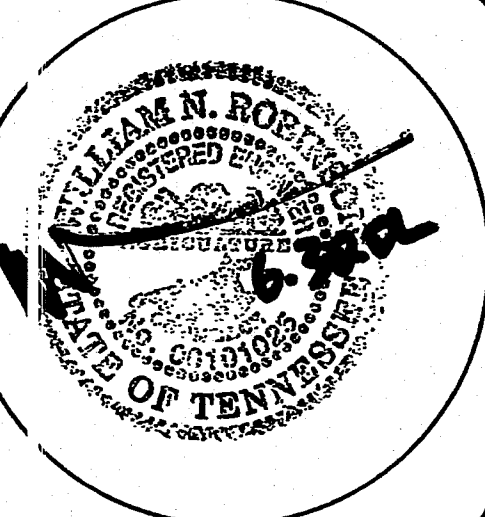


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**GEORGE W. REAGAN COMPANY**  
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 Knoxville, TN 37927  
 Ph: 865.522.6175  
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**GENERAL CONTRACTOR**  
**MILL ROBINSON & ASSOCIATES**  
 131 BRENTWOOD DR.  
 OAK RIDGE, TN 37830  
 865-426-7918

**GIBBS CENTER EXPANSION**  
**RURAL/METRO FIREHOUSE**  
 7345 TAZEWELL PIKE  
 CORRYTON, TN 37721  
 (KN) (X) COUNTY JURISDICTION

**SITE LAYOUT PLAN**

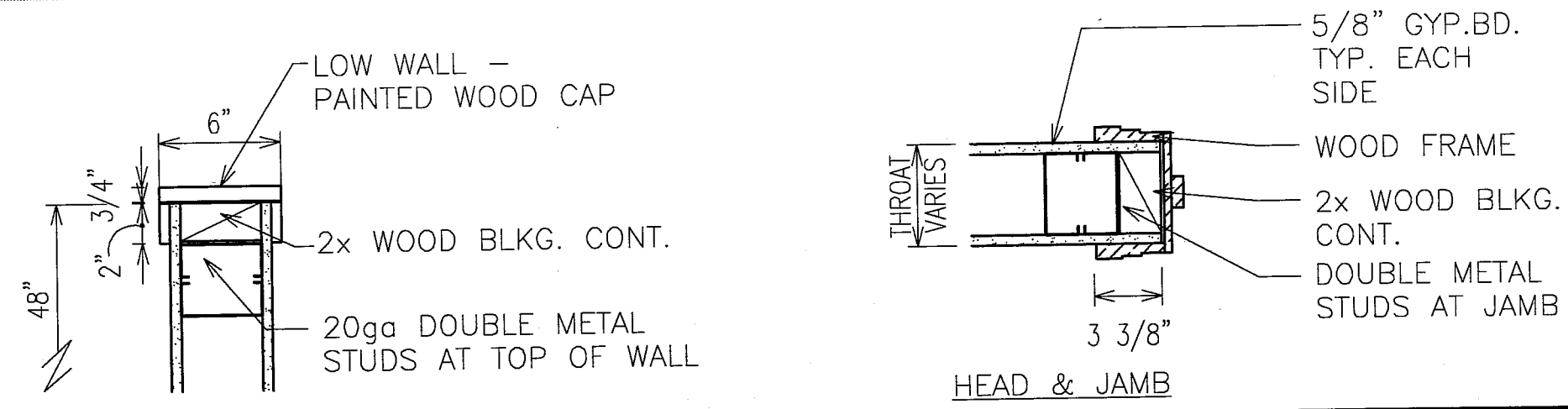
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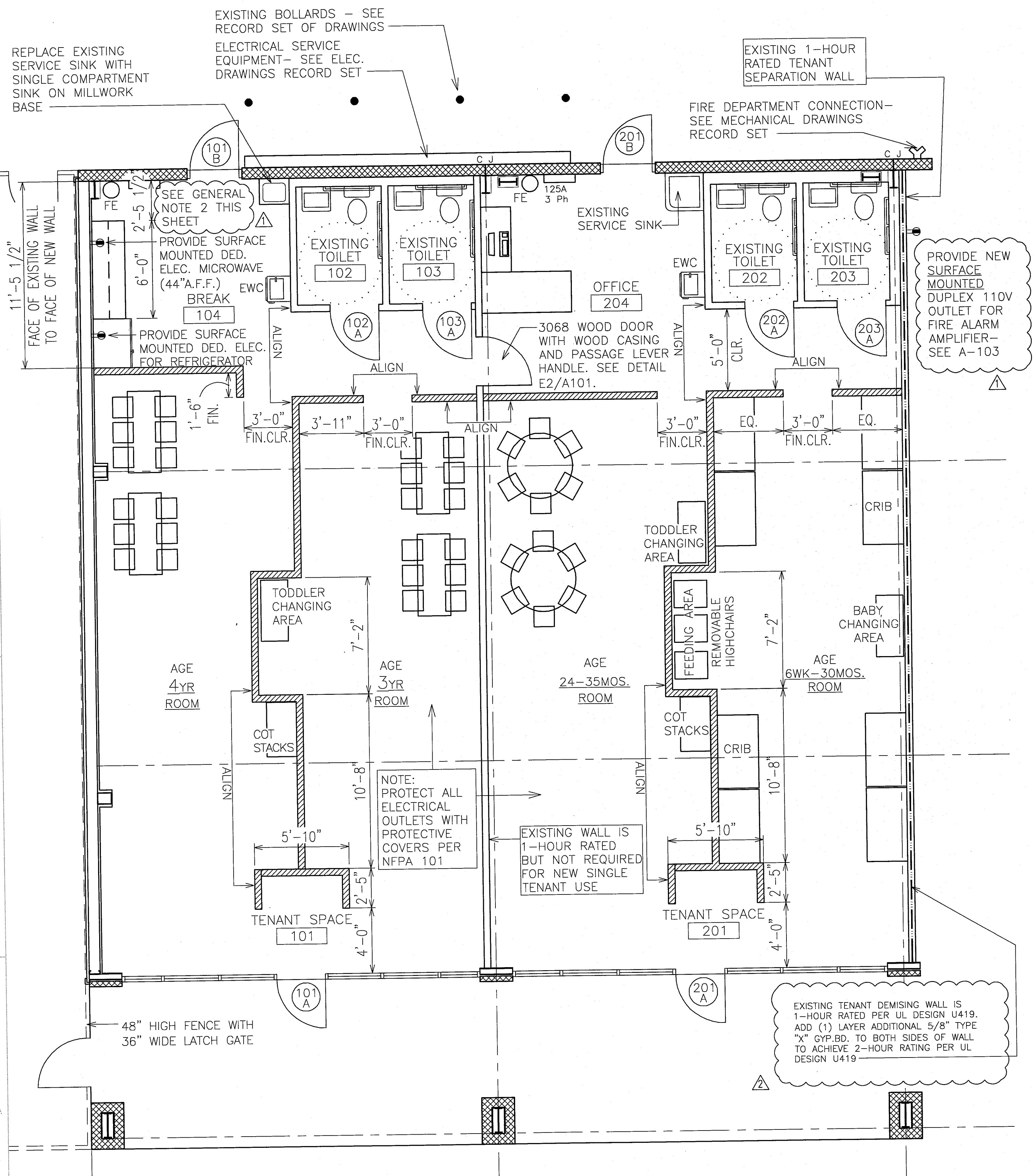
- NOTES:**
- GIBBS CENTER TAZEWELL PIKE KNOXVILLE, TN
  - USE: SHOPPING CENTER.
  - TOTAL NEW BUILDING AREA: 13,710
  - THIS PROPERTY IS IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA MAPS.
  - SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCH MARK.
  - SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS. DATUM: NAVD83.
  - UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
  - PARKING SUMMARY: TOTAL NEW SPACES 105

8-A-10-UR



**E1 WOOD CAP DETAIL**  
1/4" = 1'-0"

**E2 HEAD AND JAMB DETAIL**  
1/4" = 1'-0"



**A1 FLOOR PLAN**  
1/4" = 1'-0"

**FINISH SCHEDULE - EXISTING TO REMAIN**

ROOM	FLOOR	BASE	WALL	CEILING	NOTES
101	TENANT SPACE	●	●	●	2,6
102	EXISTING TLT RM	●	●	●	
103	EXISTING TLT RM	●	●	●	
104	BREAK AREA	●	●	●	4,5
201	TENANT SPACE	●	●	●	2,6
202	EXISTING TLT RM	●	●	●	
203	EXISTING TLT RM	●	●	●	
204	OFFICE	●	●	●	

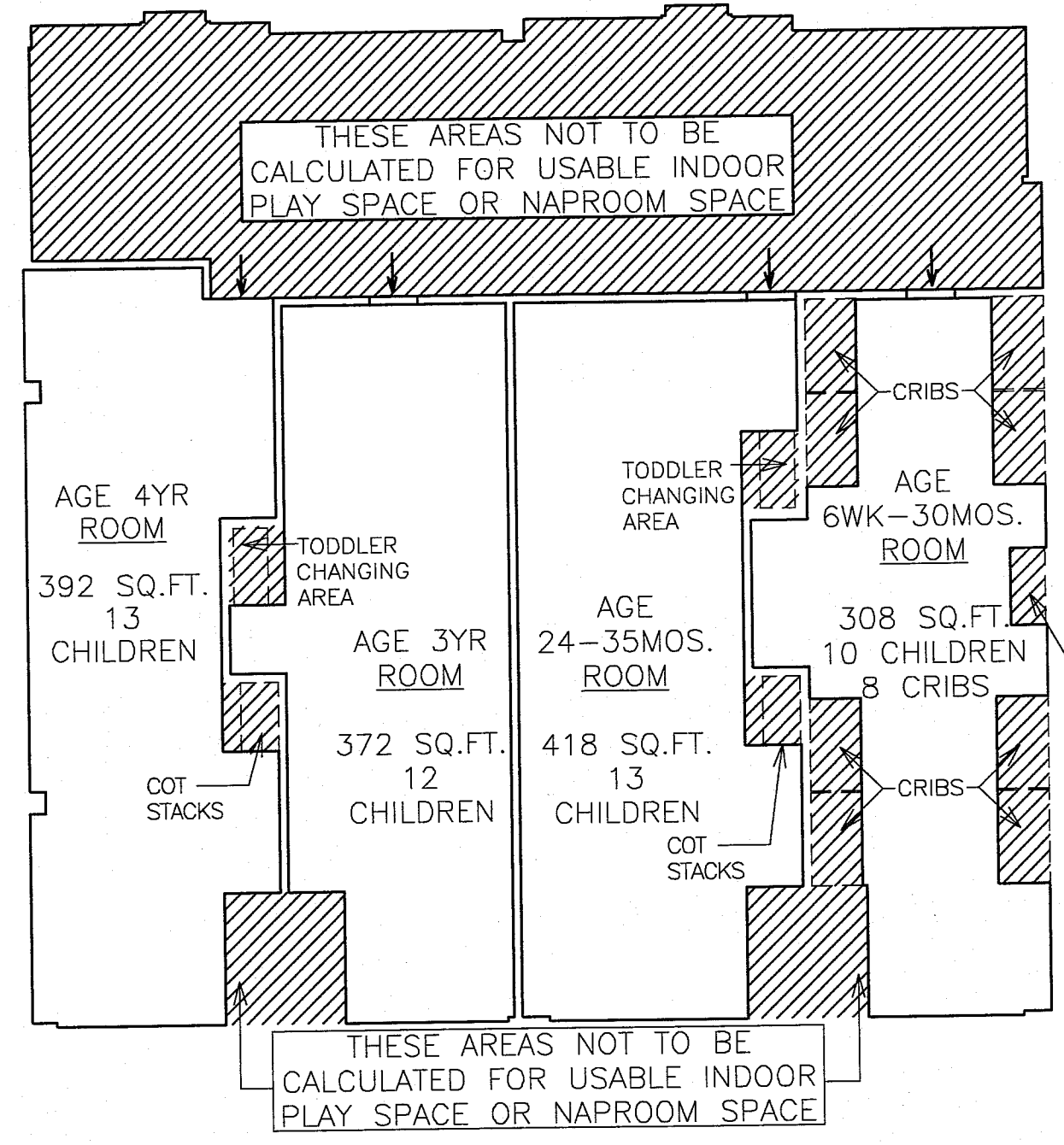
1. ALL FINISH MATERIALS TO MEET CLASS B OR HIGHER.
2. PAINTED WOOD CAP ON ALL 48" LOW WALLS. SEE DETAIL E1/A101.
3. ALL INTERIOR DOORS AND DOOR FRAMES TO BE PAINTED.
4. WALL AND BASE CABINETS IN BREAK AREA BY OWNER.
5. REFRIGERATOR AND MICROWAVE BY OWNER.
6. FURNISHINGS BY OWNER.

**GENERAL NOTES**

1. REFER TO RECORD DRAWINGS FOR EXISTING SITE PLANS, SITE UTILITY PLAN, BUILDING REFLECTED CEILING PLANS, ELECTRICAL, PLUMBING, MECHANICAL, STRUCTURAL, FIRE PROTECTION, AND DOOR/HARDWARE SCHEDULE.
2. THERE IS NO FOOD PREPARATION CAPABILITY IN THE BREAK AREA (ROOM 104). THERE WILL BE A REFRIGERATOR FOR STORING LUNCHES AND FOOD BROUGHT BY STAFF AND CHILDREN FROM HOME AND A MICROWAVE FOR WARMING FOOD AND BEVERAGES BROUGHT FROM HOME. THERE IS TO BE NO LONG TERM FOOD STORAGE AND NO REGULAR, PREPARED MEALS TO BE SERVED. THE BREAK ROOM WILL NOT BE EQUIPPED WITH A RANGE OVEN OR COOK TOP.

**GRAPHIC LEGEND**

- COLUMN LINE - SEE STRUCT. ON RECORD SET
- DOOR TAG - SEE SCHEDULE SHEET A-601 ON RECORD SET
- INDICATES FIRE EXTINGUISHER - SEE G-102 ON RECORD SET FOR SPECIFICATION.
- NEW WALL TO CEILING MADE OF 3 5/8" 20ga METAL STUDS, 16" O.C., FINISHED GYPSUM BOARD BOTH SIDES
- NEW WALL IS TO BE 48" IN HEIGHT MADE OF 3 5/8" 20ga METAL STUDS, 16" O.C., FINISHED GYPSUM BOARD BOTH SIDES, PAINTED WOOD CAP ON TOP AND VERTICAL. SEE DETAIL E1/A101.



**B4 LICENSED CAPACITY OF PHYSICAL SPACE**  
1/8" = 1'-0"

**NOTE:** CALCULATIONS FOR LICENSURE CAPACITY ARE NOT THE SAME AS THE OCCUPANCY CALCULATIONS FOR THE REQUIRED EGRESS CAPACITIES FOUND ON SHEET A-103. THE BUILDING AND LIFE SAFETY CODES HAVE THEIR OWN, SEPARATE CRITERIA FOR OCCUPANCY CALCULATION.

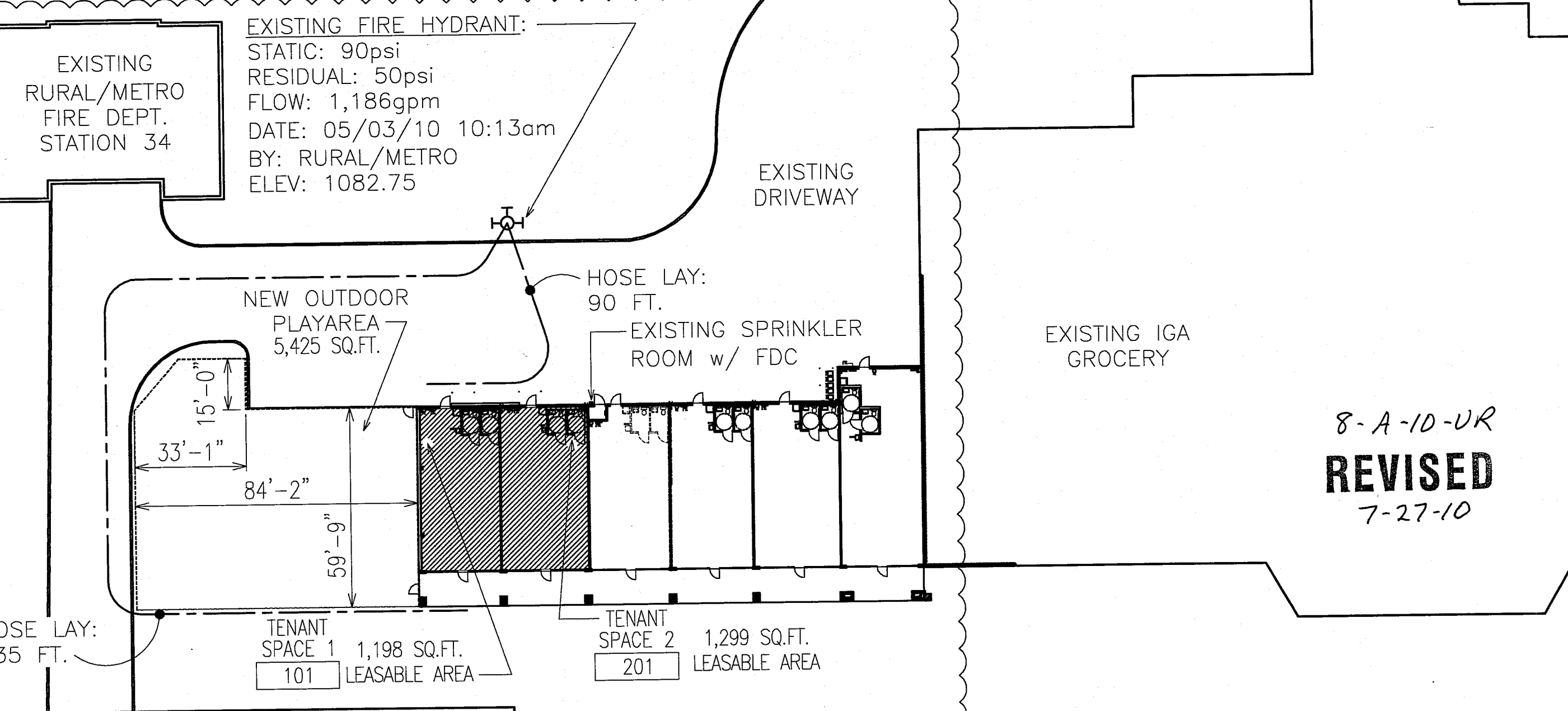
**LICENSURE RULE 1240-04-03-.12**  
**LICENSED CAPACITY OF PHYSICAL SPACE**

- A MINIMUM OF THIRTY (30) SQUARE FEET OF USABLE INDOOR PLAY SPACE MUST BE PROVIDED FOR EACH CHILD.

ADJACENT DIAGRAM SHOWS FOUR (4) CLASSROOMS WITH A TOTAL OF 48 CHILDREN MAXIMUM AND 1,490 SQUARE FEET OF USEABLE INDOOR PLAY SPACE TO BE PROVIDED.

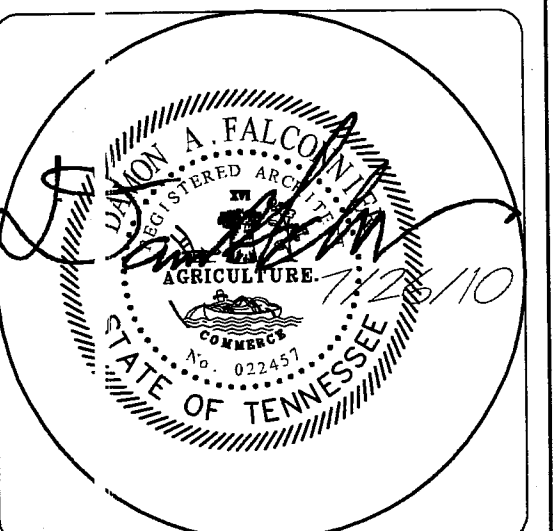
- EACH NAPROOM MUST CONTAIN A MINIMUM OF THIRTY (30) SQUARE FEET OF FLOOR SPACE PER CHILD.

AGE 6WK-30 MOS: 308 SQ.FT. /30 = 10 CHILDREN  
 AGE 24-35 MOS: 418 SQ.FT./30 = 13 CHILDREN  
 AGE 3YR: 372 SQ.FT./30 = 12 CHILDREN  
 AGE 4YR: 392 SQ.FT./30 = 13 CHILDREN



**A4 SCHEMATIC BLDG. FLOOR PLAN**  
1/32" = 1'-0"

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**FLOOR PLAN**

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 1 06/28/10 2 07/26/10  
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