

1 NORTH ELEVATION  
A4.1 SCALE: 1/8" = 1'-0"

SIGNAGE TO BE APPROVED BY SEPARATE REVIEW -  
FOR ILLUSTRATION PURPOSES ONLY  
24 GA STANDING SEAM "GALVALUME" METAL ROOF,  
BY PEMB MFR., COLOR: SILVER

PREFIN. MTL. GUTTER AND DOWNSPOUT SYSTEM, BY  
PEMB MFR., COLOR: DARK BRONZE

EIFS SYSTEM, COLOR: DARK BRONZE

ALUM. STOREFRONT SYSTEM, COLOR: DARK  
BRONZE FRAME W/ TINTED GLAZING

C.M.U., COLORS: LIGHT AND DARK GREY, AND WHITE

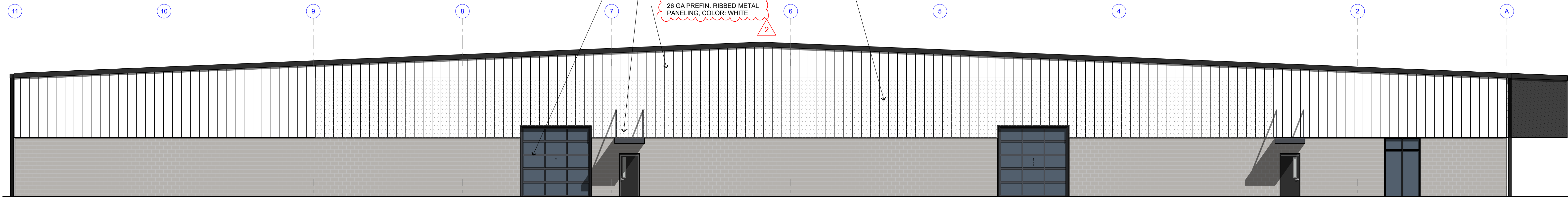
10' H. "OPAQUE" PRIVACY/SECURITY FENCE & GATE

TRANSLUCENT SIDING PANELS AT SHOP AREA

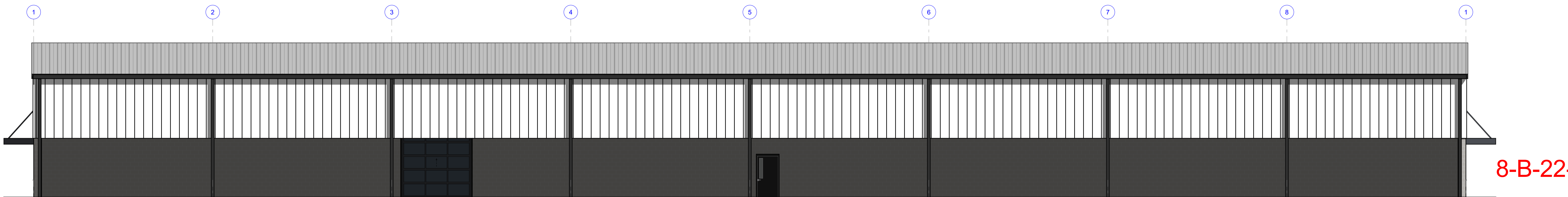
STEEL OVERHEAD DOORS, COLOR: DARK BRONZE

PRE-ENG. PREFAB. ALUM. CANOPY SYSTEM,  
COLOR: DARK BRONZE

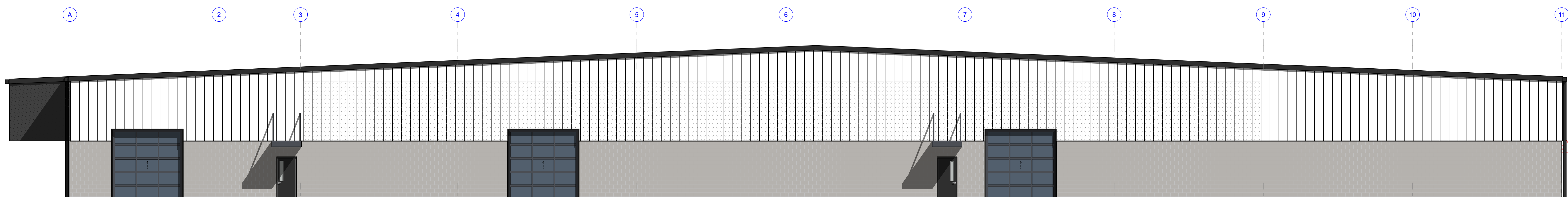
26 GA PREFIN. RIBBED METAL  
PANELING, COLOR: WHITE



2 EAST ELEVATION  
A4.1 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
A4.1 SCALE: 1/8" = 1'-0"



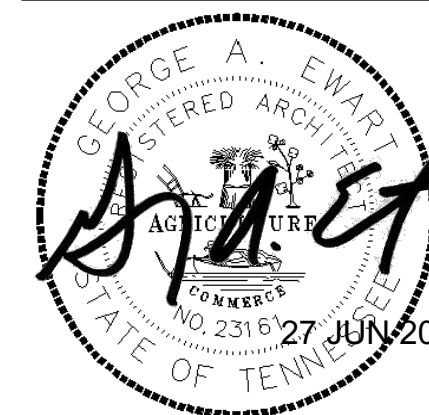
4 WEST ELEVATION  
A4.1 SCALE: 1/8" = 1'-0"



**GEORGE  
ARMOUR  
EWART  
ARCHITECT**

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Knoxville, TN 37919  
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www.georgeewart.com

A NEW BUILDING FOR  
**HARPER COLLISION**  
10542 MURDOCK DRIVE  
KNOX COUNTY, TN 37932  
TTODA FILE #5-C-22-TOB  
PLANNING COMM. 5-E-22-UR



