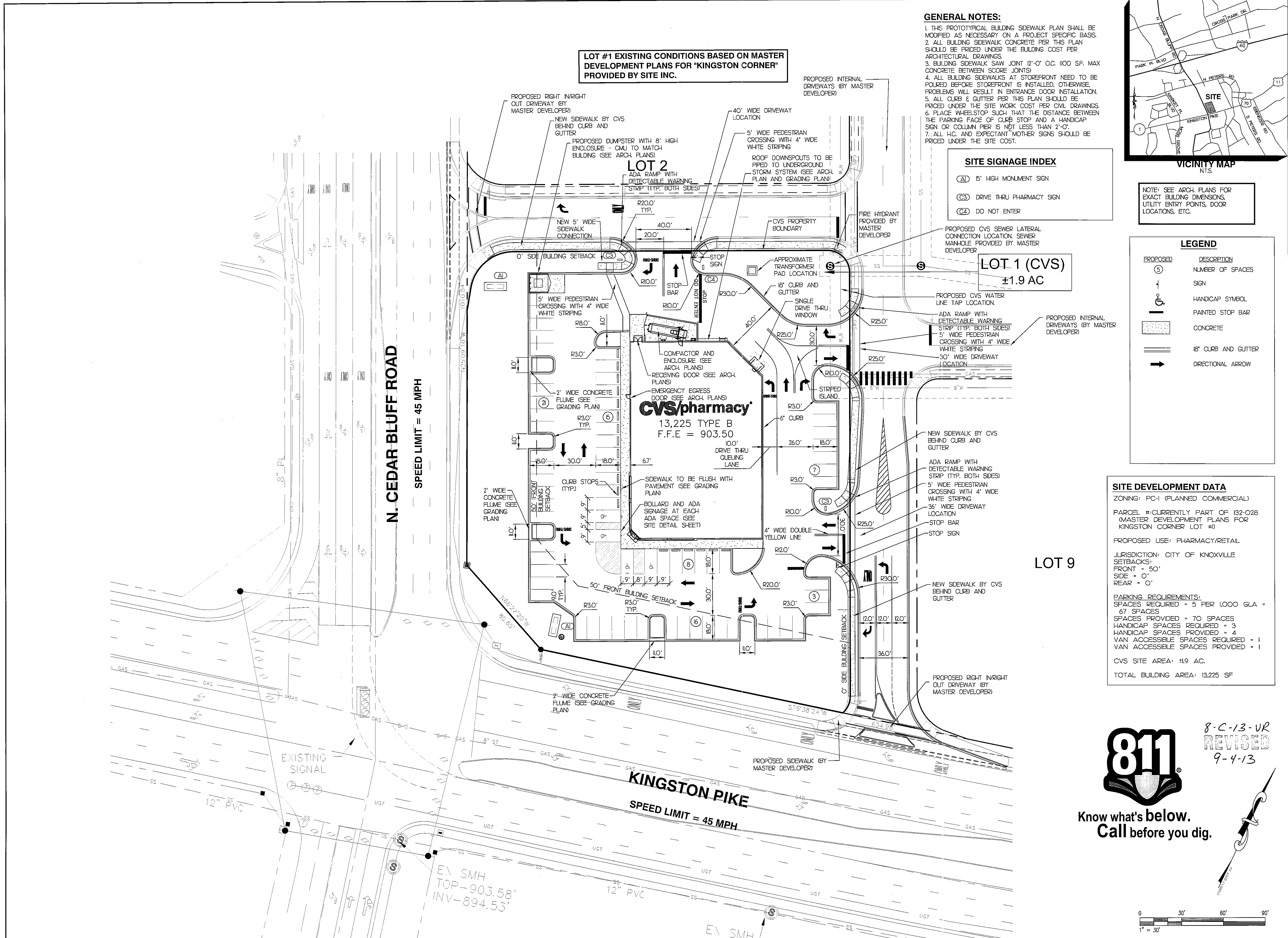




LOT #1 EXISTING CONDITIONS BASED ON MASTER DEVELOPMENT PLANS FOR "KINGSTON CORNER" PROVIDED BY SITE INC.

- GENERAL NOTES:**
1. THIS PROTOTYPICAL BUILDING SIDEWALK PLAN SHALL BE MODIFIED AS NECESSARY ON A PROJECT SPECIFIC BASIS.
 2. ALL BUILDING SIDEWALK CONCRETE PER THIS PLAN SHOULD BE PRICED UNDER THE BUILDING COST PER ARCHITECTURAL DRAWINGS.
 3. BUILDING SIDEWALK SAW JOINT 12'-0" O.C. (100 SF. MAX CONCRETE BETWEEN SCORE JOINTS)
 4. ALL BUILDING SIDEWALKS AT STOREFRONT NEED TO BE POURED BEFORE STOREFRONT IS INSTALLED, OTHERWISE, PROBLEMS WILL RESULT IN ENTRANCE DOOR INSTALLATION.
 5. ALL CURB & GUTTER PER THIS PLAN SHOULD BE PRICED UNDER THE SITE WORK COST PER CIVIL DRAWINGS.
 6. PLACE WHEELSTOP SUCH THAT THE DISTANCE BETWEEN THE PARKING FACE OF CURB STOP AND A HANDICAP SIGN OR COLUMN PIER IS NOT LESS THAN 2'-0".
 7. ALL H.C. AND EXPECTANT MOTHER SIGNS SHOULD BE PRICED UNDER THE SITE COST.

SITE SIGNAGE INDEX

- (A1) 5' HIGH MONUMENT SIGN
- (C3) DRIVE THRU PHARMACY SIGN
- (C4) DO NOT ENTER

LOT 1 (CVS)
±1.9 AC

LEGEND

- | PROPOSED | DESCRIPTION |
|----------|---------------------|
| (5) | NUMBER OF SPACES |
| + | SIGN |
| ♿ | HANDICAP SYMBOL |
| — | PAINTED STOP BAR |
| ▨ | CONCRETE |
| == | 18" CURB AND GUTTER |
| → | DIRECTIONAL ARROW |

SITE DEVELOPMENT DATA

ZONING: PC-1 (PLANNED COMMERCIAL)
PARCEL #: CURRENTLY PART OF 132-028 (MASTER DEVELOPMENT PLANS FOR KINGSTON CORNER LOT #1)
PROPOSED USE: PHARMACY/RETAIL
JURISDICTION: CITY OF KNOXVILLE
SETBACKS:
FRONT = 50'
SIDE = 0'
REAR = 0'
PARKING REQUIREMENTS:
SPACES REQUIRED = 5 PER 1,000 GLA = 67 SPACES
SPACES PROVIDED = 70 SPACES
HANDICAP SPACES REQUIRED = 3
HANDICAP SPACES PROVIDED = 4
VAN ACCESSIBLE SPACES REQUIRED = 1
VAN ACCESSIBLE SPACES PROVIDED = 1
CVS SITE AREA: ±1.9 AC.
TOTAL BUILDING AREA: 13,225 SF



Know what's below.
Call before you dig.

