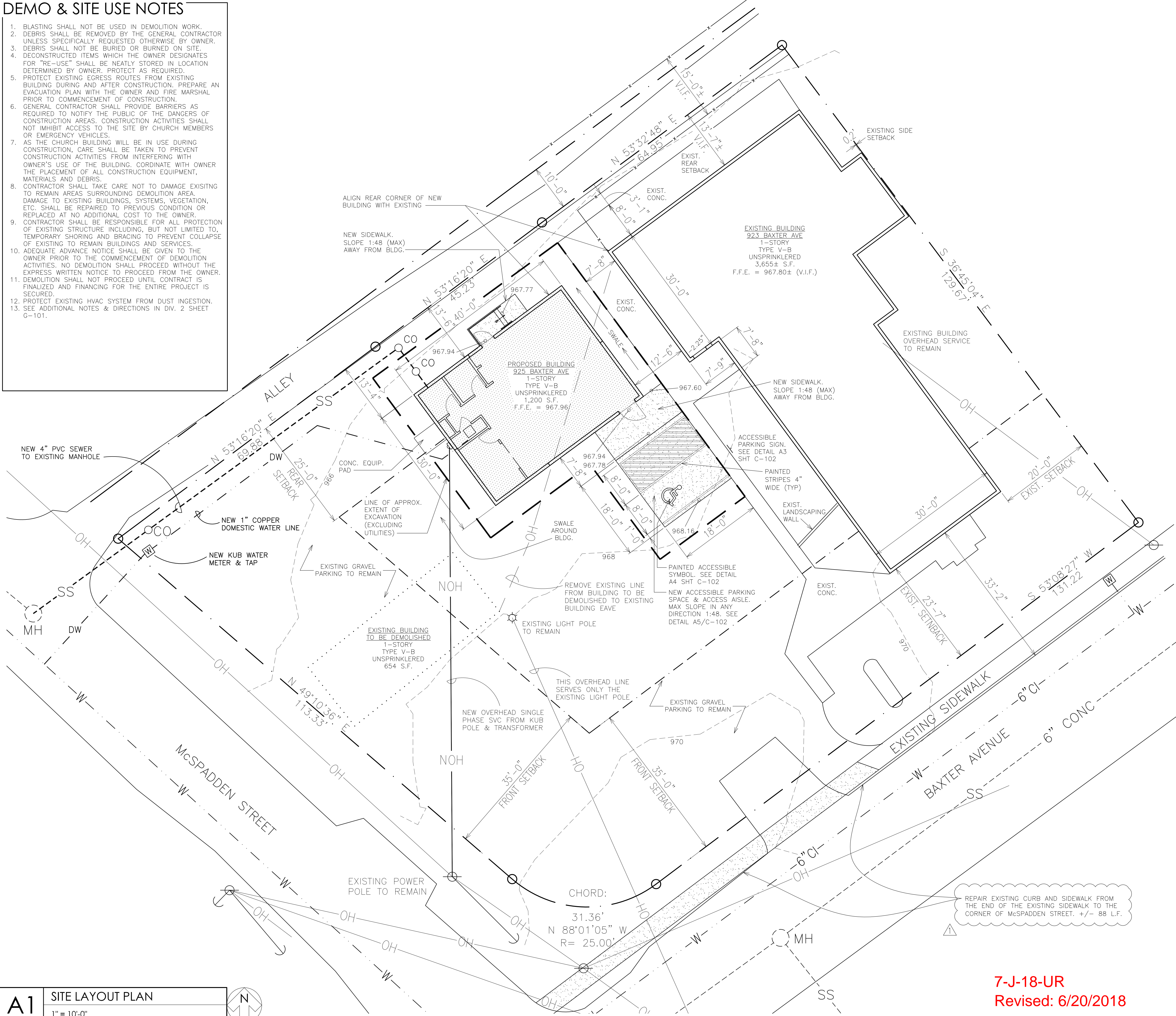


DEMO & SITE USE NOTES

1. BLASTING SHALL NOT BE USED IN DEMOLITION WORK.
2. DEBRIS SHALL BE REMOVED BY THE GENERAL CONTRACTOR UNLESS SPECIFICALLY REQUESTED OTHERWISE BY OWNER.
3. DEBRIS SHALL NOT BE BURIED OR BURNED ON SITE.
4. DECONSTRUCTED ITEMS WHICH THE OWNER DESIGNATES FOR "RE-USE" SHALL BE NEATLY STORED IN LOCATION DETERMINED BY OWNER. PROTECT AS REQUIRED.
5. PROTECT EXISTING EGRESS ROUTES FROM EXISTING BUILDING DURING AND AFTER CONSTRUCTION. PREPARE AN EVACUATION PLAN WITH THE OWNER AND FIRE MARSHAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. GENERAL CONTRACTOR SHALL PROVIDE BARRIERS AS REQUIRED TO NOTIFY THE PUBLIC OF THE DANGERS OF CONSTRUCTION AREAS. CONSTRUCTION ACTIVITIES SHALL NOT INHIBIT ACCESS TO THE SITE BY CHURCH MEMBERS OR EMERGENCY VEHICLES.
7. AS THE CHURCH BUILDING WILL BE IN USE DURING CONSTRUCTION, CARE SHALL BE TAKEN TO PREVENT CONSTRUCTION ACTIVITIES FROM INTERFERING WITH OWNER'S USE OF THE BUILDING. COORDINATE WITH OWNER THE PLACEMENT OF ALL CONSTRUCTION EQUIPMENT, MATERIALS AND DEBRIS.
8. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING TO REMAIN AREAS SURROUNDING DEMOLITION AREA. DAMAGE TO EXISTING BUILDINGS, SYSTEMS, VEGETATION, ETC. SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROTECTION OF EXISTING STRUCTURE INCLUDING, BUT NOT LIMITED TO, TEMPORARY SHORING AND BRACING TO PREVENT COLLAPSE OF EXISTING TO REMAIN BUILDINGS AND SERVICES.