**EXTERIOR ELEVATIONS**

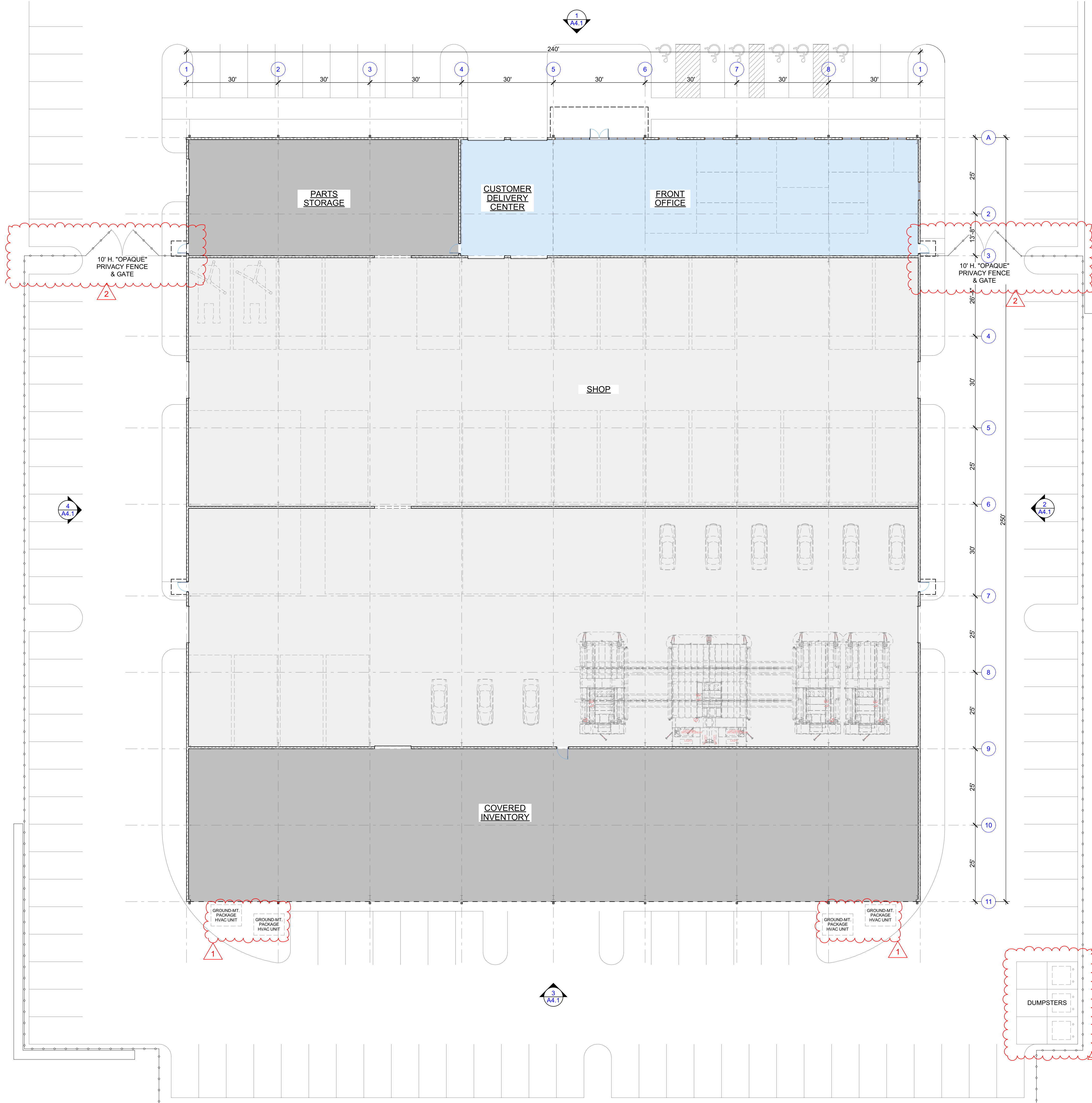
**8-B-22-DP**

DATE: 27 JUN 2022  
PROJECT NO.: 22056  
PROJECT MGR.: STUART  
REVISION #2 08 JUL 2022

**A4.1**

8-B-22-DP