8-C-13-VR
REVISED
9-4-13



SOUTHEAST 13,225-LEFT
CHAMBER DRIVE-THRU

STORE NUMBER: 03762

NEC OF N. CEDAR BLUFF RD AND
KINGSTON PIKE
CITY OF KNOXVILLE, TN
PROJECT TYPE: RELOCATION
DEAL TYPE: FEE FOR SERVICE

CS PROJECT NUMBER: 058414

ENGINEER:

CAMPBELL

ENGINEERING & ASSOCIATES, INC.
Civil Engineering and Land Planning
31 Boland Court
Greenville, SC 29615
(864) 335-4090
Fax: (864) 335-4095

DEVELOPER:

DBM HOLDINGS, LLC
880 SOUTH PLEASANTBURG DR.
SUITE 3-B
GREENVILLE, SC 29607
CONTACT: TOM FREDLOB

PHONE: (864) 517-3605
FAX: (864) 236-6961

SEAL:

PRELIMINARY
FOR MPC
SUBMITTAL
ONLY

REVISIONS:

DRAWING BY:

FSE

DATE:

08/30/13

JOB NUMBER:

TITLE:
SITE PLAN

SHEET NUMBER:

C-4.0

COMMENTS:

GENERAL NOTES & SPECIFICATIONS

LAWN INSTALLATION: Lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Agricultural limestone shall be incorporated into the soil at a rate of 500 pounds per 1000 square feet. Apply specified seed at recommended rate. Straw mulch or hydromulch shall be used as deemed necessary by the Landscape Contractor and Landscape Architect. The Landscape Contractor shall be responsible to establish a full stand of grass and will repair any bare spots 1' - 0" square due to uneven seed distribution, drought, or erosion.

SOD INSTALLATION: Sodded lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Sod shall be healthy, thick sod placed so that joints are butt tight. Staple as necessary. Sod shall be trimmed to match bed lines shown on plan. Startup fertilizer shall be incorporated into the soil at the manufacturer's recommended rate. Any areas of sod that fail to root, settle or die will be replaced by the Landscape Contractor.

UTILITY LOCATION: The Landscape Contractor is responsible for contacting the utility locator service and is responsible for any damage done to utilities.

QUANTITIES: Plant quantities are shown for the contractor's convenience only. PLANTS SHALL BE INSTALLED AS SHOWN. Contractor is responsible for confirming all quantities prior to bidding and installation.

BIDS: In order to keep all bids standard, all bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract.

PLANT QUALITY: All plants shall be nursery grown, have a full habit of growth as is characteristic of that species, and shall be free of disease or insects. General plant quality shall be as specified in the "USA Standard for Nursery Stock" (published and approved by the American Association of Nurserymen). Please contact the Landscape Architect if there is difficulty in locating a particular plant. If necessary, a substitute plant will be recommended by the Landscape Architect.

PLANTING HOLES: Trees and shrubs: Remove rock and construction debris from planting area. Dig holes two to three times as wide as the rootball and only as deep as the height of the root ball. Soil at the bottom of the hole is left undisturbed. See planting detail for additional information.

SETTING OF PLANTS: The root ball of container grown plants shall be scarified in several places prior to planting. Plant shrubs and trees so that the top of the root ball will be even with or slightly above the adjacent soil line. SINGLE PLANTING HOLE - backfill bottom half of space around the rootball with loosened original soil (use amended soil only when necessary for good soil tilth. (See ORGANIC AMENDMENTS). Tamp lightly. Finish filling the hole with loose soil and gently tamp again. BACKFILL bottom half of bed surrounding shrubs with amended backfill (see ORGANIC AMENDMENTS). Tamp lightly and water to settle soil. Finish filling hole with loose amended backfill and gently tamp again. Water shrub bed to settle soil. PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

ORGANIC AMENDMENTS: Organic amendments should be added to backfill for all shrub beds and when deemed necessary to improve soil tilth of single planting holes. Organic matter should comprise approximately 10 to 20 percent of this total soil volume.

PREPARATION OF GROUND COVER AND SEASONAL COLOR BEDS: The existing soil in ground cover and seasonal color beds shall be thoroughly cultivated 6 inches deep, to a fine texture (no clods over 1/2") with a mechanical tiller. A plant mix of 60% screened shredded topsoil, 20% sand, and 20% well rotted sawdust or peat shall then be thoroughly incorporated into the existing soil with the tiller so that the soil mix (6" deep) is 1/2 original soil and 1/2 plant mix. All groundcover and seasonal color beds shall receive a 2" layer of fine textured, screened, pine bark mulch, or equal. PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

FERTILIZING: Upon completion of plantings, all shrubs shall receive 1/6 cup of 16-4-8 fertilizer (50% of nitrogen slow release) evenly broadcast at the base of the plants. Trees shall receive 1/4 cup of 16-4-8 fertilizer (50% of nitrogen slow release) per inch of caliper. Ground cover beds shall be fertilized at the rate of 20 pounds of 16-4-8 (50% of nitrogen slow release) per 1000 square feet.

STAKING OF TREES: Trees should only be staked if necessary, such as when planted in areas of high winds or steep slopes. Under certain circumstances, others may be staked at the discretion of the Landscape Contractor or Landscape Architect. The Landscape Contractor is responsible for all wind damage to trees, (provided winds are less than 60 mph) during the guarantee period, and may stake other trees (for his own protection) at his option. Landscape Contractor will be responsible for removal of all staking material one year after installation.

TRANSPLANTS: All plant material to be transplanted shall be transplanted according to guidelines set by AAS standards. Transplanted material will not be guaranteed by the landscape contractor.

MULCHING: As specified on planting list. Hardwood mulch: All beds to receive a 3" layer of aged hardwood bark mulch (free of wood chips or large chunks of bark). Fresh hardwood bark mulch is not recommended to be used, as water run-off may cause staining on adjacent concrete surfaces. All damages incurred by the use of fresh hardwood mulch shall be the responsibility of the landscape contractor. Pine straw: All beds to receive a 4" layer (prior to compaction) of pine straw. After natural compaction, pine straw should have a depth of 2". All trees located in lawn areas shall receive a 3' diameter ring of mulch. Mulch in these areas is to follow the above listed guidelines.

GRADING: All final grading shall be the responsibility of the landscape contractor. The responsibility for any additional grading (if needed) shall be determined prior to bidding.

BACKFILL: Landscape contractor to verify any additional backfill/topsoil needed prior to beginning work. A unit price for topsoil shall be included in all bid documents to allow for circumstances that might arise during installation.

CLEAN UP: Final clean up of any disturbances occurring as a result of landscape operations shall be the responsibility of the landscape contractor.

INSPECTION: It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect prior to installation. All plant material will be inspected. Plants not conforming precisely to the plant list will not be accepted and shall be replaced at the contractor's own expense.