10. ADEQUATE ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER PRIOR TO THE COMMENCEMENT OF DEMOLITION ACTIVITIES. NO DEMOLITION SHALL PROCEED WITHOUT THE EXPRESS WRITTEN NOTICE TO PROCEED FROM THE OWNER.
11. DEMOLITION SHALL NOT PROCEED UNTIL CONTRACT IS FINALIZED AND FINANCING FOR THE ENTIRE PROJECT IS SECURED.
12. PROTECT EXISTING HVAC SYSTEM FROM DUST INGESTION.
13. SEE ADDITIONAL NOTES & DIRECTIONS IN DIV. 2 SHEET G-101.



SITE NOTES

- MUNICIPAL JURISDICTION: CITY OF KNOXVILLE, TN
- SITE ZONE: R-1A
- PARCEL ID: 094CS01001
- WARD: 20
- BLOCK: 21/21104
- SITE SIZE: 0.49 ACRE (21,479 S.F.)
- EXISTING BUILDING (TO REMAIN):  
923 BAXTER AVENUE  
3,725 GROSS SQ.FT.  
1 STORY  
TYPE V-B, UNSPRINKLERED  
A-3 "RELIGIOUS WORSHIP"
- PROPOSED BUILDING:  
925 BAXTER AVENUE  
1,200 GROSS SQ.FT.  
1 STORY  
TYPE V-B, UNSPRINKLERED  
A-3 "RELIGIOUS WORSHIP"
- VARIANCE REQUESTS:
1. MPC USE-ON-REVIEW (PENDING):
    - 1.1. SITE PLAN
    - 1.2. FLOOR PLAN
    - 1.3. EXTERIOR ELEVATIONS
  2. REAR SETBACK (PENDING): REQUEST REDUCTION IN REAR SETBACK TO 13'-0" FROM 25'-0" SO THAT NEW BUILDING WALL CAN ALIGN WITH EXISTING BUILDING WALL
- PARKING NOTES:
1. ORIGINAL BUILDING WAS BUILT ca.1949, PRIOR TO ADOPTION OF ZONING ORDINANCE.
  2. PROPOSED ADDITION WOULD NOT INCREASE THE REQUIRED PARKING.
  3. THEREFORE, THE EXISTING GRAVEL PARKING AREA MAY REMAIN WITH THE UNDERSTANDING THAT NO ADDITIONAL IMPERVIOUS AREA WILL BE ADDED PAST THE COMPLETION OF THIS PROJECT.
  4. SINGLE PAVED ACCESSIBLE PARKING SPACE AND ACCESS AISLE AS SHOWN ON PLAN.