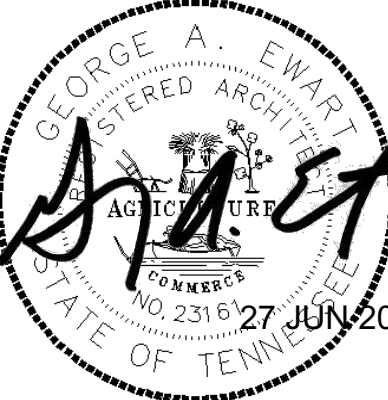
1 FLOOR PLAN  
SCALE: 1/16" = 1'-0"



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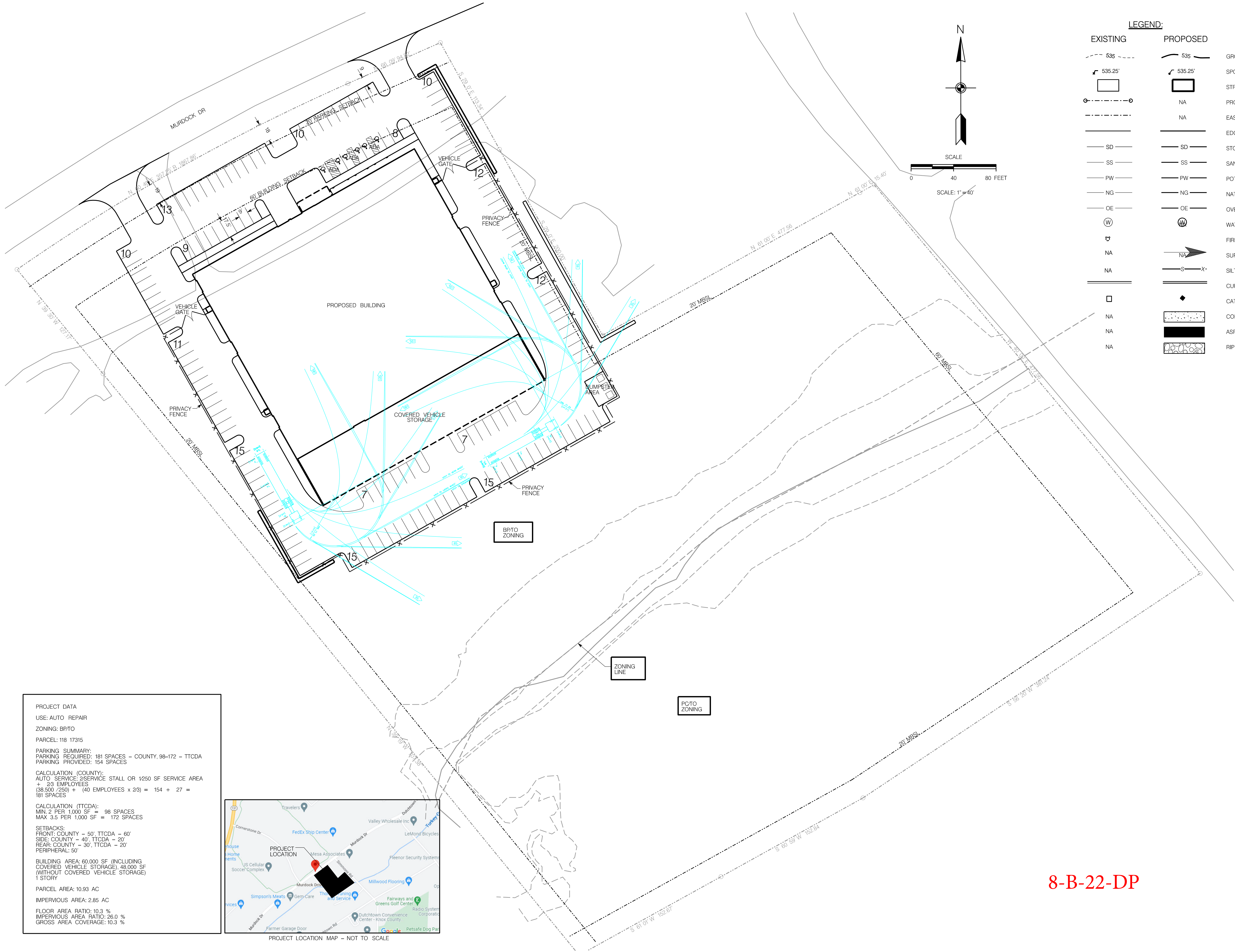