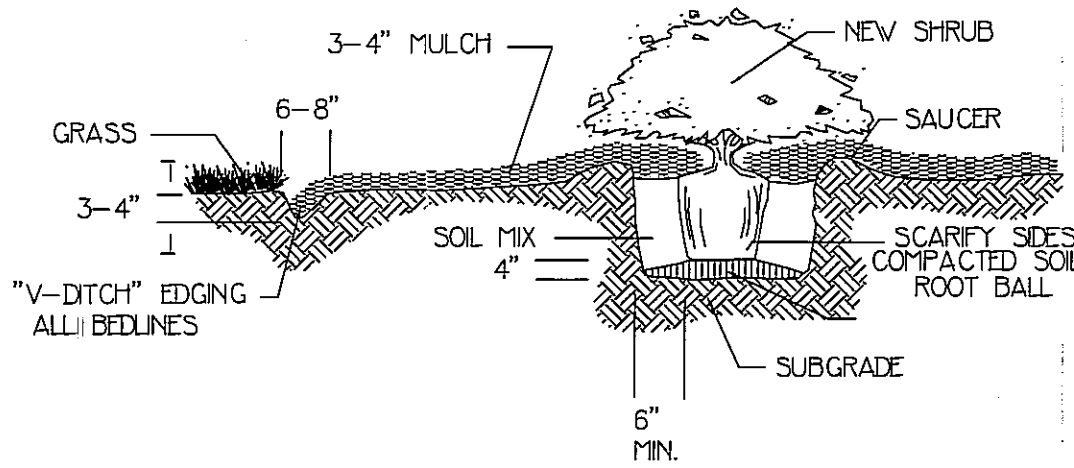
LICENSES: The contractor will be responsible for obtaining all licenses necessary to complete the work.

INSURANCE: With the submittal of bid documents, the landscape contractor shall also submit a certificate of insurance for workman's compensation and a contractor's general liability. Contractors not providing evidence of such insurance will be ineligible to receive the contract for the job.

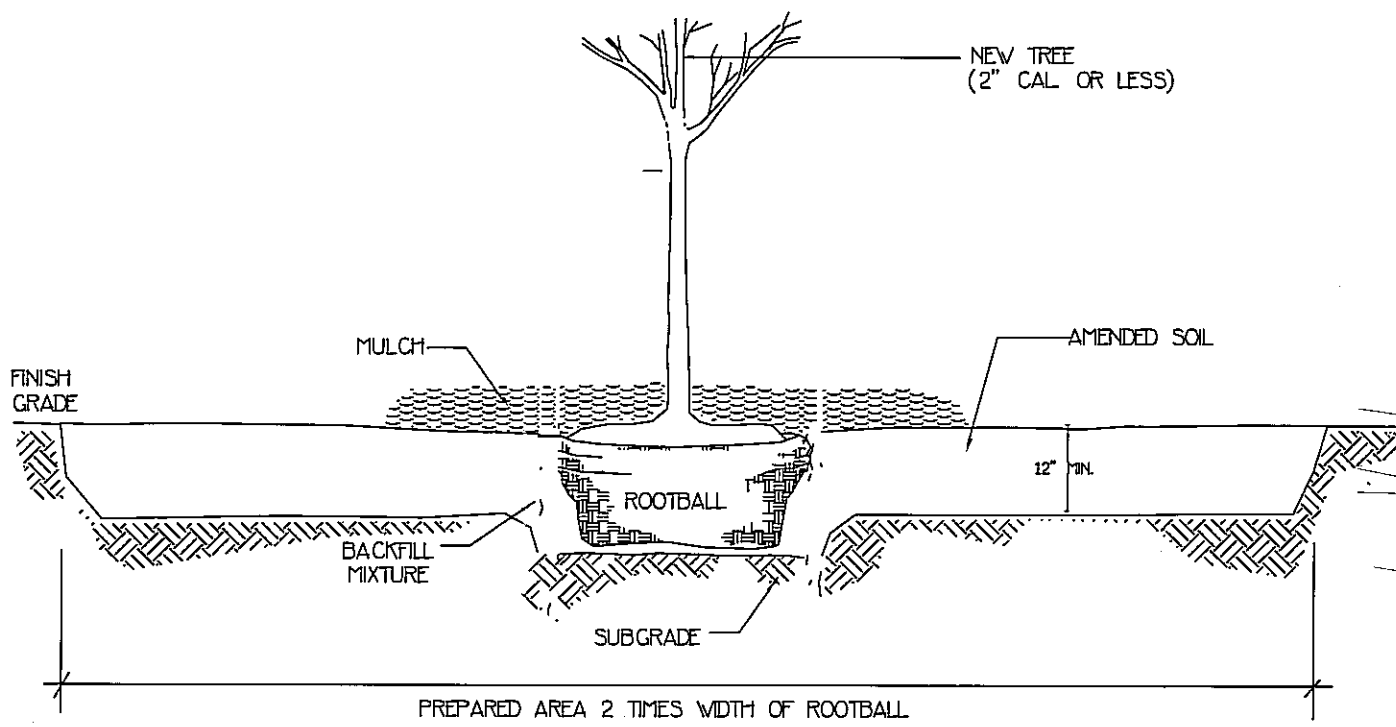
GUARANTEE: All plant material and workmanship to be guaranteed for one year from the date of acceptance by the Owner. Plant replacement to occur only once. The contractor will not be responsible for defects resulting from neglect by the Owner, abuse or damage by others, or unusual phenomena or incidents beyond the landscape contractors control which result from natural causes such as floods, lightning, storms, freezing rains, or winds over 60 miles per hour, fire, vandalism or theft.

PC-1 DISTRICT LANDSCAPING REQUIREMENTS

- (1) **Yards, open space and drainage areas:**
Landscaped or maintained in pre-existing vegetation with 1 tree for each 5000 sf of yard or open space
Required and provided:
Approx 25,000 sf of yard or open space / 5000 = 6 trees required & trees provided
- (2) **Tree requirement:**
8 trees per acre = 1.9 ac. x 8 = 15.2 = 16 trees total (17 provided)
- (3) **Parking areas:**
a. 500 sf of landscaping for every 20,000 sf of paved parking area
Required and provided:
Approx 51,500 / 20,000 = 3 x 500 = 1500 sf required
1500 sf of landscaping provided
b. 1 tree that will obtain a minimum of 40' at maturity for each 5,000 sf of parking area
Required and provided:
Approx 51,500 / 5,000 = 10 trees required
10 trees provided
- (4) **Loading and service areas:**
Adjacent to periphery boundary to be screened with evergreen planting
Required and provided:
Evergreen screen provided around dumpster area



