

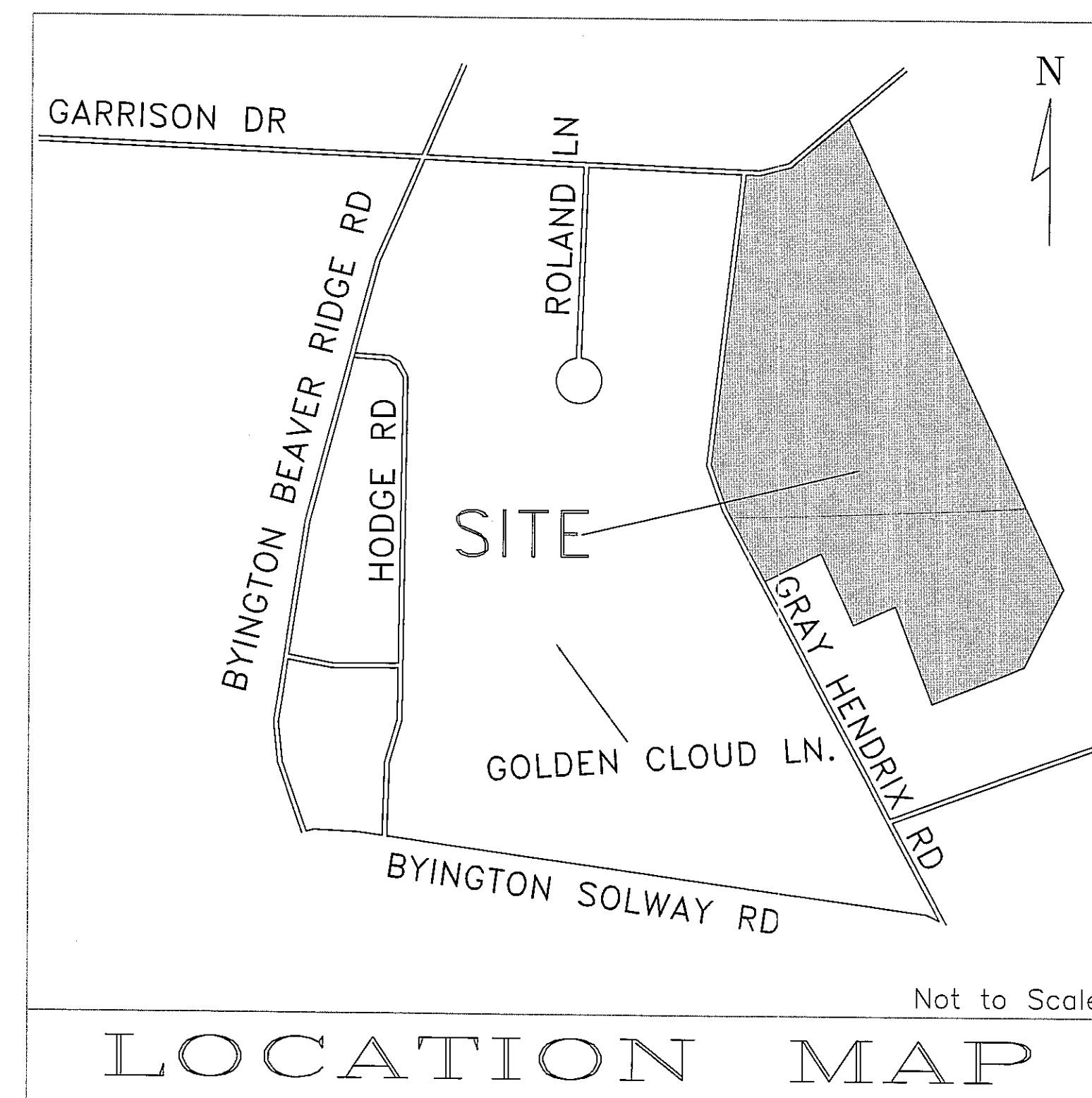
CONCEPT PLAN
FOR

PRIMOS RESIDENTIAL DEVEL.
ON GRAY HENDRIX RD.