FLOOR PLAN

DATE: 27 JUN 2022  
PROJECT NO.: 22056  
PROJECT MGR.: STUART  
REVISION #2 08 JUL 2022

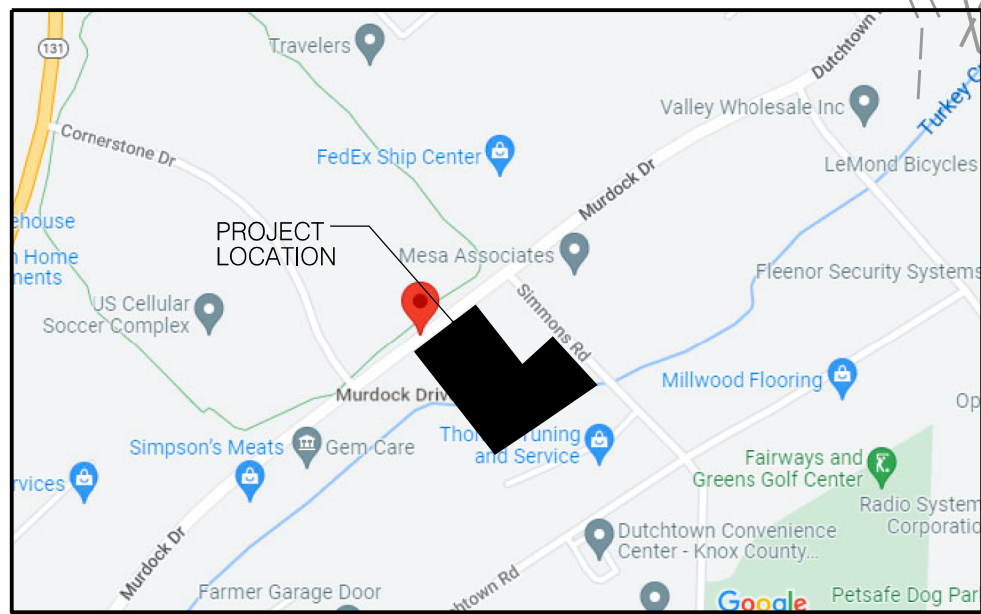
A1.1





LEGEND:		
EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
PW	PW	POTABLE WATER
NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
W	W	WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CATCH BASIN
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		RIP RAP

PROJECT DATA  
USE: AUTO REPAIR  
ZONING: BP/TO  
PARCEL: 118 17315  
PARKING SUMMARY:  
PARKING REQUIRED: 181 SPACES - COUNTY, 98-172 - TTCD  
PARKING PROVIDED: 154 SPACES  
CALCULATION (COUNTY):  
AUTO SERVICE: 2 SERVICE STALL OR 1250 SF SERVICE AREA  
+ 23 EMPLOYEES  
(38,500 / 250) + (40 EMPLOYEES x 23) = 154 + 27 =  
181 SPACES  
CALCULATION (TTCD):  
MIN. 2 PER 1,000 SF = 98 SPACES  
MAX 3.5 PER 1,000 SF = 172 SPACES  
SETBACKS:  
FRONT: COUNTY - 50', TTCD - 60'  
SIDE: COUNTY - 40', TTCD - 20'  
REAR: COUNTY - 30', TTCD - 20'  
PERIPHERAL: 50'  
BUILDING AREA: 60,000 SF (INCLUDING COVERED VEHICLE STORAGE) 48,000 SF (WITHOUT COVERED VEHICLE STORAGE)  
1 STORY  
PARCEL AREA: 10.93 AC  
IMPERVIOUS AREA: 2.85 AC  
FLOOR AREA RATIO: 10.3 %  
IMPERVIOUS AREA RATIO: 26.0 %  
GROSS AREA COVERAGE: 10.3 %