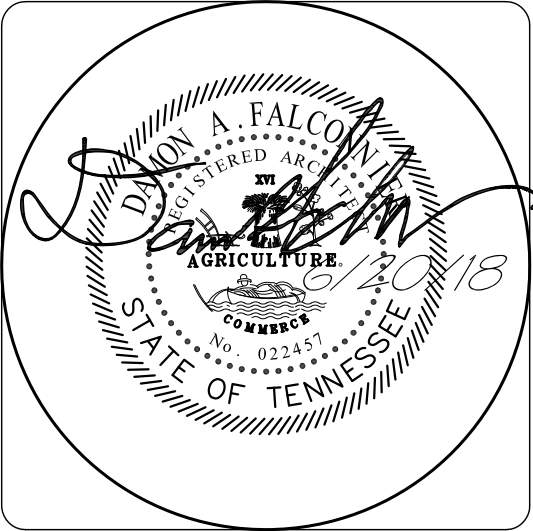
- SITE DEVELOPMENT NOTES:
1. COORDINATE ALL SITE UTILITIES SIZES AND LOCATIONS WITH KUB OR OTHER LOCAL UTILITY.
  2. LANDSCAPING IS BY OWNER, INCLUDING ORNAMENTAL HORTICULTURE AND PERMANENT LAWNS.
  3. SEED AND STRAW BY GC ONLY TO STABILIZE SITE. REPAIR UTILITY EXCAVATIONS AND REPLACE DISTURBED LAWNS.
  4. EXCAVATION AREA NOT TO EXCEED 2,800 S.F. (EXCLUDING UTILITY TRENCHES).
  5. NEW BUILDING DOES NOT HAVE NATURAL GAS SERVICE.
  6. SITE PLAN BASED ON ARCHITECT'S FIELD DOCUMENTATION, PUBLICALLY AVAILABLE GIS DATA AND ORIGINAL SURVEY/PLAT PREPARED BY CANNON & CANNON, DATED SEPTEMBER 24, 2012.
  7. CONCRETE EQUIPMENT PADS SHALL BE 6" thk 4000 psi CONCRETE w/ 6x6x1.4/1.4 WWF OVER 4" (MIN) COMPACTED CRUSHED STONE BASE. VERIFY REQUIRED SIZES WITH MECHANICAL CONTRACTOR. SLOPE SLIGHTLY TO DRAIN AWAY FROM BUILDING.
  8. VERIFY SPOT ELEVATIONS IN FIELD. REPORT DISCREPANCIES TO ARCHITECT.
  9. SITE LIGHTING IS EXISTING TO REMAIN; NO PROPOSED IMPROVEMENTS OR CHANGES.
  10. COORDINATE COMMUNICATIONS REQUIREMENTS WITH LOCAL UTILITY AND OWNER.

SITE LEGEND

- INDICATES EXISTING TOPOGRAPHICAL CONTOURS. NUMBER INDICATES ELEVATION IN FEET ABOVE MEAN SEA LEVEL AND IS PLACED ON HIGH SIDE OF CONTOUR.
- INDICATES EXISTING BUILDING TO BE DEMOLISHED
- INDICATES EXISTING PROPERTY LINE & CORNER PIN
- INDICATES SEWER LINE
- INDICATES OVERHEAD POWER LINE TO BE REMOVED
- INDICATES OVERHEAD POWER LINE
- INDICATES DOMESTIC SUPPLY WATER LINE
- INDICATES NEW BUILDING
- INDICATES EXISTING BUILDING

**FALCONNIER**  
DESIGN COMPANY

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BZA APPLICATION

1. ORIGINAL BUILDING WAS BUILT ca.1949, PRIOR TO ADOPTION OF ZONING ORDINANCE.
2. PROPOSED ADDITION WOULD NOT INCREASE THE REQUIRED PARKING.
3. THEREFORE, THE EXISTING GRAVEL PARKING AREA MAY REMAIN WITH THE UNDERSTANDING THAT NO ADDITIONAL IMPERVIOUS AREA WILL BE ADDED PAST THE COMPLETION OF THIS PROJECT.
4. SINGLE PAVED ACCESSIBLE PARKING SPACE AND ACCESS AISLE AS SHOWN ON PLAN.