CLT MAP 090, PARCELS 171 & 172
DISTRICT-6, KNOX COUNTY, TENNESSEE

INDEX OF PLANS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	CONCEPT PLAN
3	ROAD PROFILE PLAN, SHEET 1
4	ROAD PROFILE PLAN, SHEET 2



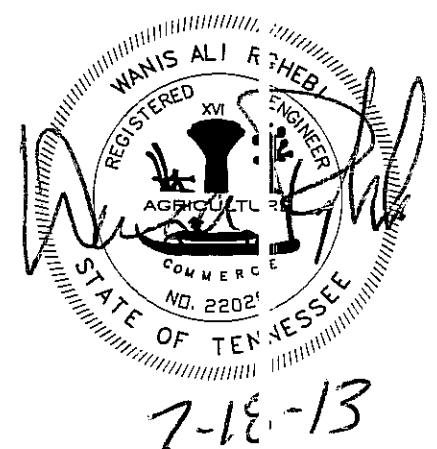
SOUTHLAND ENGINEERING CONSULTANTS, LLC
GENERAL CIVIL & LAND SURVEYORS
4909 BALL ROAD
KNOXVILLE, TENNESSEE 37931
PHONE: (865) 694-7756
FAX: (865) 693-9699
E-MAIL: wrghabi@sengconsultants.com
www.southlandengineeringusa.com

OWNER:

PRIMOS LAND COMPANY, LLC
4907 BALL ROAD
KNOXVILLE, TENNESSEE 37931
PHONE (865) 694-8582
FAX: (865) 693-9699

SITE ADDRESS:
2800 GRAY HENDRIX ROAD
KNOXVILLE, TENNESSEE 37931

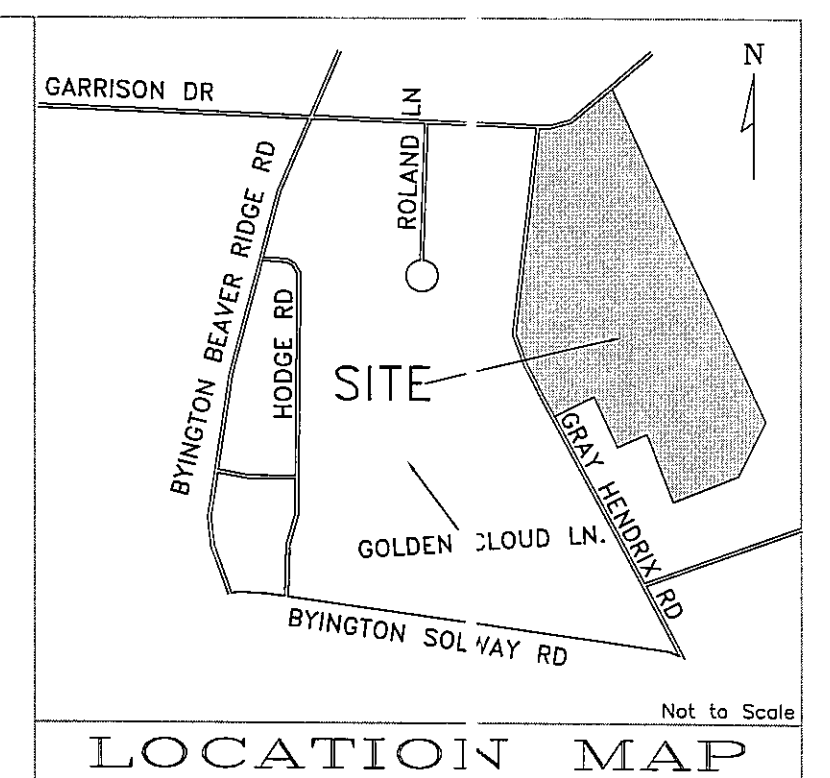
REVISED
7-19-13



JUNE 05, 2013
REV. 7-17-13

8-SA-13-C
8-A-13-UR

SHEET 1 OF 4 SHEETS
GHR-04-23-13-TS



NOTE:
THREE DAYS PRIOR TO ANY EARTHWORK
OR CONSTRUCTION CONTRACTOR MUST
CONTACT:
TENNESSEE CNE-CALL
1-800-351-1111
RECORD AND SAVE YOUR
CONFIRMATION NUMBER.