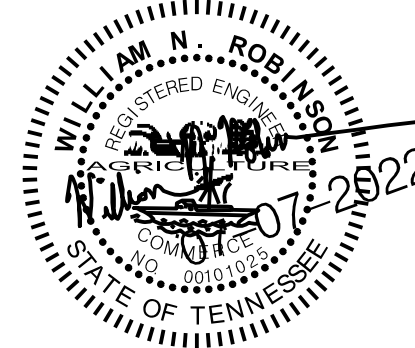
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TTCD FILE # 5-C-22-TOB PC # 5-E-22-UR

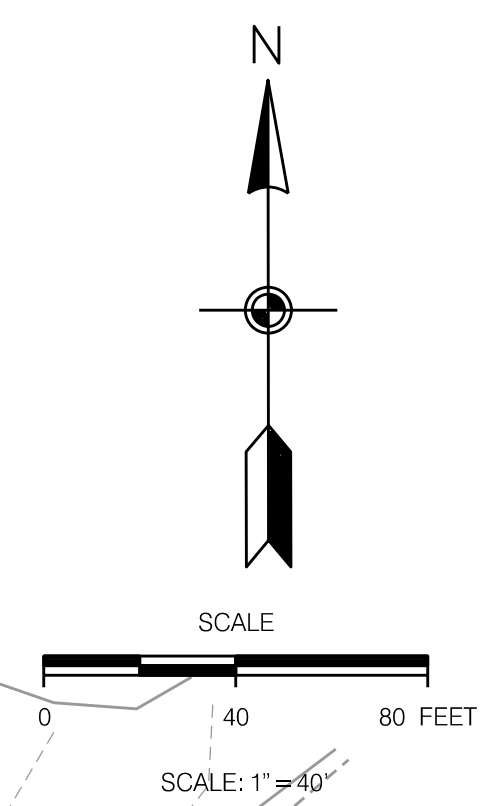
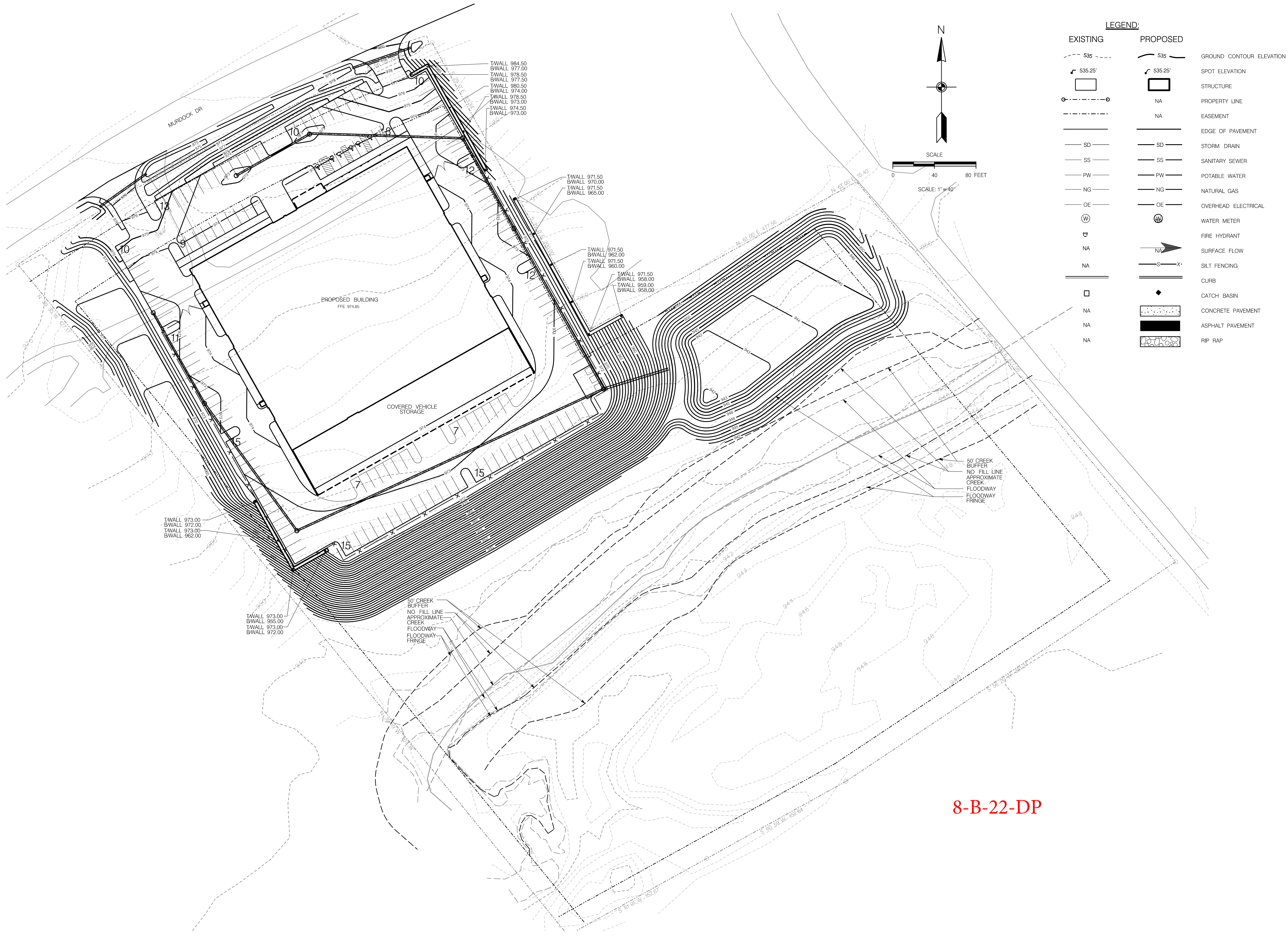