FELLOWSHIP HALL

NEW VICTORY  
BAPTIST CHURCH  
925 BAXTER AVENUE  
KNOXVILLE, TN 37921

SITE LAYOUT & UTILITIES PLAN

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

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ISSUED:	06/15/18
REVISION(S):	Δ 06/20/18 Δ ~
FILE:	2018-045

C-101

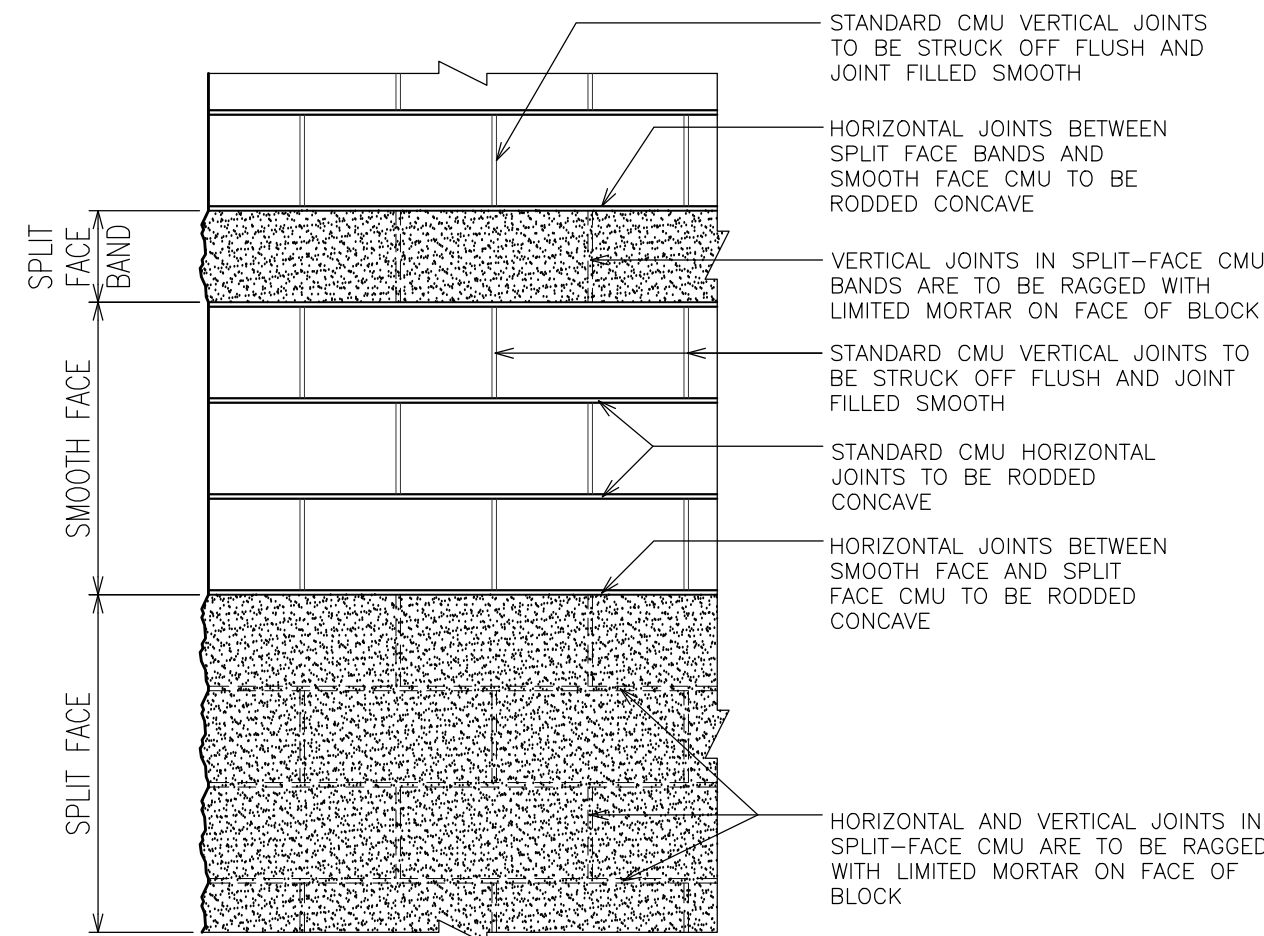
A1 SITE LAYOUT PLAN  
1" = 10'-0"