DETAIL: SHRUB PLANTING & BED EDGING



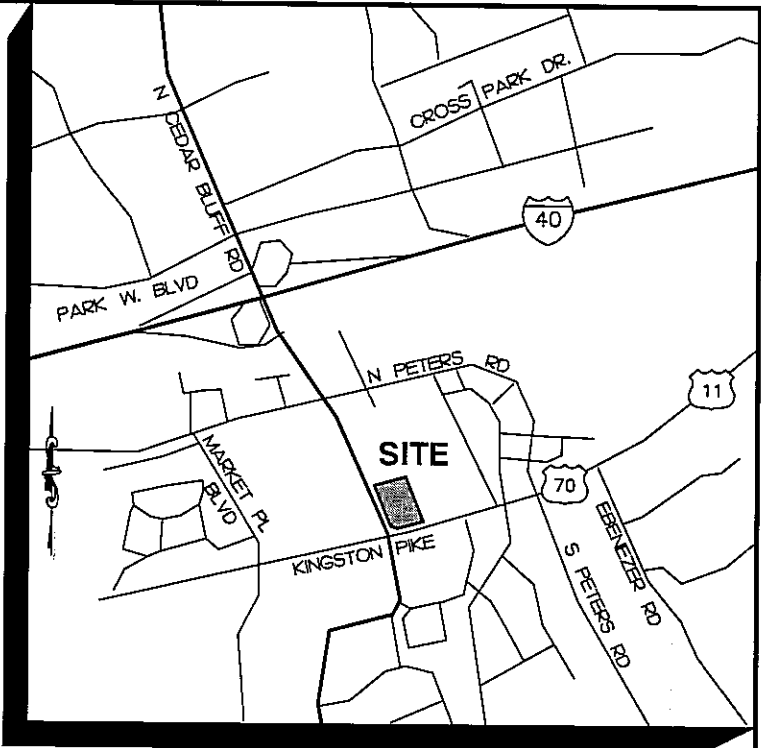
DETAIL: TREE PLANTING (2" CAL. OR LESS)
NO SCALE

PLANT LIST

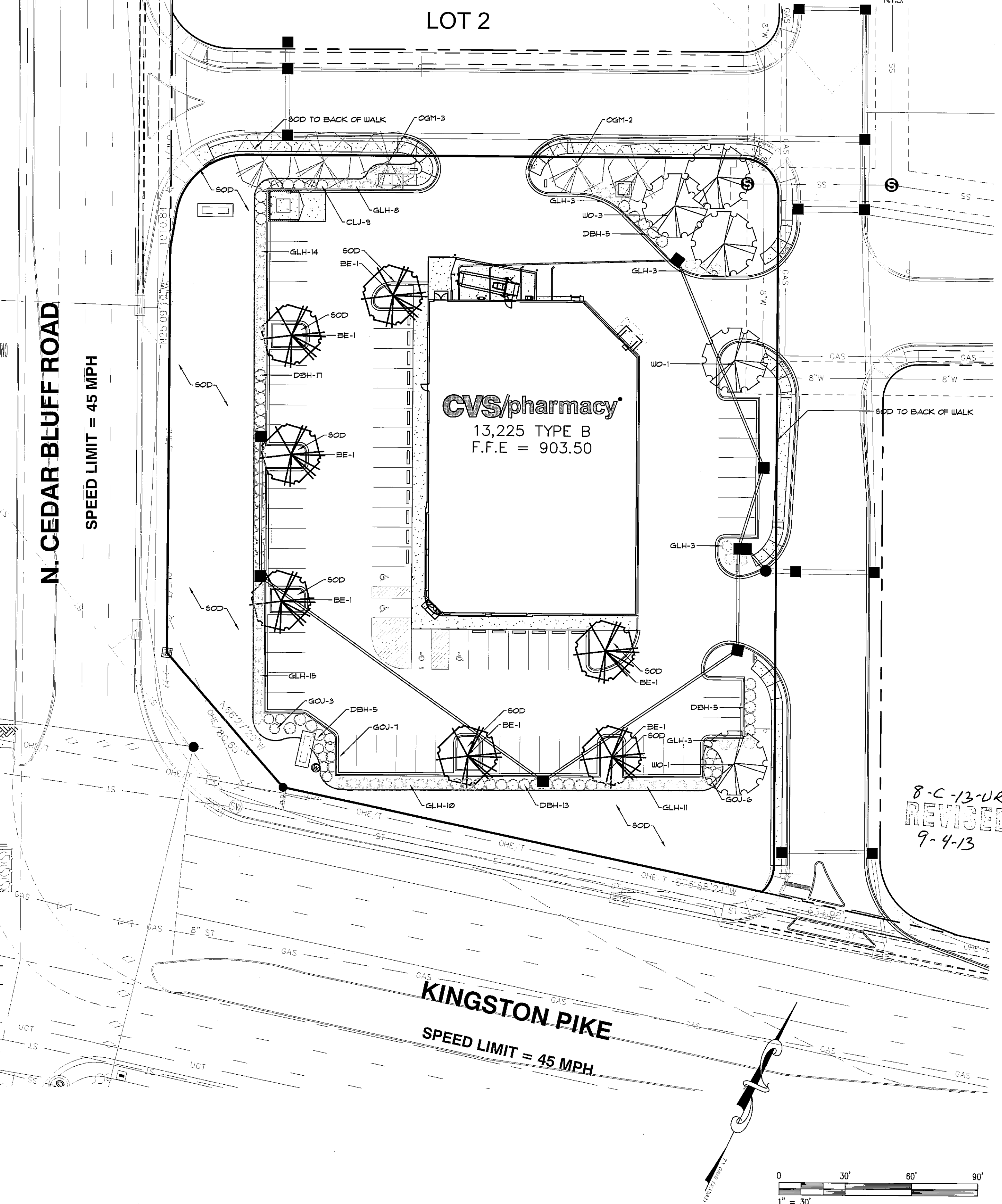
KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
BE	1	BOSQUE ELM	ULMUS PARVIFOLIA 'BOSQUE ELM'	2" CALIPER
OGM	5	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2" CALIPER
WO	5	WILLOW OAK	QUERCUS PHELLOS	2" CALIPER
CLJ	9	CLEYERA	CLEYERA JAPONICA	1 GALLON
DBH	45	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	3 GALLON
GLH	69	GREEN LUSTRE HOLLY	ILEX CRENATA 'GREEN LUSTRE'	3 GALLON
GOJ	16	GREY OUL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OUL'	3 GALLON
SOD		BERMUDA SOD		
MULCH		HARDWOOD		



Know what's below.
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VICINITY MAP



8-C-13-UR
REVISED
9-4-13

CVS
pharmacy

SOUTHEAST 13,225-LEFT
CHAMFER DRIVE-THRU

STORE NUMBER: 03762

NEC OF N. CEDAR BLUFF
RD AND KINGSTON PIKE
CITY OF KNOXVILLE, TN

PROJECT TYPE: RELOCATION

DEAL TYPE: FEE FOR SERVICE

CS PROJECT NUMBER: 058414

ENGINEER:

CAMPBELL

ENGINEERING & ASSOCIATES, INC.
Soil Engineering and Land Planning
31 Boland Court
Greenville, SC 29615
(864) 335-4090
Fax: (864) 335-4095

DEVELOPER:

DEM HOLDINGS, LLC
880 SOUTH PLEASANTBURG DR.
SUITE 3-B
GREENVILLE, SC 29607
CONTACT: TOM FRIEDLOB

PHONE: (864) 517-3605
FAX: (864) 236-6961

SEAL:

**PRELIMINARY
FOR MPC
SUBMITTAL
ONLY**

REVISIONS:

DRAWING BY: FSE

DATE: 08/30/13

JOB NUMBER:

TITLE:
LANDSCAPE PLAN

SHEET NUMBER:

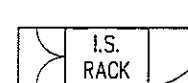
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COMMENTS:

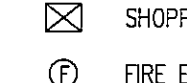
O.S. 84"HX48"Wx18"D
O.S.=OVERSTOCK SHELVING

HD

8'-0"x3'-6" HEAVY DUTY PALLET
RACKS



☐ I.S. RACK



EXTINGUISHER

COMMUNICATION JACK w/ LETTER
INDICATING TYPE: T=TELEPHONE, P=P.O.S
D=DATA, I=INTERCOM, RE=POWER FAILURE

TOTAL STORE AREA:
13,225 S.F.

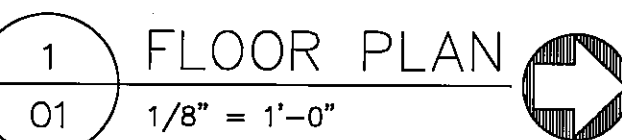
PHARMACY AREA
1,054 S.F.

RECEIVING AREA:
1340 S.F.