Concept Site Plan

DATE: 07 JUL 2022  
PROJECT NO.: 22056  
PROJECT MGR.: STUART

PL01





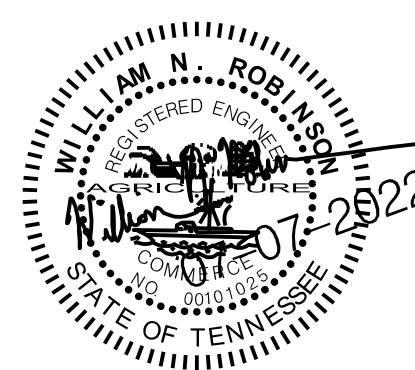
**LEGEND:**

EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
[Rectangle]	[Rectangle]	STRUCTURE
[Dashed line]	NA	PROPERTY LINE
[Dashed line]	NA	EASEMENT
[Solid line]	[Solid line]	EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
PW	PW	POTABLE WATER
NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
(W)	(W)	WATER METER
[Symbol]	[Symbol]	FIRE HYDRANT
NA	NA	SURFACE FLOW
NA	S	SILT FENCING
[Double line]	[Double line]	CURB
[Square]	[Diamond]	CATCH BASIN
NA	[Pattern]	CONCRETE PAVEMENT
NA	[Pattern]	ASPHALT PAVEMENT
NA	[Pattern]	RIP RAP

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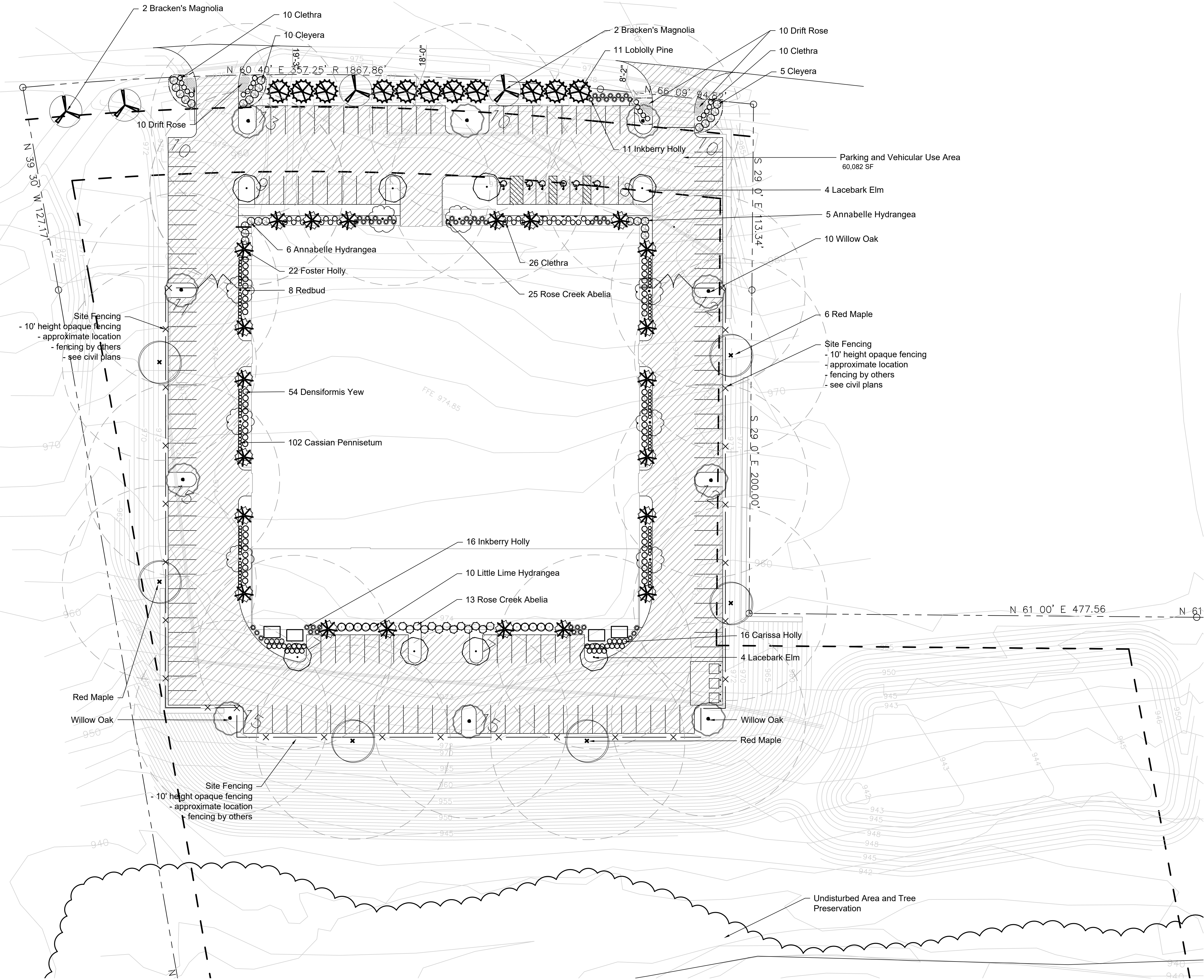
Concept Grading Plan