- NOTES:
1. ALL DIMENSIONS AND ACREAGE ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAT.
 2. A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR LOT LINES.
 3. A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
 4. THIS PROPERTY CONTAINS APPROXIMATELY 57.17± ACRES AND IS SUBDIVIDED INTO 185 SINGLE FAMILY LOTS AND AMENITY AREA.
 5. PRE ZONING (4 DU/AC) APPROVED BY MPC ON JULY 11, 2013 MEETING.
 6. CONTOURS PROVIDED BY KNOXVILLE, KNOX COUNTY KGS AND ROAD PROFILES ARE BASED ON KGS.
 7. UTILITIES:
WATER: WEST KNOX UTILITY DISTRICT
SEWER: WEST KNOX UTILITY DISTRICT
ELECTRIC: KNOXVILLE UTILITIES BOARD
GAS: KNOXVILLE UTILITIES BOARD
TELEPHONE: AT&T
 8. THIS SUBDIVISION WILL HAVE A HOME OWNERS ASSOCIATION.
 9. BUILDING SETBACK LINES WILL BE AS FOLLOWS:
FRONT: 20'
SIDES: 5'
REAR: 15' (UNLESS CONTROLLED BY 35' PERIPHERAL SETBACK SEE NOTE 12C)
 10. ROAD PROFILE IS BASED ON KGS TOPO.
 11. BOUNDARY IS BASED ON A FIELD SURVEY.
 12. VARIANCE REQUESTED:
a) HORIZONTAL CURVE RADIUS FROM 250' TO 200', STA 1+81, ROAD "E".
b) HORIZONTAL CURVE RADIUS FROM 250' TO 150', STA 1+43, ROAD "E".
c) PERIPHERAL SETBACK FROM 35' TO 25' FOR LOTS 156-158.
d) VERTICAL CURVE, K VALUE FROM 150 TO 110 BECAUSE TYPING TO AN EXISTING PAVEMENT.
 13. ALL LOTS IN THIS SUBDIVISION ARE PUBLIC ROAD WITH 50' RIGHT-OF-WAY.
 14. INSTALL SPEED CONTROL CHAINING DEVICES PER KNOX COUNTY SPECIFICATIONS AT STA. 8+66 FOR ROAD "A", STA. 6+20 FOR ROAD "C" AND STA. 4+93 FOR ROAD "D".
 15. 0.24 ACRES TO BE DONATED TO KNOX COUNTY FOR ROAD INTERSECTION IMPROVEMENT.

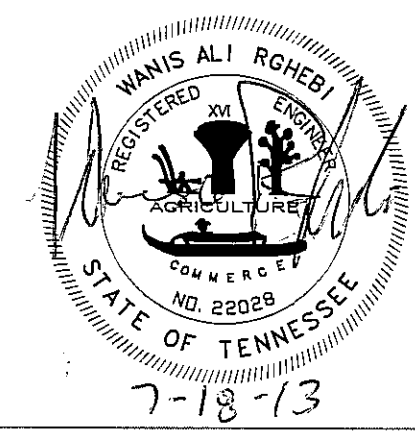
NOTE:
CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY

CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES; TO CONFORM WITH RECOMMENDATIONS SET FORTH IN ACC MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK; TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.