7-J-18-UR  
Revised: 6/20/2018

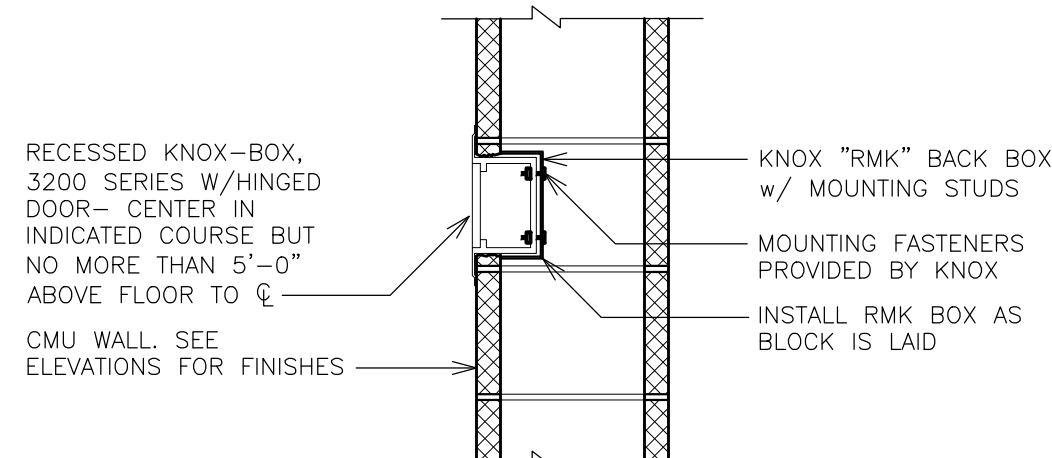




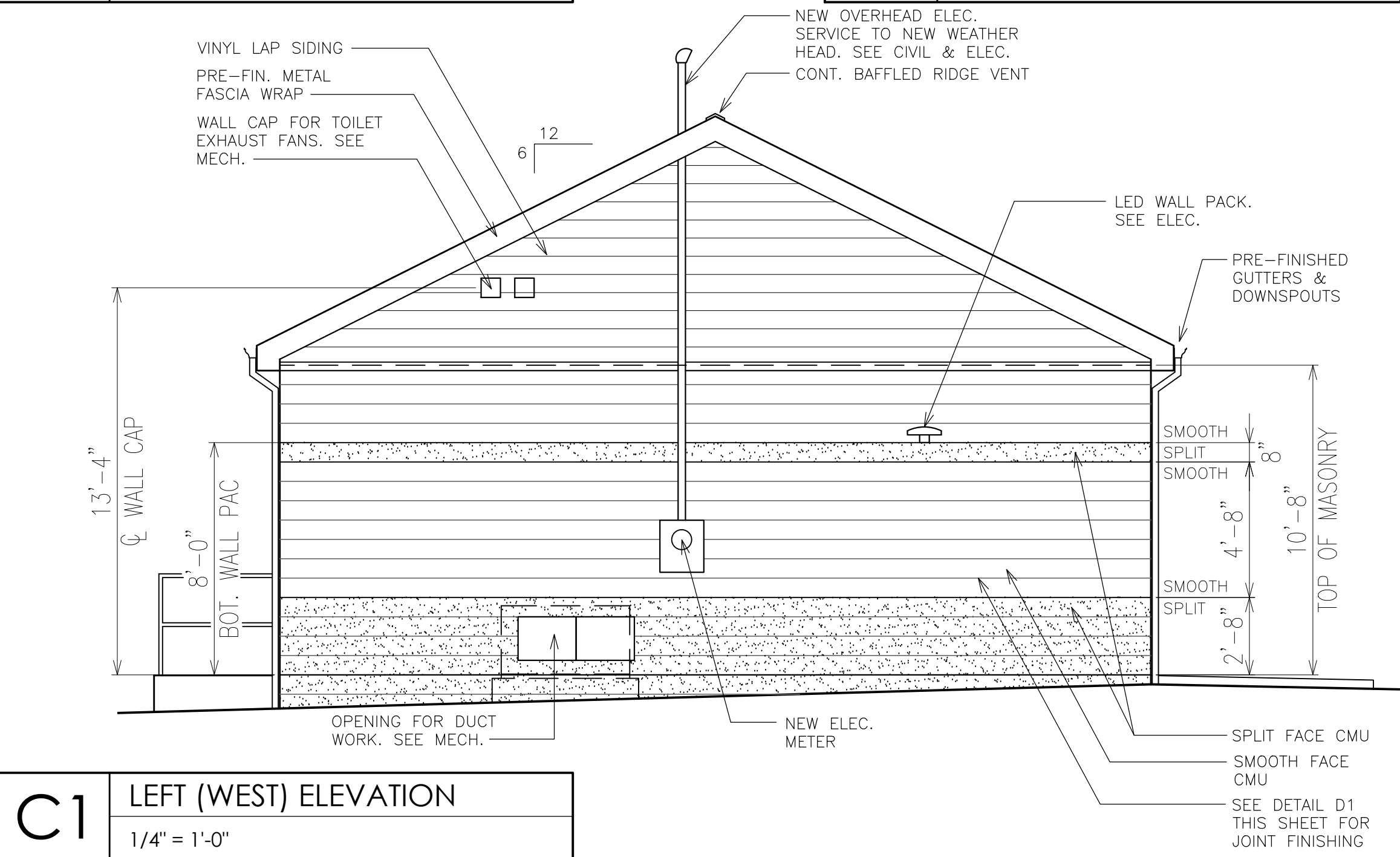




