURITY. 24/2=12. AT LEAST 12 OF THE PROPOSED TREES ARE SPECIES WHICH TYPICALLY EXCEED 50' HT. AT MATURITY.
 - ALL PROPOSED SHADE TREES SHALL BE EQUAL TO OR GREATER THAN THE 2" CALIFER MINIMUM SIZE REQUIRED AT INSTALLATION.
- RE. KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 14-37 MAINTENANCE AND REPLACEMENT OF TREES; SEE LANDSCAPE NOTES.
- KNOXVILLE ZONING REGULATIONS, APPENDIX B, ARTICLE 12-LANDSCAPING, 12.4, B: SPECIES DIVERSITY:
 - (73) TREES PROPOSED - MAX. QTY. OF SINGLE SPECIES= 40%- ##%TBD PROPOSED, MIN. NO. OF SPECIES FOR TYPE= 5, #TBD SPECIES PROPOSED.
- 12.5- PARKING LOT PERIMETER LANDSCAPE YARD (PLPLY):
 - PLPLY LANDSCAPING IS PROPOSED FOR THE PORTION OF THE PARKING LOT FRONTING THE R.O.W.
- 12.6- INTERIOR PARKING LOT LANDSCAPE:
 - SHADE TREES ARE REQUIRED & PROPOSED AT EVERY PARKING LOT ISLAND. 2 SHADE TREES ARE REQUIRED & PROPOSED AT DOUBLE PARKING ISLANDS.
 - LIVE PLANTING IS REQUIRED & PROPOSED AT EVERY PARKING LOT ISLAND.
- 12.7- SITE LANDSCAPE; THE NORTH FACADE IS > 10' (WITH NO PARKING) FROM THE BEAMAN LAKE ROAD R.O.W.:
 - 12.7 B: PLANTING IS REQUIRED ALONG 60% OF THE LINEAR FACADE. 103 LF X 60% = 62 LF MIN. IS REQUIRED. PLANTING IS PROPOSED FOR 65 LF (63%) OF THE FACADE.
 - 12.7, B, 1.: SHRUBS @ NORTH FACADE; LENGTH= 103'. 103/3 = 35 (MIN.) SHRUBS REQUIRED. AT LEAST 35 SHRUBS ARE PROPOSED.
 - 12.7, B, 2.: TREES @ NORTH FACADE; LENGTH= 103'. 103/50 = 2 (MIN.) TREES ARE REQUIRED. 3 TREES ARE PROPOSED.
- 12.7- SITE LANDSCAPE; THE EAST FACADE FRONTS A PARKING LOT:
 - 12.7 B: PLANTING IS REQUIRED ALONG 60% OF THE LINEAR FACADE. 190 LF X 60% = 114 LF MIN. IS REQUIRED. PLANTING IS PROPOSED FOR 114 LF (100%) OF THE FACADE ADJACENT TO THE FOUNDATION AND WITHIN THE EAST BUFFER YARD FRONTING THE BUILDING.
 - 12.7, B, 1.: SHRUBS @ EAST FACADE; LENGTH= 190'. 190/3 = 64 (MIN.) SHRUBS REQUIRED. AT LEAST 64 SHRUBS ARE PROPOSED.
 - 12.7, B, 2.: TREES @ EAST FACADE; LENGTH= 190'. 190/50 = 4 (MIN.) TREES ARE REQUIRED. 9 TREES ARE PROPOSED WITHIN AN ADJACENT PARKING ISLAND AND WITHIN THE EAST BUFFER FRONTING THE BUILDING.
- 12.7- SITE LANDSCAPE; THE SOUTH FACADE ABUTS A PARKING AREA:
 - 12.7 B: PLANTING IS REQUIRED ALONG 60% OF THE LINEAR FACADE. 96 LF X 60% = 58 LF MIN. IS REQUIRED. PLANTING IS PROPOSED FOR 85 LF (89%) OF THE FACADE.
 - 12.7, B, 1.: SHRUBS @ SOUTH FACADE; LENGTH= 96'. 96/3 = 33 (MIN.) SHRUBS REQUIRED. AT LEAST 33 SHRUBS ARE PROPOSED.
 - 12.7, B, 2.: TREES @ SOUTH FACADE; LENGTH= 96'. 96/50 = 2 (MIN.) TREES ARE REQUIRED. 4 TREES ARE PROPOSED.
- 12.7- SITE LANDSCAPE; 40 L.F. OF THE WEST FACADE ABUTS A PARKING AREA:
 - 12.7 B: PLANTING IS REQUIRED ALONG 60% OF THE LINEAR FACADE. 40 LF X 60% = 24 LF MIN. IS REQUIRED. PLANTING IS PROPOSED FOR 24 LF (100%) OF THE FACADE WITHIN THE ADJACENT PARKING ISLAND AND WITHIN THE WEST BUFFER FRONTING THE FACADE.
 - 12.7, B, 1.: SHRUBS @ WEST FACADE; LENGTH= 40'. 40/3 = 13 (MIN.) SHRUBS REQUIRED. AT LEAST 13 SHRUBS ARE PROPOSED.
 - 12.7, B, 2.: TREES @ WEST FACADE; LENGTH= 40'. 40/50 = 1 (MIN.) TREE IS REQUIRED. 4 TREES ARE PROPOSED.
- 12.8 BUFFER YARDS- 10' MIN. WIDTH CLASS A BUFFERS ARE REQUIRED ON 3 SIDES OF THE PARCEL. EXISTING TREES SHALL BE PRESERVED FOR BUFFERING WHERE SITE GRADING PERMITS. SITE GRADING HAS NOT BEEN DESIGNED. FOR THE PURPOSES OF CONCEPTUAL LANDSCAPE DESIGN, BUFFERING IS PROPOSED AS FOLLOWS:
 - WEST PROPERTY LINE- 500 L.F. OF NEW BUFFERING REQUIRED: 1 SHRUB PER 5' = 100 SHRUBS. 1 EVERGREEN TREE PER 25' = 20 EVERGREEN TREES. 1 SHADE TREE/50' = 10 SHADE TREES.
 - SOUTH PROPERTY LINE- 25' MIN. DEPTH OF EXISTING TREES TO BE PRESERVED AND CREDITED FOR BUFFERING.
 - EAST PROPOERTY LINE- 400 L.F. OF NEW BUFFERING REQUIRED: 1 SHRUB PER 5' = 80 SHRUBS. 1 EVERGREEN TREE PER 25' = 16 EVERGREEN TREES. 1 SHADE TREE/50' = 8 SHADE TREES.
- SPECIAL USE LANDSCAPE PLAN IS NOT FOR CONSTRUCTION.