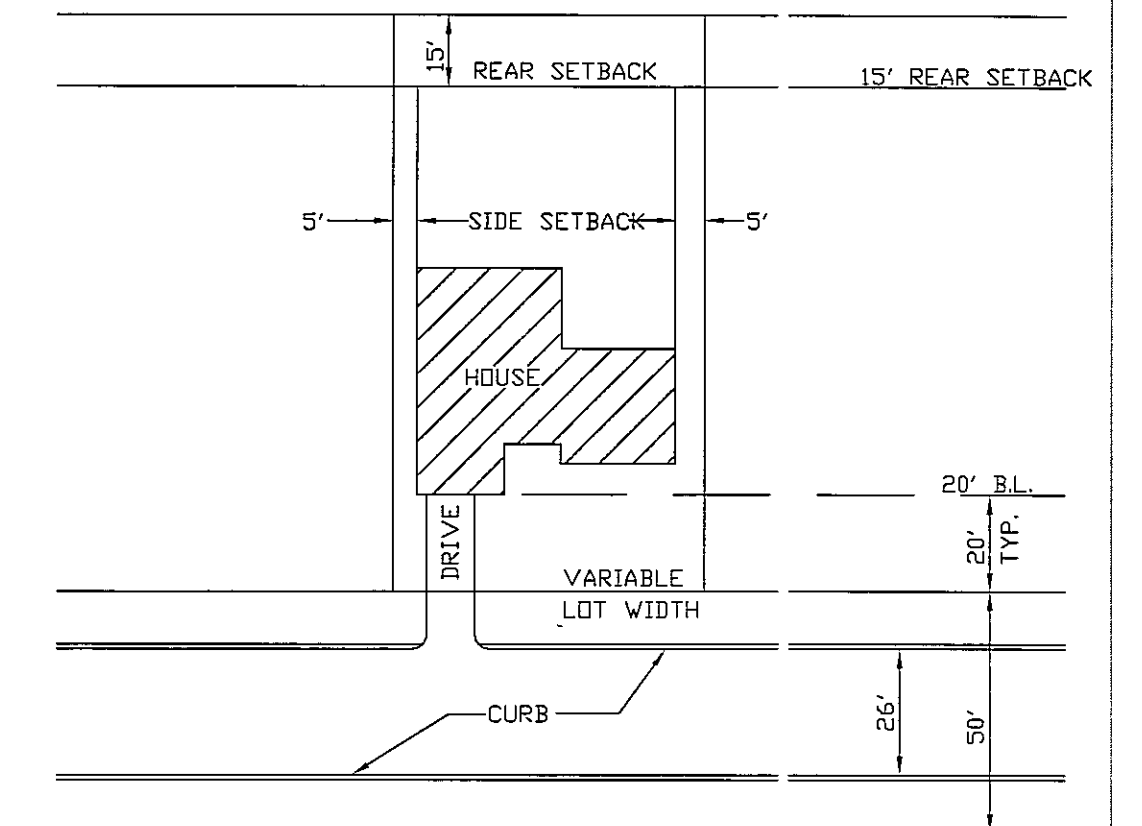
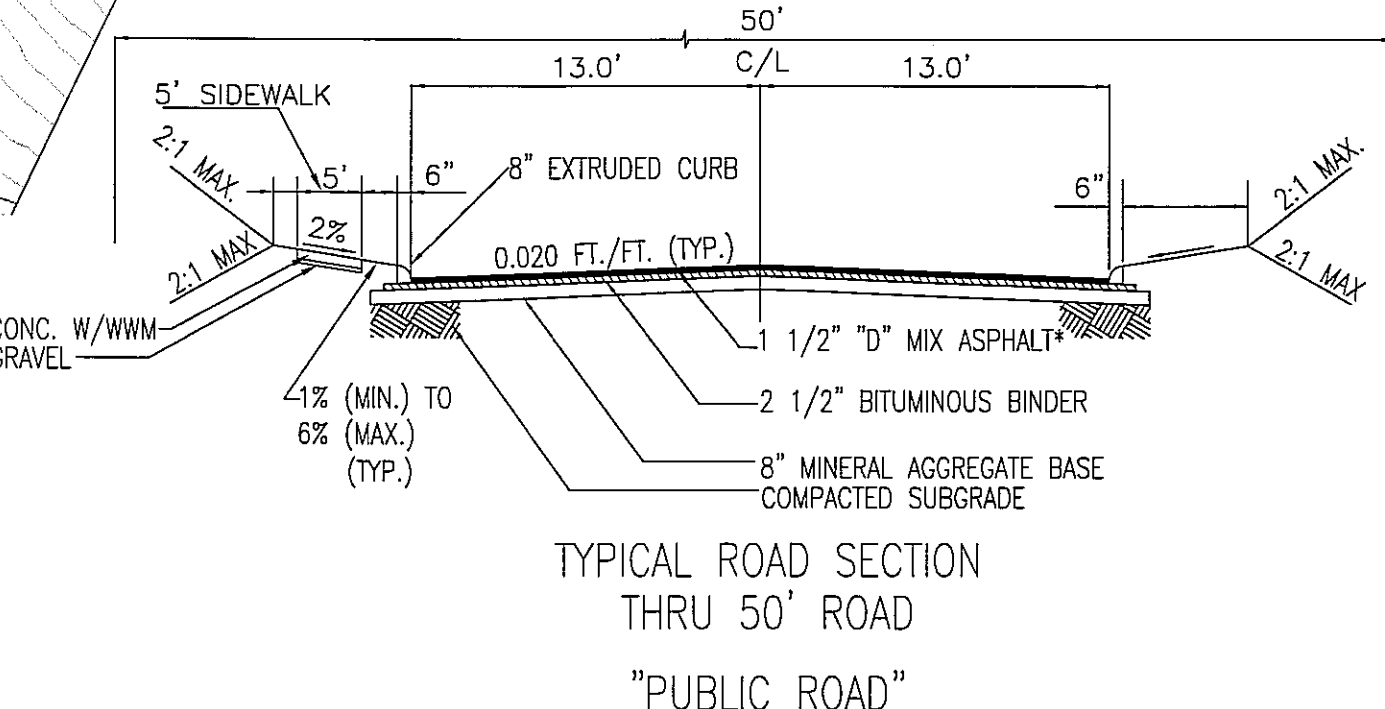
OSHA RULES SHALL BE ABIDED BY.