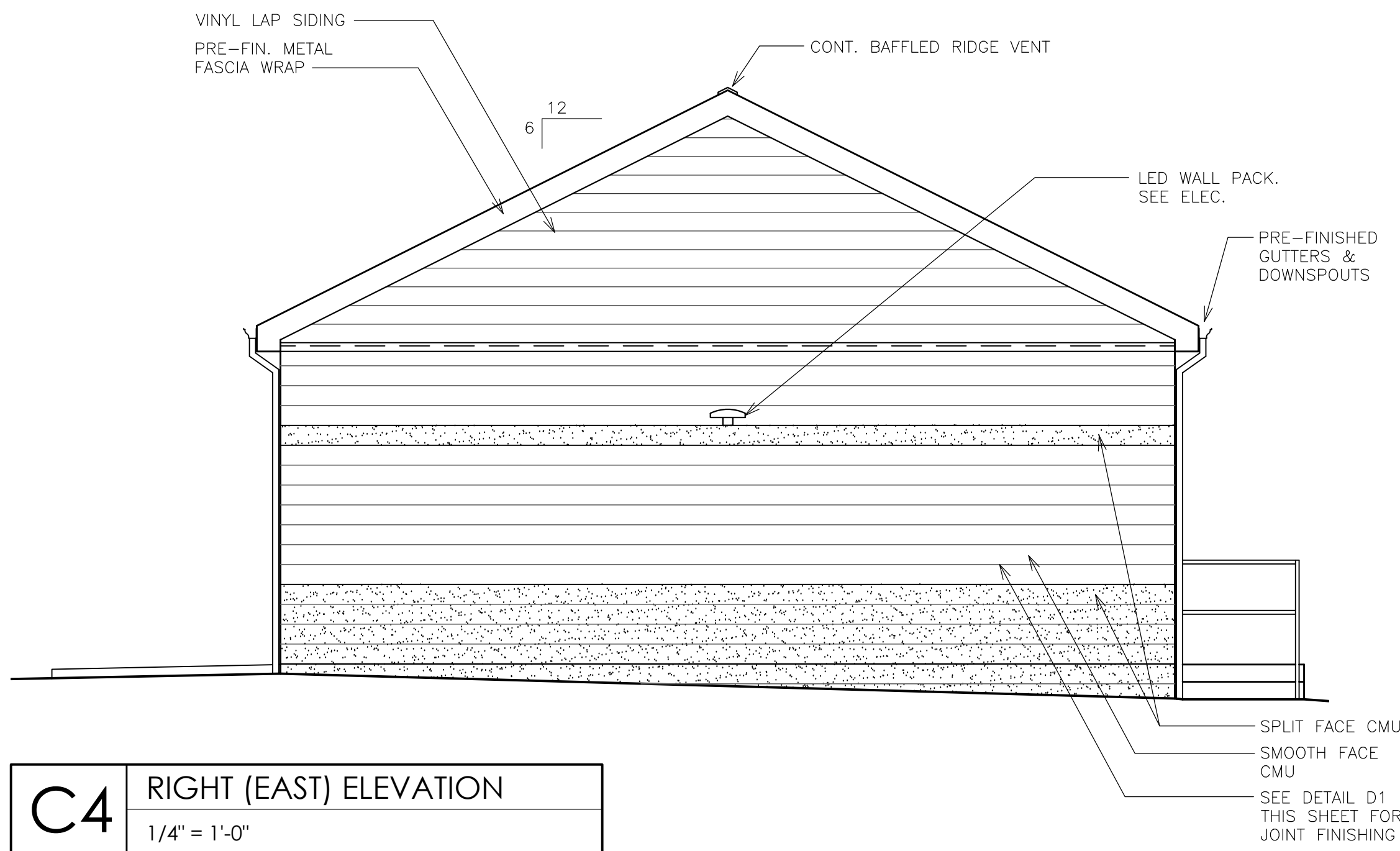
**D1** EXTERIOR CMU JOINT DETAIL  
3/4" = 1'-0"