8-B-22-DP

DATE: 07 JUL 2022  
PROJECT NO.: 22056  
PROJECT MGR.: STUART

PL02





PLANTING NOTES:

- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to provide allowance for soil amendments, percolation tests, soil tests, mulch and irrigation.
- Irrigation system to be drip unless otherwise noted and approved.
- Contractor to complete work within schedule established by owner.
- Contractor to provide one year warranty for all plant material from date of substantial completion.
- Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
- The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
- All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition. quality of the plant material to be judged by the landscape architect. Inferior plant material to be rejected.
- Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
- No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
- Planting plans may need to be adjusted in the field. Contractor to coordinate layout of plant material with landscape architect for on site approval prior to installation.
- Test plant beds and plant pits for adequate drainage. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
- Trees shall be installed 3" above finish grade in hardpan areas to provide good drainage unless otherwise directed.
- Groundcover and shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and weeds. Add specified soil amendments and fertilizer. Install plants, edge bed area, mulch and water thoroughly.
- Set all plants plumb and turned so that the most attractive side is viewed.
- Plants shall be measured to their main structure, not tip to tip of branches.
- Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix.
- Broken root balls for trees shall be rejected. Contractor to check root balls and expose rootflares to check for root girdling. Do not assume the rootflare is exposed upon purchase from the nursery.
- Any plant materials shipped to site in uncovered vehicles/trailer shall be rejected regardless of season.
- All tree scars over 1-1/2" shall be rejected and tree to be replaced.
- All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type or otherwise noted on plans.
- Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
- If rootball is wrapped in non-biodegradable burlap, remove entire wrap after placed in pit.

PLANTING LEGEND:

Qty	Botanical Name	Common Name	Size	Notes
<u>Deciduous Trees</u>				
6	Acer rubrum	Red Maple	2" cal.	central leader, full and dense
8	Cercis canadensis	Redbud	2" cal.	central leader, full and dense
10	Quercus phellos	Willow Oak	2" cal.	central leader, full and dense
8	Ulmus parvifolia	Lacebark Elm	2" cal.	central leader, full and dense
<u>Evergreen Trees</u>				
22	Ilex x attenuata	Foster Holly	6' hgt.	central leader, full and dense
4	Magnolia grandiflora 'Brackens Brown Beauty'	Bracken's Brown Magnolia	6' hgt.	central leader, full and well branched
11	Pinus taeda	Loblolly	6' hgt.	central leader, full and well branched
<u>Deciduous Shrubs</u>				
46	Clethra alnifolia	Sweet Pepperbush	3 gallon	full and dense
11	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gallon	full and dense
10	Hydrangea paniculata 'Jame'	Little Lime Hydrangea	3 gallon	full and dense
<u>Evergreen Shrubs</u>				
38	Abelia	Rose Creek Abelia	3 gallon	full and dense
15	Cleyera japonica	Cleyera	3 gallon	full and dense
16	Ilex cornuta	Carissa Holly	3 gallon	full and dense
27	Ilex glabra	Inkberry Holly	3 gallon	full and dense
20	Rosa hybrida	Pink Drift Rose	3 gallon	full and dense
54	Taxus x media 'Densiformis'	Densiformis Yew	3 gallon	full and dense
102	Pennisetum alopecuroides	Cassian Pennisetum	3 gallon	full and dense
* Note: all parking lot islands and areas around parking lot to be turf				