CONTACT EMAIL: kseibel@littleonline.com

CONTACT NAME: XXXX
CONTACT PHONE: XXXX
CONTACT EMAIL: XXXX

NOTE: MAINTAIN DOOR CLEARANCES INDICATED ON THIS SHEET AS REQUIRED BY 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.



8-C-13-VK
REVISED
9-4-13

SEAL:

REVISIONS:

CVS PROJECT MANAGER: SAC

DRAWING BY:

DATE: 6/14/2013

JOB NUMBER:

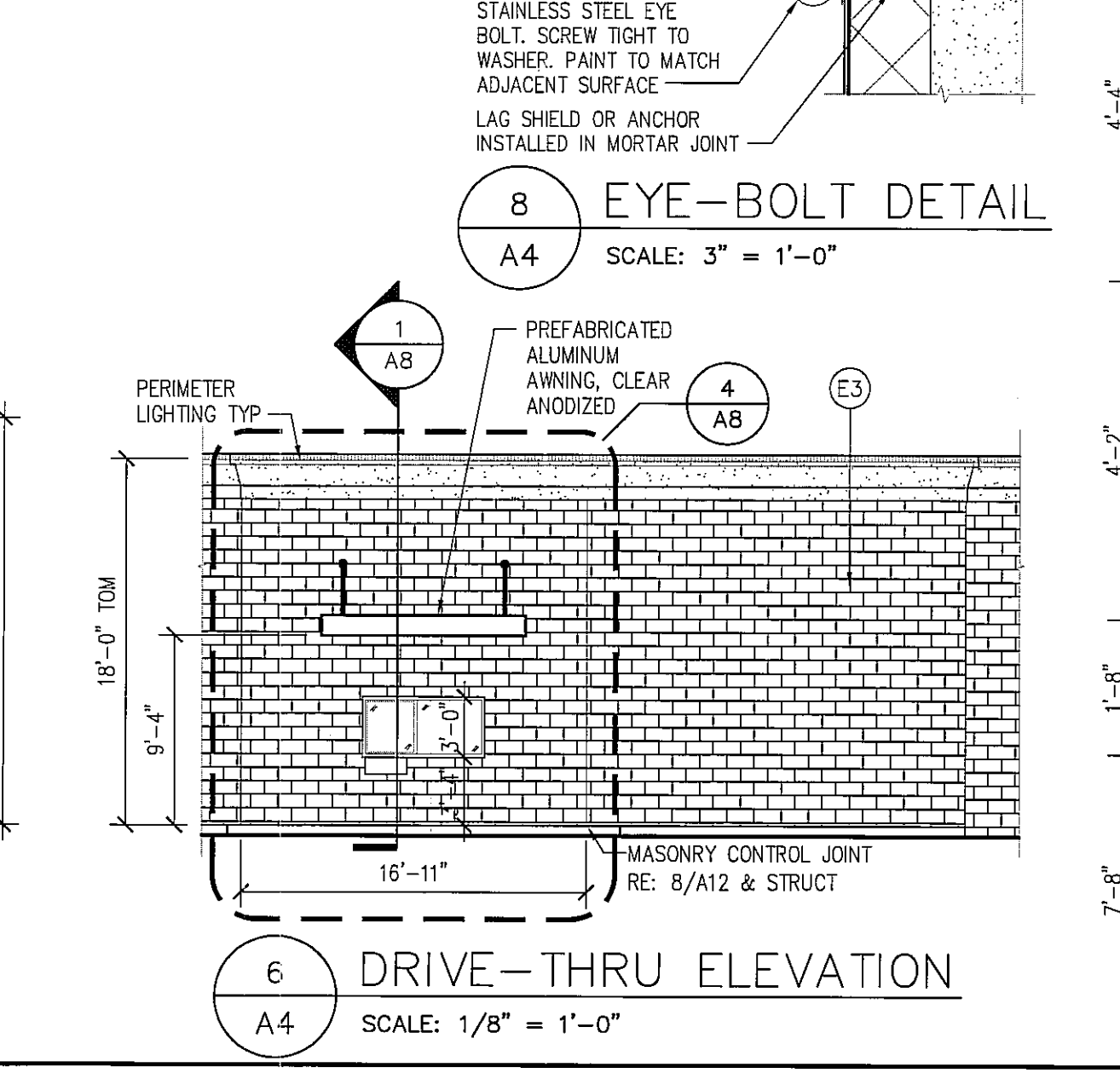
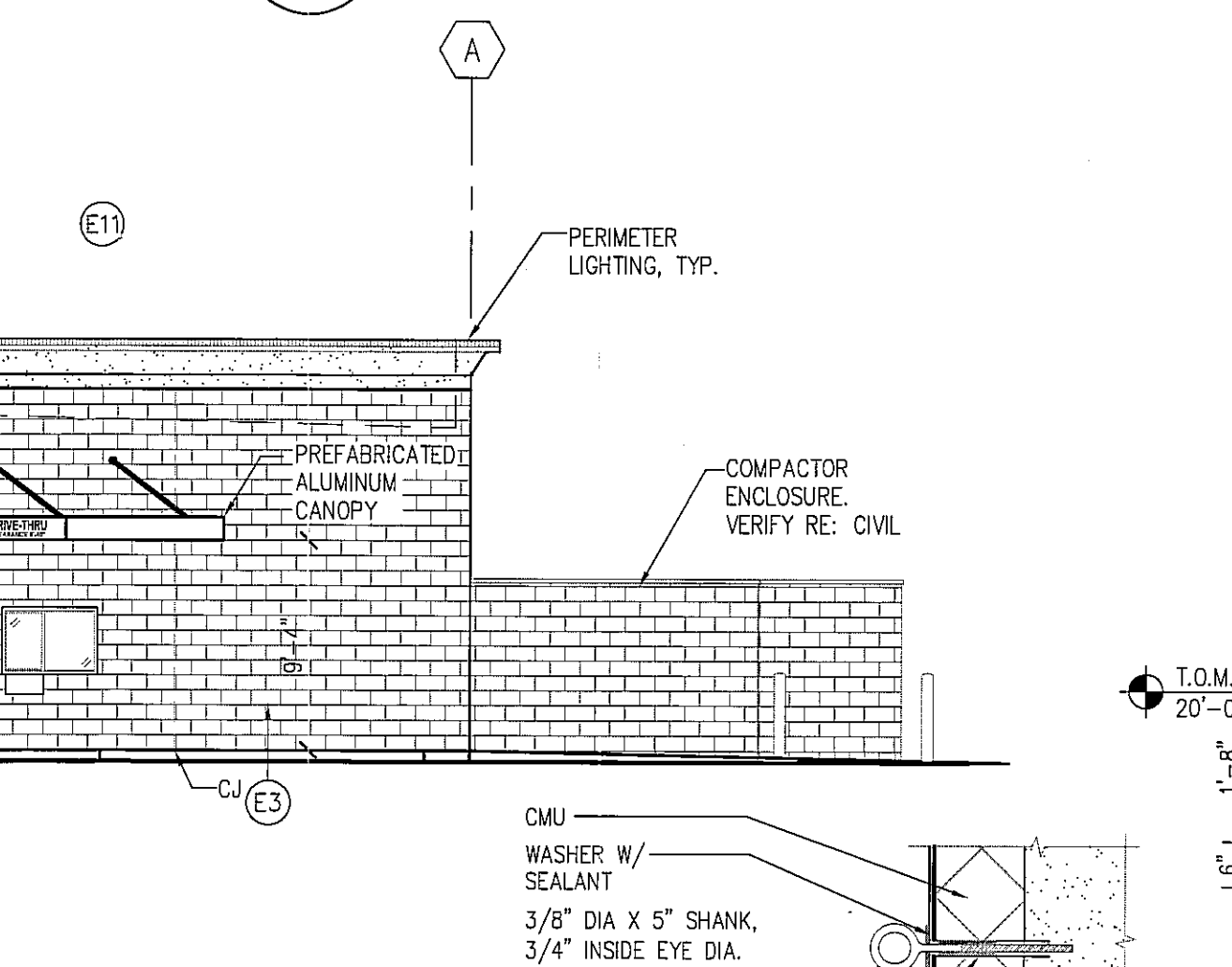