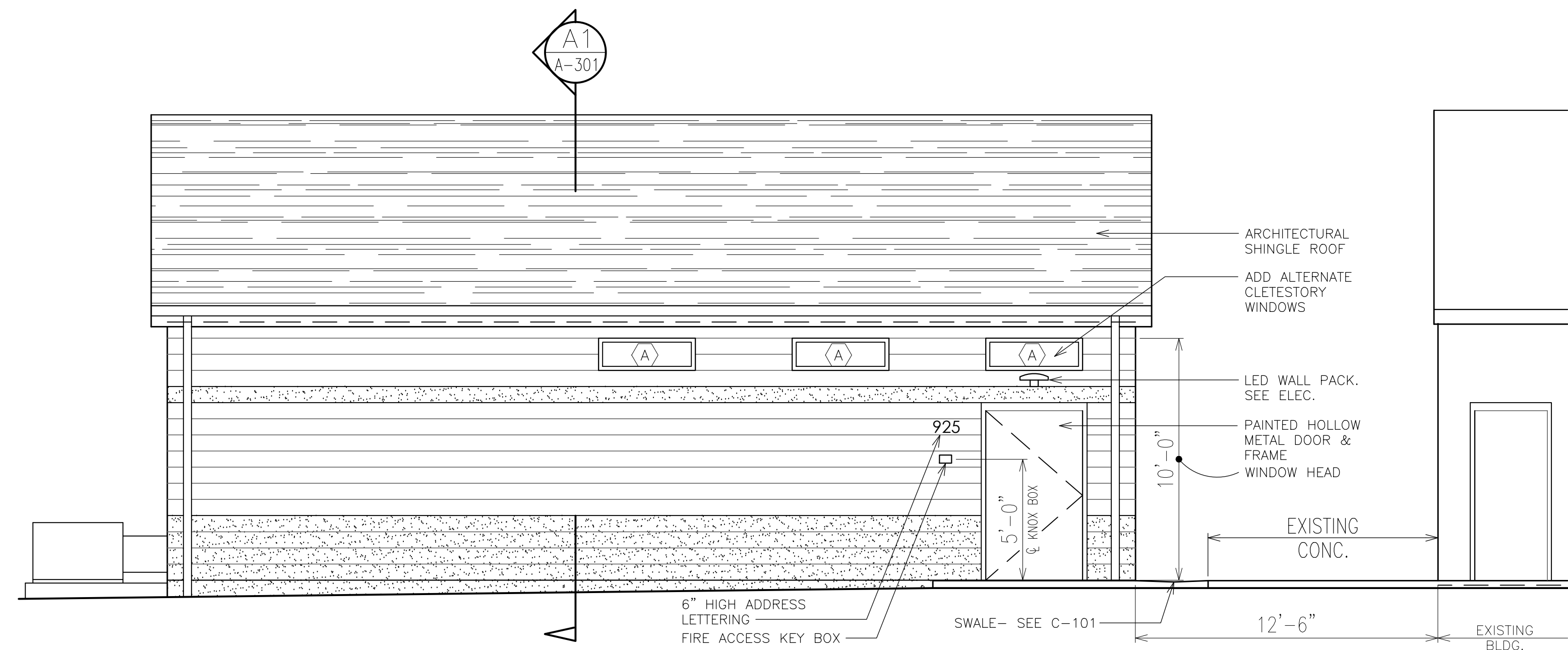
**D1** FIRE DEPARTMENT KEY BOX  
1" = 1'-0"