CANAAAN BAPTIST CHURCH - PLANT LIST- SPECIAL USE PLAN						
QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	ROOTS	MINIMUM SIZE	REMARKS
DECIDUOUS TREES						
31		Shade Tree (i.e. Oak, Maple, Tulip Poplar, Sweetgum)	TBD	8&8	2" Cal.	Full Crowns
6		Ornamental Tree (i.e. Dogwood, Redbud, Fringe Tree)	TBD	8&8	2" Cal.	Full Crowns
37						
EVERGREEN TREES						
36		Large Evergreen Tree (i.e. Southern Magnolia, Yoshino Cryptomeria, Green Giant Arborvitae)	TBD	Cont.	8' Ht.	Full to Ground
36						
SHRUBS						
TBD		Large Evergreen Shrubs for Screening (i.e. Schip Laurel, Leatherleaf Viburnum)	TBD	Cont.	5 Gal.	Full Plants
TBD		Evergreen Shrubs (i.e. Carissa Holly, Dwarf Burford Holly, Glossy Abelia, Grey Owl Juniper)	TBD	Cont.	3 Gal.	Full Plants (Species, quantity & plant spacing TBD)
TBD		Deciduous Shrubs (i.e. Beautyberry, Virginia Sweetspire, Weigela)	TBD	Cont.	3 Gal.	Full Plants (Species, quantity & plant spacing TBD, 39 minimum proposed.)
5,250	SF	SHRUBS	TBD	Cont.	Varies	SF of Min. Required Shrubs
PERENNIALS & GROUND COVER						
TBD		Evergreen Ground Cover (i.e. Non-spreading Liriope, Shore Juniper)	TBD	Cont.	1 Gal.	Full Plants (Species, quantity & plant spacing TBD)
TBD		Perennial Ornamental Grasses (i.e. Heavy Metal Switchgrass, Dwarf Fountain Grass)	TBD	Cont.	3 Gal.	Full Plants (Species, quantity & plant spacing TBD)
LAWNS						
51,200	SF	Seeded Lawns - Fescue Blend		Seed	SF	See Notes & Specifications



1 SPECIAL USE LANDSCAPE PLAN
L101 SCALE: 1"=20'-0"



PROJECT INFORMATION:

PROJECT NUMBER:

24098

SCHEMATIC DESIGN

CANAAAN BAPTIST
CHURCH ADDITION

REVISION TRACKING:

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SPECIAL USE
LANDSCAPE PLAN

SHEET ISSUE DATE:

2026-05-26

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