NOTE:
CONTRACTOR TO NOTIFY ENGINEER BEFORE START OF CONSTRUCTION

LEGEND	
●	IRON PIN FOUND
○	A POINT
—	SANITARY SEWER MH
—	SEWER LINE
—	FENCE LINE
—	FENCE POST CORNER
—	GAS LINE
—	WATER METER
—	WATER LINE
—	OVERHEAD UTILITIES
—	POWER POLE



8-SA-13-C
8-A-13-UR



CERTIFICATION OF CONCEPT PLAN

I HEREBY CERTIFY THAT I AM AN ENGINEER, LICENSED TO PRACTICE UNDER THE LAWS OF THE STATE OF TENNESSEE, AND THAT THE ENGINEERING INFORMATION PROVIDED AS PART OF THIS DESIGN PLAN IS TRUE AND IS BASED ON SOUND ENGINEERING PRACTICE.

Waleis Ali Rghel
ENGINEER
TENNESSEE CERTIFICATE NO. 22028

REVISED
7-19-13

SITE ADDRESS:
2800 GARY HENDRIX ROAD
KNOXVILLE, TENNESSEE 37931

OWNER/DEVELOPER:
PRIMOS LAND COMPANY, LLC
4909 BALL RD.
KNOXVILLE, TN 37931
PHONE: (865) 691-7756
FAX: (865) 693-1699

SOUTHLAND ENGINEERING CONSULTANTS, LLC
GENERAL CIVIL & LAND SURVEYORS
4909 BALL ROAD
KNOXVILLE, TENNESSEE 37931
PHONE: (865) 694-7756
FAX: (865) 693-9699
E-MAIL: wrghel@sengconsultants.com
www.southlandengineeringusa.com

DESIGNED	WAR	APPROVED	ENGINEER
DRAWN	WAR		
CHECKED	WAR		

NO.	DATE	REVISION	APPR.
1	7-17-13	REVISED LOT LAYOUT	

SCALE
HORIZONTAL: 1"= 100'
CONTOUR INTERVAL: 2'

DATE
06-05-2013

DEED REFERENCES:
D.B. INST. # 201305100074032

SCALE IN FEET
100 0 100 200

CONCEPT AND DESIGN PLAN
FOR PRIMOS LAND COMPANY, LLC
ON GARY HENDRIX ROAD
CLT MAP 090 PARCELS 171 & 172
DISTRICT 6, KNOX COUNTY, TENNESSEE

GHR-06-05-13-CP
SHEET 2 OF 4 SHEETS