TTCCA - LANDSCAPE REQUIREMENT NOTES:

- 3.1.4 In order to provide year-round greenery, at least 25% of newly planted or conserved trees should be evergreen.
- 69 trees proposed
  - 37 evergreen = 54%

- 3.1.5 When planting trees on a development site, a roughly equal combination of large, medium and small trees (see Appendix B) should be planted, with at least 10 large maturing trees per acre of yard space.
- 3.1 acres \* 10 = 31 trees (note: calculation does not include undisturbed portion of site)
  - 31 large trees proposed
  - 30 medium trees proposed
  - 8 small trees proposed

- 3.1.8 The required front yard for a 1-, 2- or 3-story building with no parking in front shall be landscaped. A minimum 20-foot landscaped yard shall be placed between the right-of-way and a parking area in front of a building.
- landscape yard provided

- 3.2.1 The arrival areas should be landscaped to make an introductory statement about each site.
- landscape provided at driveway entrance and front of building

- 3.2.2 Landscaping should be used to accentuate entryways to the site and the building(s) and to provide areas of shade
- all entry areas landscaped, shade provided where adequate room for tree growth is available

- 3.3.2 Entrances into buildings should be accented by plantings.
- all entry areas landscaped

- 3.3.3 Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery and bedding plants (see Appendix B).
- Front Elevation = 5,000 Side Elevation = 5,625 Side Elevation = 5,625
  - Total Front and Side Elevations = 16,250
  - Required Square Footage of Landscape = 8,125
  - Total Proposed Landscape Beds = 8,480 square feet

- 3.3.4 Minimize shading of south-facing facades in winter; maximize shading of south-facing facades in summer.
- trees proposed near south facade

- 3.3.5 Landscaping should buffer the building from the microclimate of the parking area.
- trees proposed around parking and drive aisles

- 3.3.6 Landscaping should be used to screen mechanical equipment or other unsightly exterior building elements.
- landscape proposed

- 3.4.1 Parking areas should be screened from public rights-of-way by landscaped berms, low level shrubbery or a combination of the two.
- landscape proposed

- 3.4.2 If surface parking is necessary, existing trees both upslope and downslope should be conserved for environmental and aesthetic purposes. In cases where existing vegetation cannot be saved, or does not exist, medium and large maturing canopy trees should be planted between parking areas.
- trees proposed near all parking areas

- 3.4.3 Trees shall be required at the rate of one (1) medium or large maturing canopy tree for every ten parking spaces provided.
- 145 parking space proposed, 15 trees required, 31 large trees proposed

- 3.4.4 In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.
- Total Parking Lot and Vehicular Use Area = 61,884 square feet
  - Total Landscape Bed Area = 8,480 square feet
  - 14%

- 3.4.5 Medium and large maturing canopy and ornamental trees may be chosen from the recommended species list in Appendix B.

- 3.3.6 Mature trees that are preserved within eight feet of the parking area may be used to satisfy up to 50% of the required number of canopy trees, as described in (a) above. In all other respects, however, the number of trees and other plantings required for parking areas shall be in addition to those required under Section 3.1.
- N/A, no trees preserved

- 3.3.7 Required canopy trees shall be located within the parking areas as terminal islands, interior islands, interior wells, medians, traffic delineators, between rows of parking spaces, or in planting areas adjacent to buildings in a manner such that no parking space is located more than sixty (60) feet from the trunk of a large canopy tree.
- trees proposed within 60' of all parking spaces

- 3.3.8 Interior islands at the rate of one for every 200 feet of parking shall be installed to break up long rows of parking stalls.



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A NEW BUILDING FOR  
MURDOCK DRIVE  
KNOX COUNTY, TN  
TTCCA FILE #



28 MAR 2022  
TTCCA (5-C-22-TOB)  
PC (5-E-22-UR)

Landscape Plan

REV #1: 11 JULY 2022  
Updated Site Plan, revised tree locations and shrub count

DATE: 28 MAR 2020  
PROJECT NO.: 22044  
PROJECT MGR.: STUART

8-B-22-DP

L100