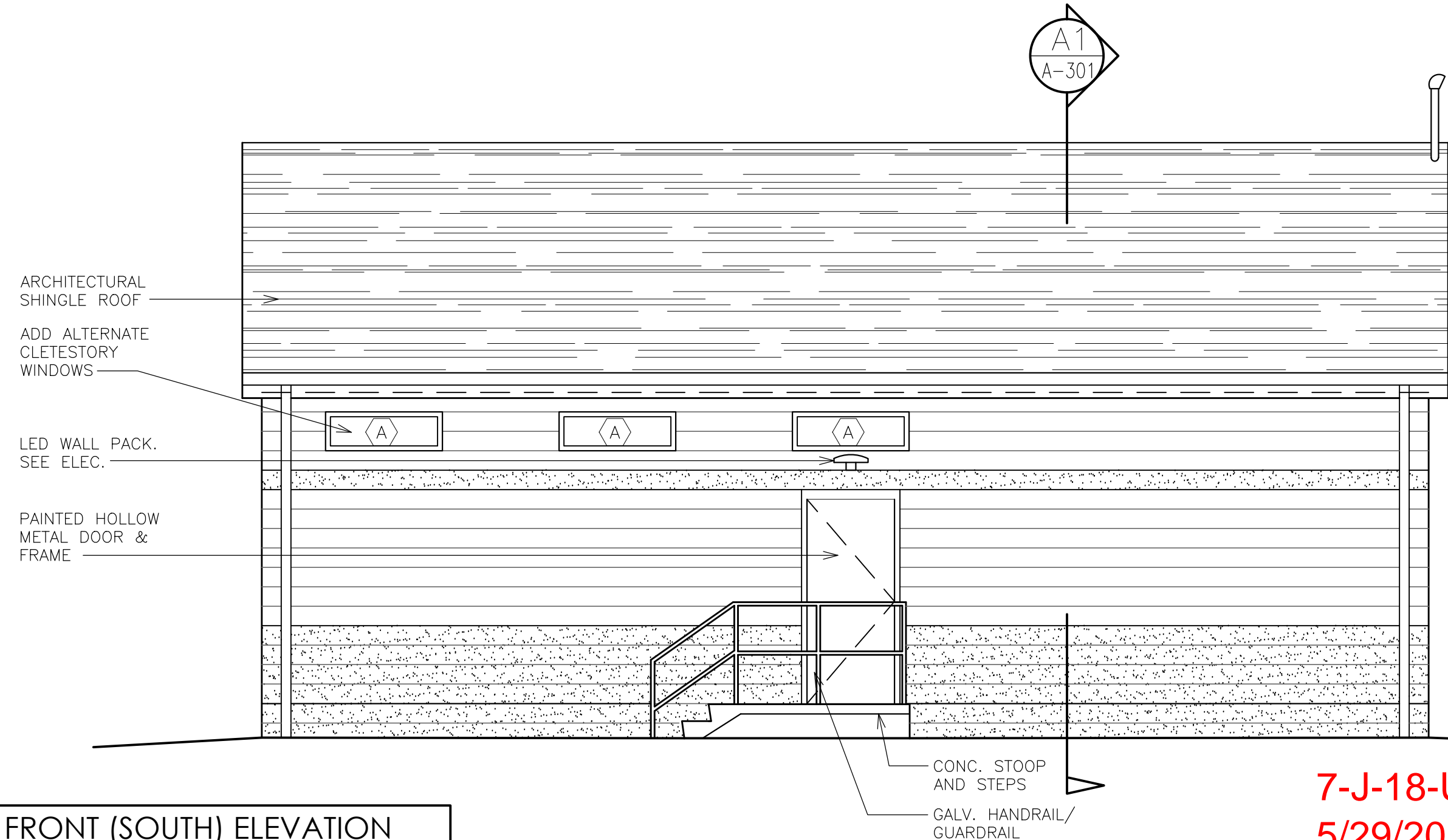
**C1** LEFT (WEST) ELEVATION  
1/4" = 1'-0"



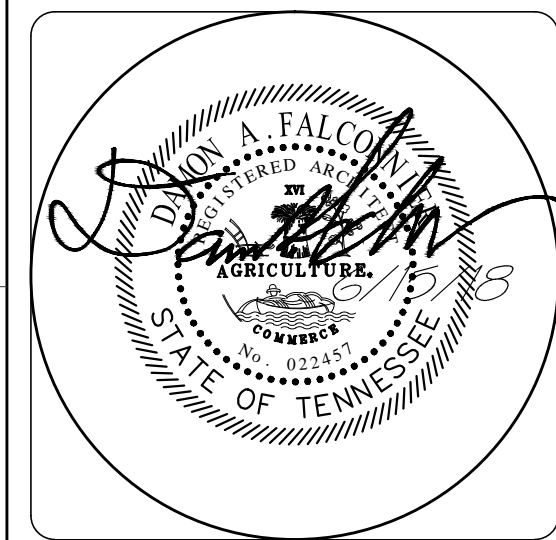
**C4** RIGHT (EAST) ELEVATION  
1/4" = 1'-0"



**A1** FRONT (SOUTH) ELEVATION  
1/4" = 1'-0"



**A4** FRONT (SOUTH) ELEVATION  
1/4" = 1'-0"



**BZA APPLICATION**

**FELLOWSHIP HALL**

NEW VICTORY  
BAPTIST CHURCH  
925 BAXTER AVENUE  
KNOXVILLE, TN 37921

**EXTERIOR  
ELEVATIONS**

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