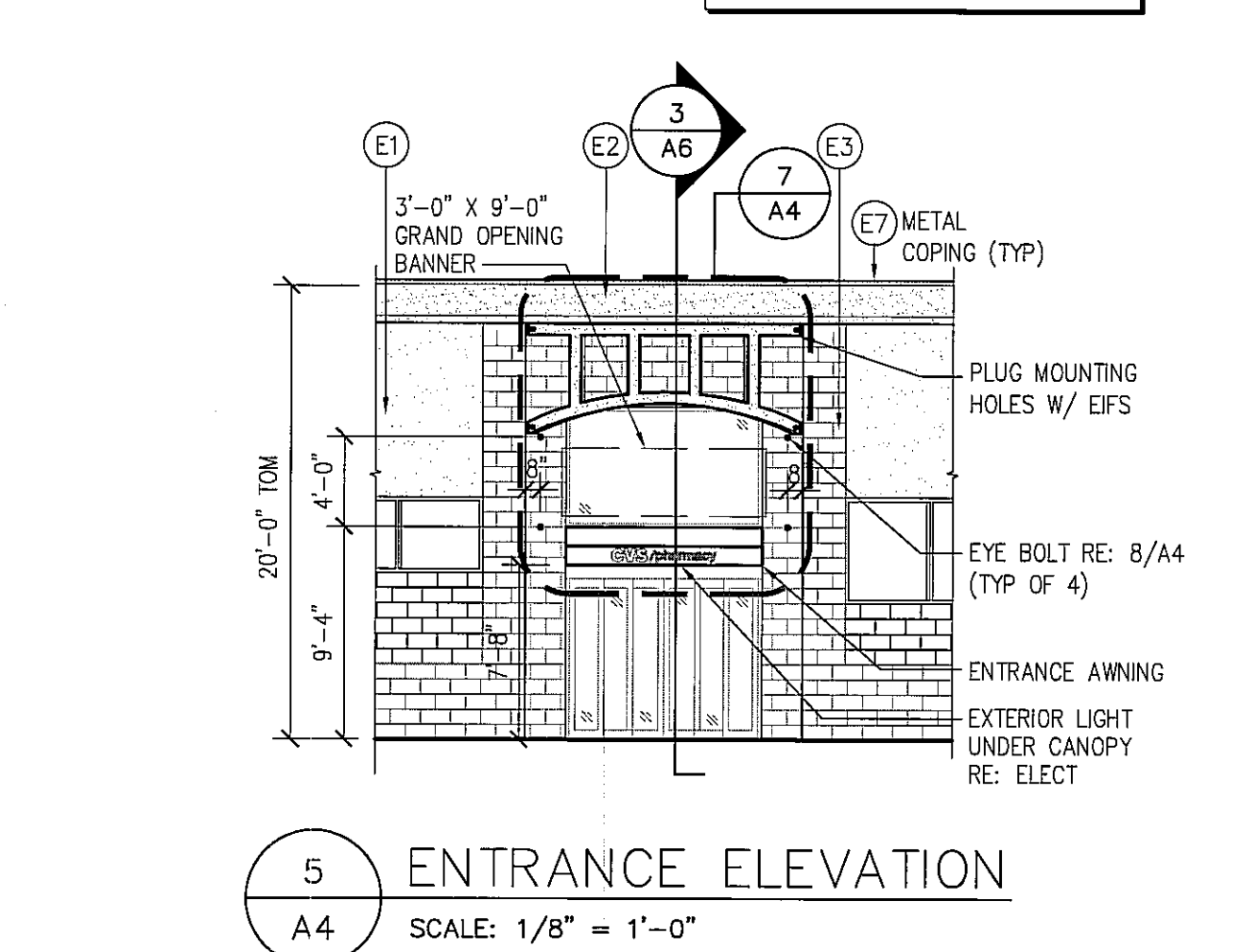
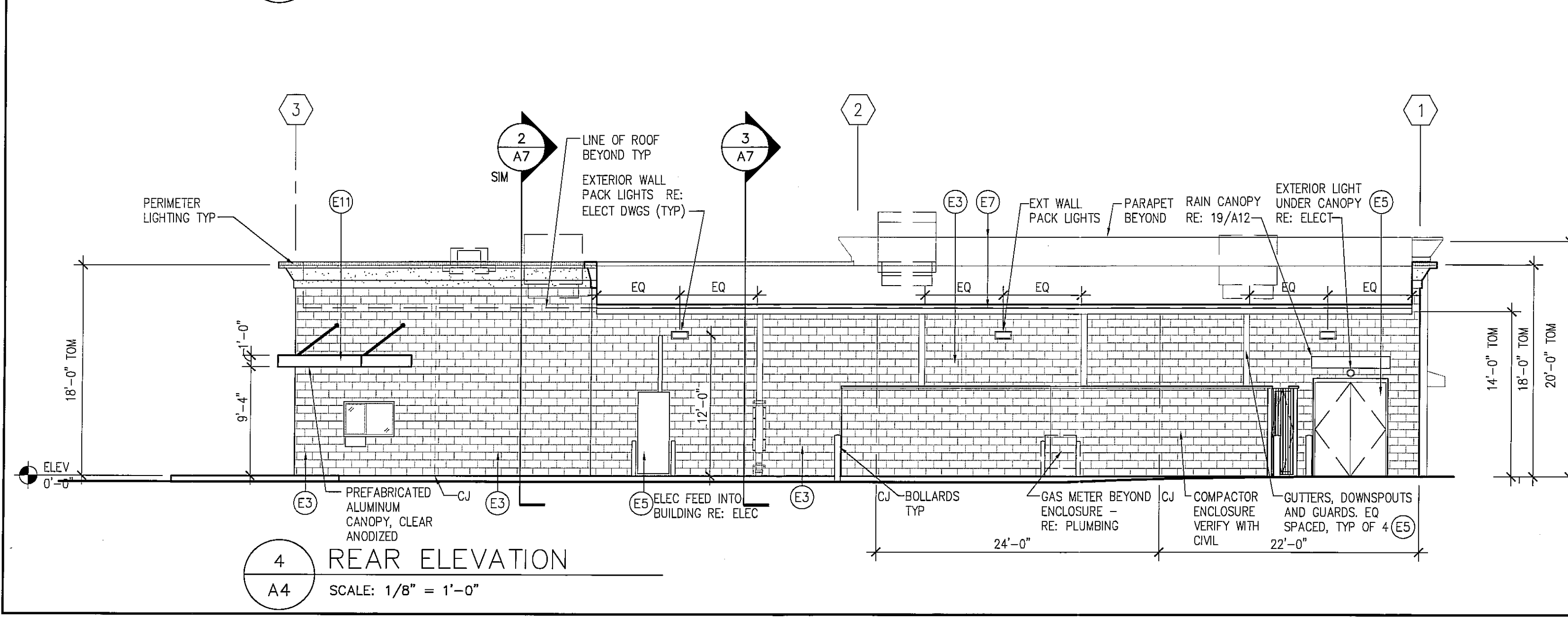
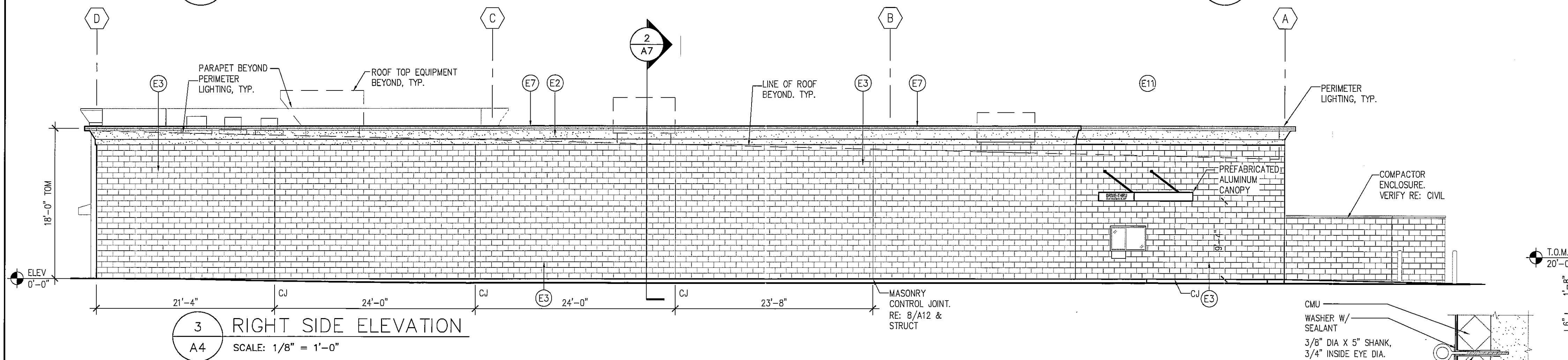
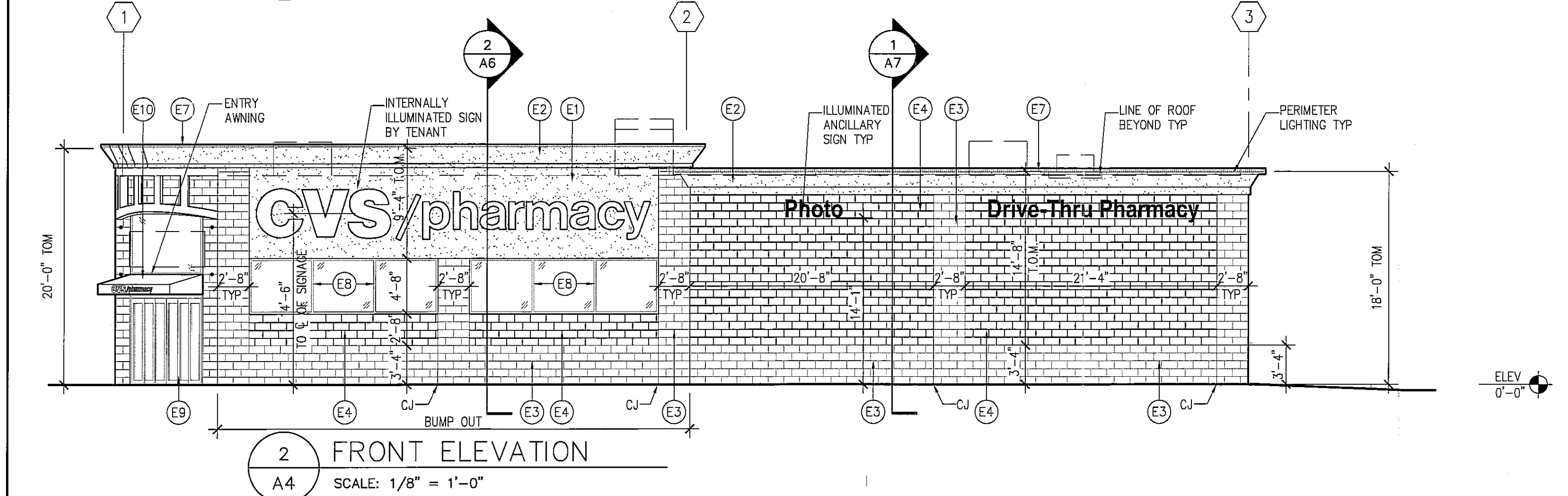
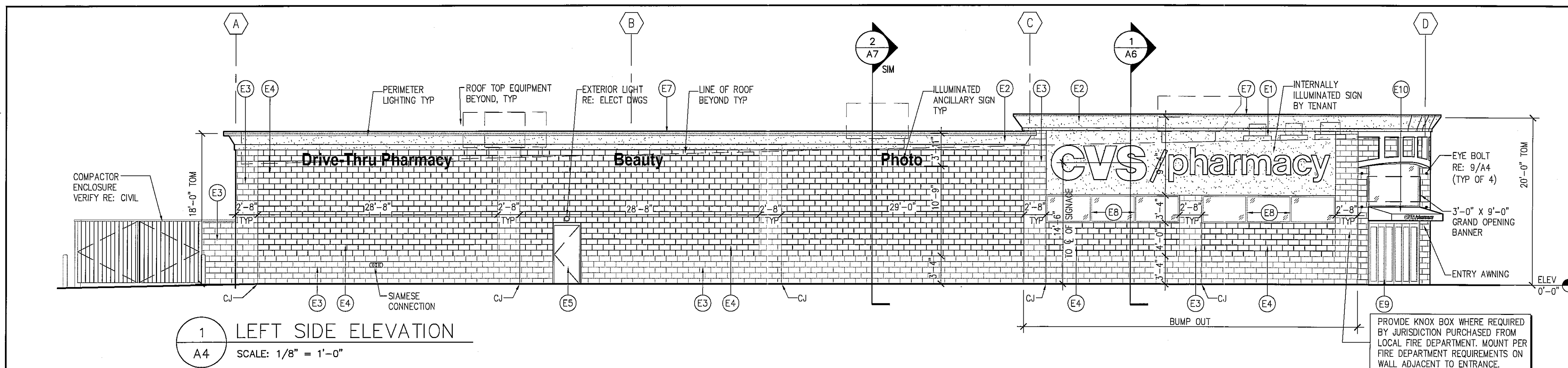
TITLE:

