

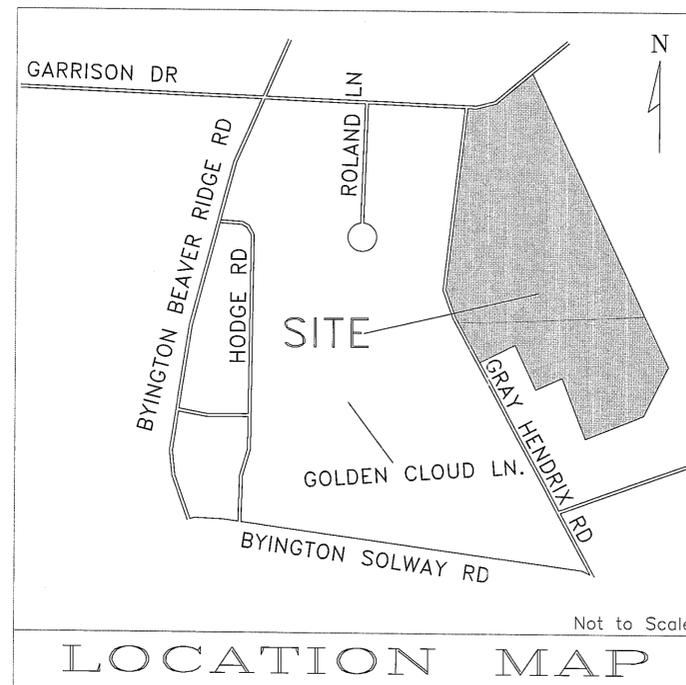
CONCEPT PLAN  
FOR

PRIMOS RESIDENTIAL DEVEL.  
ON GRAY HENDRIX RD.

CLT MAP 090, PARCELS 171 & 172  
DISTRICT-6, KNOX COUNTY, TENNESSEE

INDEX OF PLANS

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SOUTHLAND ENGINEERING CONSULTANTS, LLC  
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KNOXVILLE, TENNESSEE 37931  
PHONE: (865) 694-7756  
FAX: (865) 693-9699  
E-MAIL: wrghabi@sengconsultants.com  
www.southlandengineeringusa.com

OWNER:

PRIMOS LAND COMPANY, LLC  
4907 BALL ROAD  
KNOXVILLE, TENNESSEE 37931  
PHONE (865) 694-8582  
FAX: (865) 693-9699

SITE ADDRESS:  
2800 GRAY HENDRIX ROAD  
KNOXVILLE, TENNESSEE 37931

REVISED!  
7-19-13

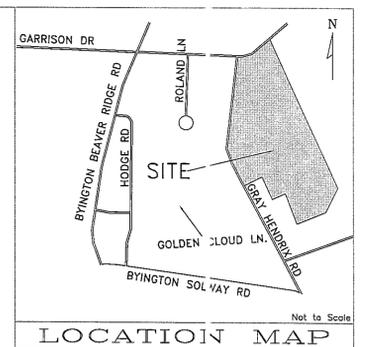


JUNE 05, 2013  
REV. 7-17-13

8-SA-13-C  
8-A-13-UR

SHEET 1 OF 4 SHEETS

GHR-04-23-13-TS



NOTE:  
THREE DAYS PRIOR TO ANY EARTHWORK  
OR CONSTRUCTION CONTRACTOR MUST  
CONTACT:  
TENNESSEE CNE-CALL  
1-800-351-1111  
RECORD AND SAVE YOUR  
CONFIRMATION NUMBER.

- NOTES:
1. ALL DIMENSIONS AND ACREAGE ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAT.
  2. A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR LOT LINES.
  3. A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
  4. THIS PROPERTY CONTAINS APPROXIMATELY 57.17± ACRES AND IS SUBDIVIDED INTO 185 SINGLE FAMILY LOTS AND AMENITY AREA.
  5. PRE ZONING (4 DU/AC) APPROVED BY MPC ON JULY 11, 2013 MEETING.
  6. CONTOURS PROVIDED BY KNOXVILLE, KNOX COUNTY KGIS AND ROAD PROFILES ARE BASED ON KGIS.
  7. UTILITIES:  
WATER: WEST KNOX UTILITY DISTRICT  
SEWER: WEST KNOX UTILITY DISTRICT  
ELECTRIC: KNOXVILLE UTILITIES BOARD  
GAS: KNOXVILLE UTILITIES BOARD  
TELEPHONE: AT&T
  8. THIS SUBDIVISION WILL HAVE A HOME OWNERS ASSOCIATION.
  9. BUILDING SETBACK LINES WILL BE AS FOLLOWS:  
FRONT: 20'  
SIDES: 5'  
REAR: 15' (UNLESS CONTROLLED BY 35' PERIPHERAL SETBACK SEE NOTE 12C)
  10. ROAD PROFILE IS BASED ON KGIS TOPO.
  11. BOUNDARY IS BASED ON A FIELD SURVEY.
  12. VARIANCE REQUESTED:  
a) HORIZONTAL CURVE RADIUS FROM 250' TO 200', STA 1+81, ROAD "E",  
b) HORIZONTAL CURVE RADIUS FROM 250' TO 150', STA 1+43, ROAD "E",  
c) PERIPHERAL SETBACK FROM 35' TO 25' FOR LOTS 156-158  
d) VERTICAL CURVE, K VALUE FROM 15.0 TO 11.0 BECAUSE TYPING TO AN EXISTING PAVEMENT.
  13. ALL ROADS IN THIS SUBDIVISION ARE PUBLIC ROAD WITH 50' RIGHT-OF-WAY.
  14. INSTALL SPEED CONTROL, CALMING DEVICES PER KNOX COUNTY SPECIFICATIONS AT STA. 8+66 FOR ROAD "A", STA. 6+20 FOR ROAD "C" AND STA. 4+93 FOR ROAD "D".
  15. 0.24 ACRES TO BE DONATED TO KNOX COUNTY FOR ROAD INTERSECTION IMPROVEMENT.

NOTE:  
CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY

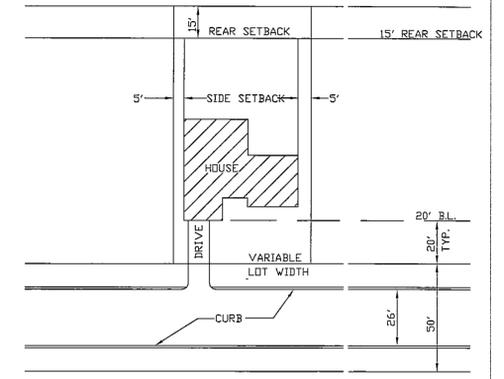
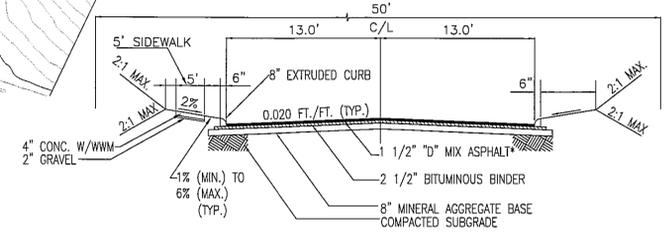
CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES; TO CONFORM WITH RECOMMENDATIONS SET FORTH IN ACC. MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK; TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.

OSHA RULES SHALL BE ABIDED BY.

LEGEND

●	IRON PIN FOUND
○	A POINT
—	SANITARY SEWER NH
—	SEWER LINE
—	FENCE LINE
○	FENCE POST CORNER
—	GAS LINE
—	WATER METER
—	WATER LINE
—	OVERHEAD UTILITIES
—	POWER POLE

NOTE:  
CONTRACTOR TO NOTIFY ENGINEER BEFORE START OF CONSTRUCTION



8-SA-13-C  
8-A-13-UR



CERTIFICATION OF CONCEPT PLAN

I HEREBY CERTIFY THAT I AM AN ENGINEER, LICENSED TO PRACTICE UNDER THE LAWS OF THE STATE OF TENNESSEE, AND THAT THE ENGINEERING INFORMATION PROVIDED AS PART OF THIS DESIGN PLAN IS TRUE AND IS BASED ON SOUND ENGINEERING PRACTICE.

Waleis Ali Rabei  
ENGINEER  
TENNESSEE CERTIFICATE NO. 22028

REVISOR  
7-19-13

SITE ADDRESS:  
2800 GARY HENDRIX ROAD  
KNOXVILLE, TENNESSEE 37931

OWNER/DEVELOPER:  
PRIMOS LAND COMPANY, LLC  
4909 BALL RD.  
KNOXVILLE, TN 37931  
PHONE: (865) 691-7756  
FAX: (865) 693-1699

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DESIGNED	WAR	APPROVED
DRAWN	WAR	ENGINEER
CHECKED	WAR	

NO.	DATE	REVISION	APPR.
1	7-17-13	REVISED LOT LAYOUT	

SCALE  
HORIZONTAL: 1" = 100'  
CONTOUR INTERVAL: 2'

DATE  
06-05-2013

DEED REFERENCES:  
D.B. INST. # 201305100074032

SCALE IN FEET  
0 100 200

CONCEPT AND DESIGN PLAN  
FOR PRIMOS LAND COMPANY, LLC  
ON GARY HENDRIX ROAD  
CLT MAP 090 PARCELS 171 & 172  
DISTRICT 6, KNOX COUNTY, TENNESSEE

GHR-06-05-13-CP  
SHEET 2 OF 4 SHEETS