OUTLINE PLAN

SHEET NUMBER:

OL-1

COMMENTS:



EXTERIOR FINISH SCHEDULE			
TAG	MATERIAL / DESCRIPTION	MFR. / STYLE / CAT. NO.	NOTES
E1	EIFS / DEFS	STO LOTUSAN SYSTEM 191 STOLIT, LOTUSAN 1.5	NA06-0029 PEACHY BEIGE
E2	EIFS	STO LOTUSAN SYSTEM 191 STOLIT, LOTUSAN 1.5	NA05-0001 RAFTERTAIL
E3	SPLIT FACE CMU	OLDCASTLE ARCHITECTURAL	A-296-R GARNET
E4	SPLIT FACE CMU ACCENT	OLDCASTLE ARCHITECTURAL	A-297-R SOFT COTTON
E5	PAINT	BENJAMIN MOORE	2174-30 SEDONA CLAY
E6	BOLLARD COVER	INNOPLAST BOLLARDGARD BC752 OR BC452	YELLOW
E7	REFINISHED METAL COPING		COLOR TO MATCH "E2" EIFS
E8	ALUM STOREFRONT		CLEAR ANODIZED
E9	ALUM AUTOMATIC DOOR	STANLEY DURAGLIDE 5300	CLEAR ANODIZED
E10	VINYL AWNING	BURTON SIGNWORKS, INC.	WEBLON #2926 DEEP RED
E11	ALUMINUM CANOPY	MAPES ARCHITECTURAL CANOPIES	CLASS II CLEAR ANODIZED

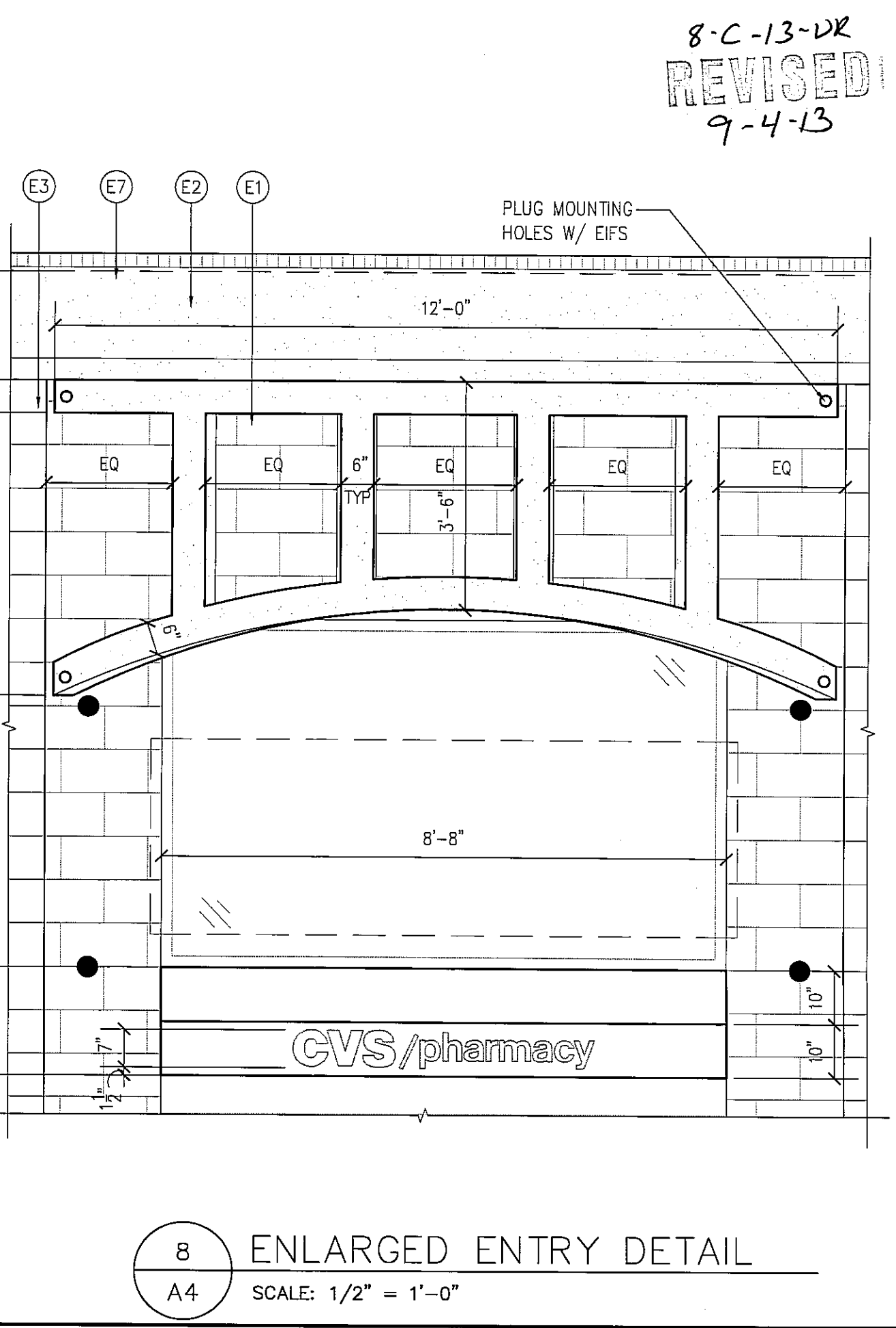
NOTE: SIGNAGE UNDER SEPARATE PERMIT. REFER TO APPROVED SIGNAGE PACKAGE FROM SIGNAGE VENDOR FOR SIZES AND LOCATIONS OF SIGNS. EXTERIOR SIGNAGE TO BE EXPANSION ANCHORED.

LEGEND
XX - RE: EXTERIOR FINISH SCHEDULE

PLYON SIGNAGE EIFS COLOR TO MATCH THE BUILDING EIFS COLOR.

ALTERNATE SPLIT FACE CMU SUPPLIER			
TAG	MATERIAL / DESCRIPTION	COLOR TO MATCH	NOTES
E3	SPLIT FACE CMU	JOHNSON CONCRETE JC-535R GARNET	HOLCIM ENVIROCORE MORTAR CORAL
E4	SPLIT FACE CMU ACCENT	JOHNSON CONCRETE JC-623R SOFT COTTON	HOLCIM ENVIROCORE MORTAR HARWOOD YELLOW
E5	SPLIT FACE CMU	CEMEX 45 TERRA COTTA	HOLCIM ENVIROCORE MORTAR CORAL
E6	SPLIT FACE CMU ACCENT	CEMEX 861 SOFT IVORY	HOLCIM ENVIROCORE MORTAR HARWOOD YELLOW

NOTE: SEE SHEET A15 FOR CONTACT INFORMATION



TYPE B-1322' -LEFT
CHAMFER DRIVE-THRU
STORE NUMBER 3762
NEC N. CEDAR BL'FF ROAD AND
KINGSTON PIKE
KNOXVILLE, TN
PROJECT TYPE: F ELOCATION
DEAL TYPE: FFS
CS PROJECT NUMBER: 058414

ARCHITECT OF RECORD
LITTLE
DIVERSIFIED ARCHITECTURAL CONSULTING
5815 Westpark Driv • Charlotte, NC 28217
T: 704.525.635C F: 704.561.8700
www.littleonline.com

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CONSULTANT:

DEVELOPER:
D&M Holdings, LLC
880 South Pleasantburg Drive
SUITE 3-B
Greenville, SC 29607
TEL (864) 517-3603
FAX (864) 236-6961

SEAL:

REVISIONS:

CVS PROJECT MANAGER: SAC
DRAWING BY:
DATE: 6/14/2013
JOB NUMBER:
TITLE:

EXTERIOR ELEVATIONS
SHEET NUMBER:
COMMENTS: