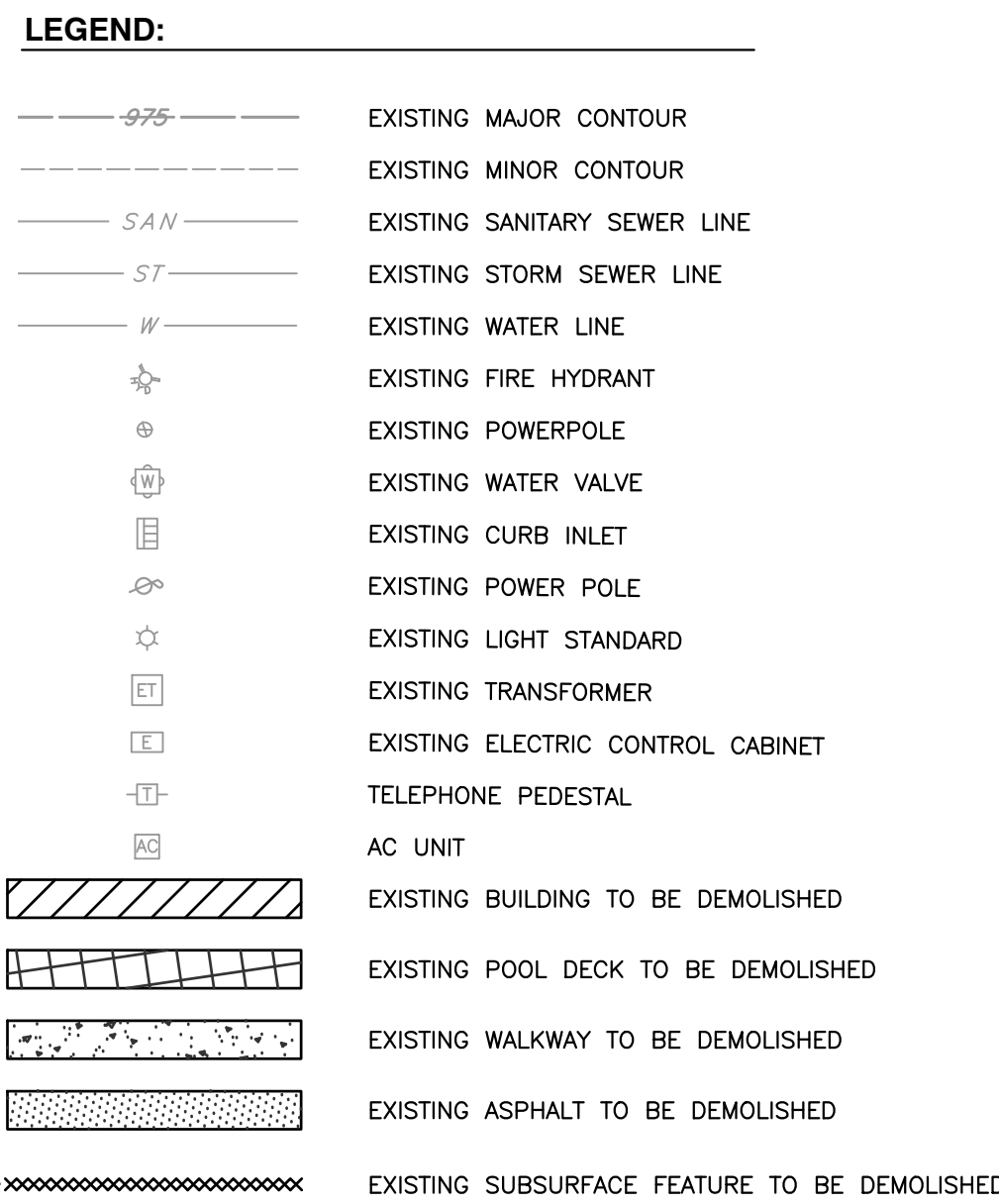




ADDING ±15000 SF OF IMPERVIOUS AREA

ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE
AND SHOULD BE FIELD VERIFIED.



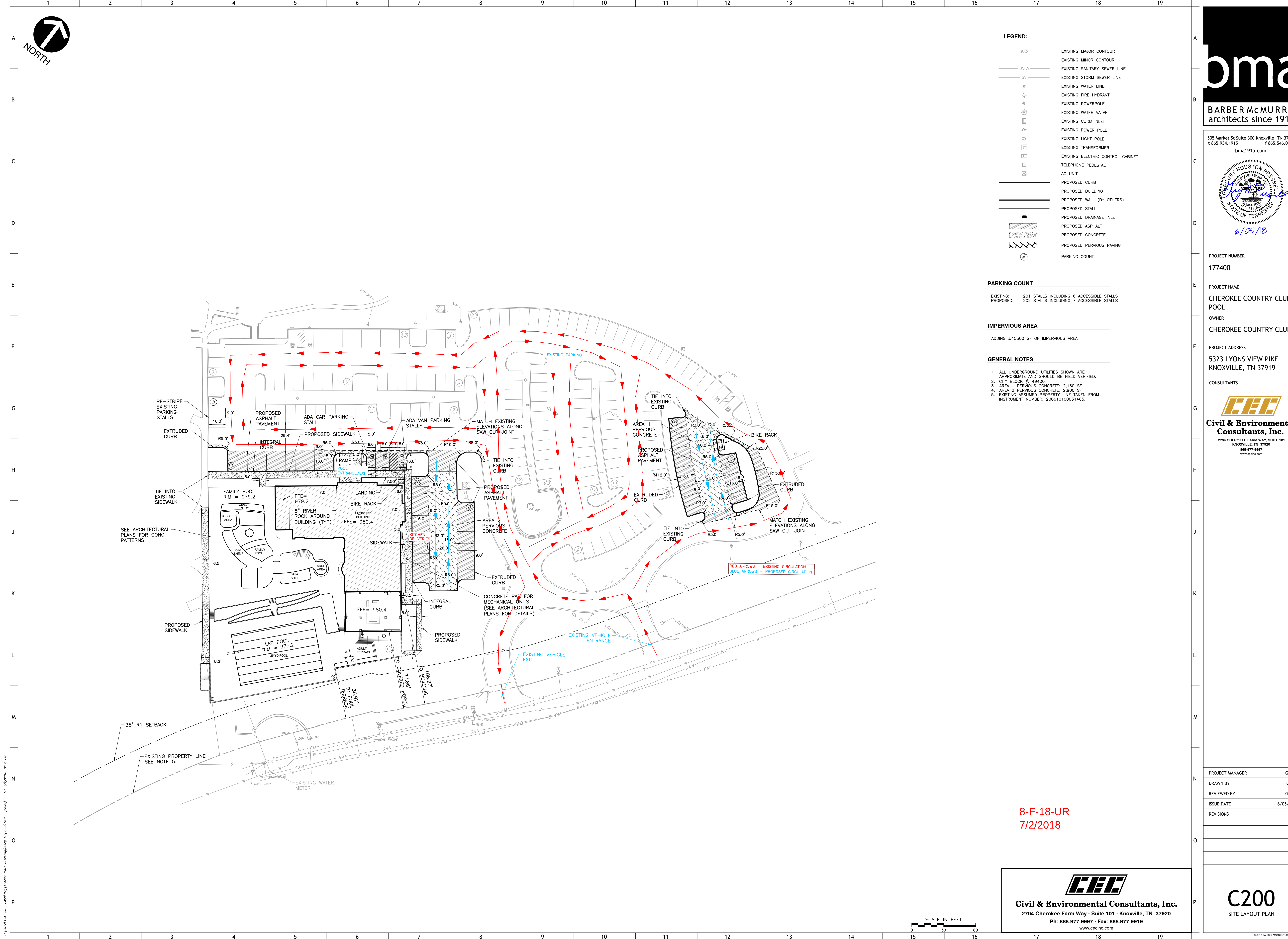
SCALE IN FEET

0 30 60

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865-977-9997
www.ccecinc.com

C100

EXISTING CONDITION
AND DEMO PLAN



LEGEND:

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SANITARY SEWER LINE
	EXISTING STORM SEWER LINE
	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	EXISTING POWERPOLE
	EXISTING WATER VALVE
	EXISTING CURB INLET
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING TRANSFORMER
	EXISTING ELECTRIC CONTROL CABINET
	TELEPHONE PEDESTAL
	AC UNIT
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED WALL (BY OTHERS)
	PROPOSED STALL
	PROPOSED DRAINAGE INLET
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED PERVIOUS PAVING
	PARKING COUNT

PARKING COUNT

EXISTING: 201 STALLS INCLUDING 6 ACCESSIBLE STALLS
PROPOSED: 202 STALLS INCLUDING 7 ACCESSIBLE STALLS

IMPERVIOUS AREA

ADDING ±15500 SF OF IMPERVIOUS AREA

- GENERAL NOTES**
1. ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
 2. CITY BLOCK # 49400
 3. AREA 1 PERVIOUS CONCRETE: 2,160 SF
 4. AREA 2 PERVIOUS CONCRETE: 2,900 SF
 5. EXISTING ASSUMED PROPERTY LINE TAKEN FROM INSTRUMENT NUMBER: 200610100031465.

8-F-18-UR
7/2/2018

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bma1915.com

6/05/18

PROJECT NUMBER
177400

PROJECT NAME
CHEROKEE COUNTRY CLUB
POOL

OWNER
CHEROKEE COUNTRY CLUB

PROJECT ADDRESS
5323 LYONS VIEW PIKE
KNOXVILLE, TN 37919

CONSULTANTS

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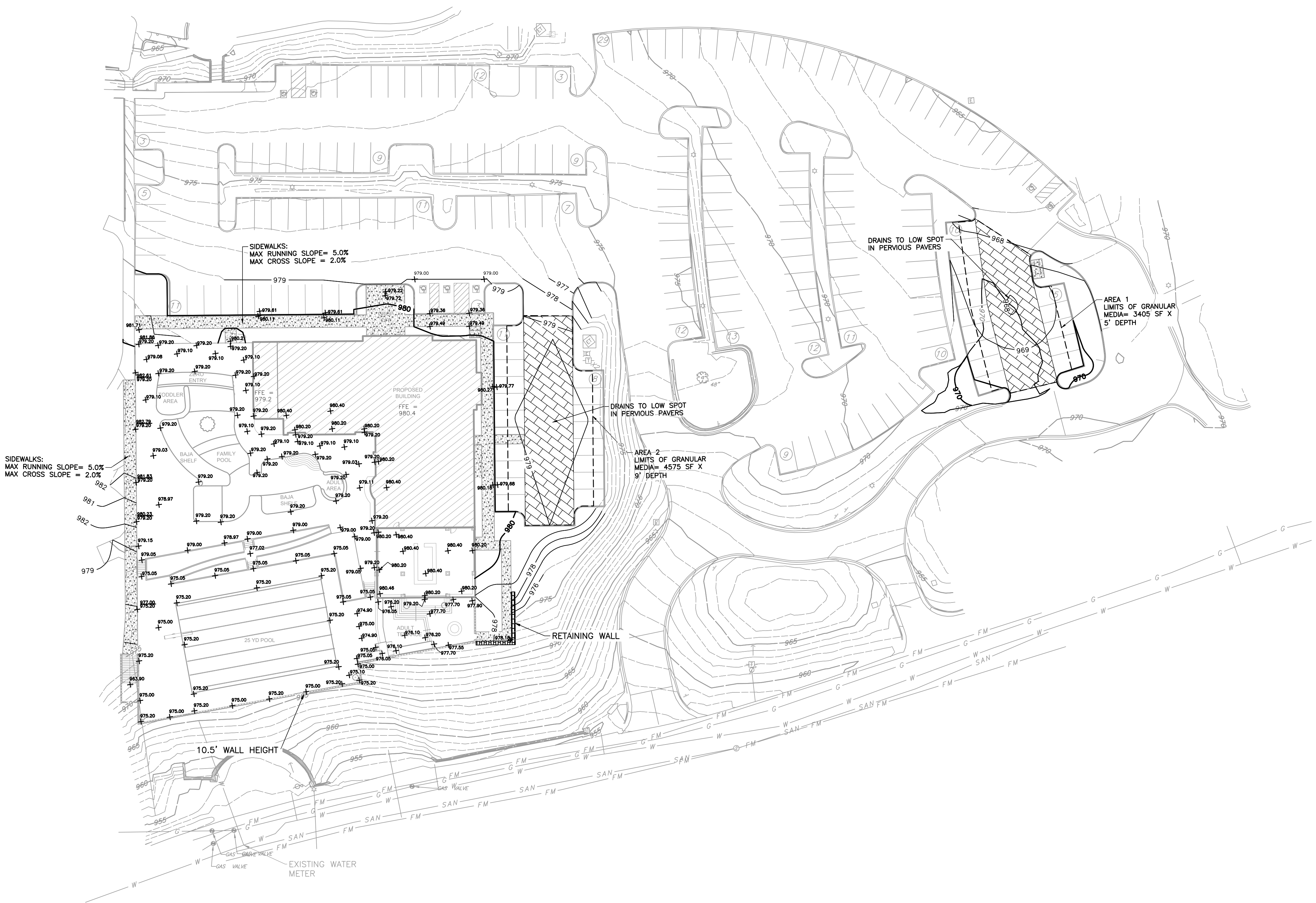
PROJECT MANAGER	GHP
DRAWN BY	CRJ
REVIEWED BY	GHP
ISSUE DATE	6/05/18
REVISIONS	

C200
SITE LAYOUT PLAN

8-F-18-UR-2018-0000 (Rev 1/14/18) - C:\Users\jmc\OneDrive\Documents\8-F-18-UR-2018-0000.dwg (LS) 7/2/2018 10:33 AM - JMC



- LEGEND:**
- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM SEWER LINE
 - EXISTING WATER LINE
 - EXISTING FIRE HYDRANT
 - EXISTING POWERPOLE
 - EXISTING WATER VALVE
 - EXISTING CURB INLET
 - EXISTING POWER POLE
 - EXISTING LIGHT STANDARD
 - EXISTING TRANSFORMER
 - EXISTING ELECTRIC CONTROL CABINET
 - TELEPHONE PEDESTAL
 - AC UNIT
 - PARKING COUNT
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - LIMITS OF INFILTRATION MEDIA PIT



8-F-18-UR
7/2/2018

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KNOXVILLE, TN 37919

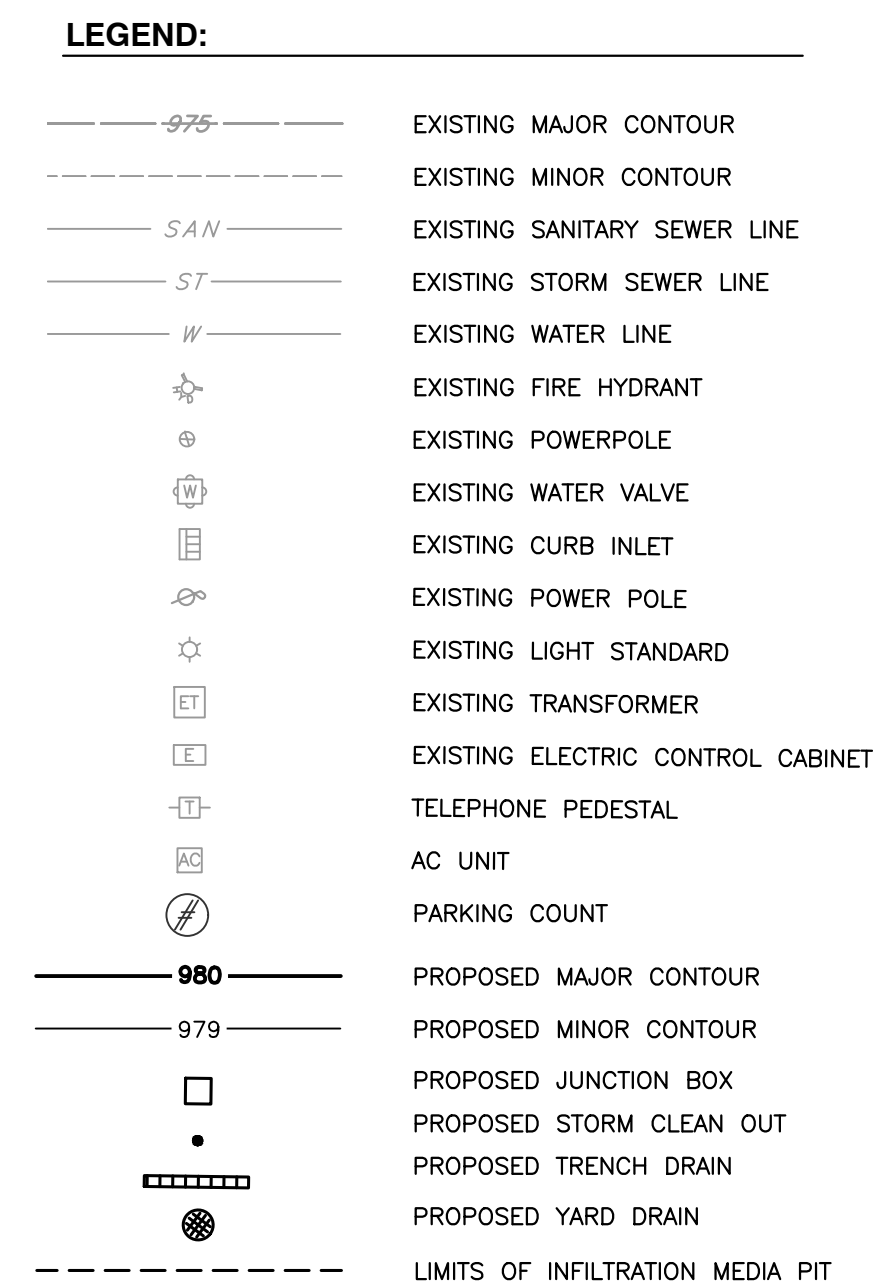
CONSULTANTS

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PROJECT MANAGER	GHP
DRAWN BY	CRJ
REVIEWED BY	GHP
ISSUE DATE	6/05/18
REVISIONS	

C300
GRADING PLAN

A:\2017\17-18\177400\Draw\177400-GRD-001-000.dwg (177400-GRD-001-000.dwg) 6/5/2018 4:51 PM - Owner - LP 6/5/2018 4:51 PM



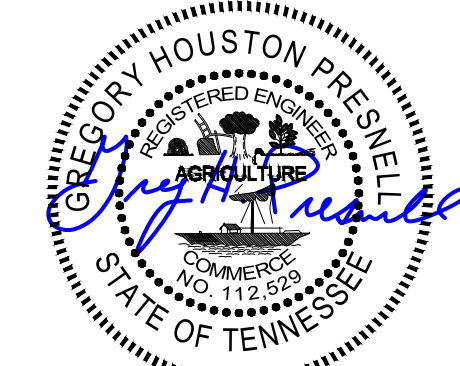
1. ALL UTILITIES TO BE OUTSIDE OF INFILTRATION MEDIA PITS.



8-F-18-UR
7/2/2018



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6/05/18

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POOL

OWNER
CHEROKEE COUNTRY CLUB

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5323 LYONS VIEW PIKE
KNOXVILLE, TN 37919

CONSULTANTS



PROJECT MANAGER	GHR
DRAWN BY	CR
REVIEWED BY	GHR
ISSUE DATE	6/05/11
REVISIONS	

C400

DRAINAGE PLAN

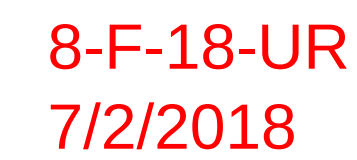
1. THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE DETERMINED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE UTILITIES.
2. AT START OF CONSTRUCTION OPERATIONS IDENTIFY AREAS OF GRASS TO BE REMOVED AND IDENTIFY BOWNOXD AREAS TO BE AVOIDED. THE CONTRACTOR SHALL MULCH BED
3. ALL EXISTING GRASS AREAS TO BE REMOVED AS REQUIRED. ALL AREAS DISTURBED BY WORK.
4. ALL PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. THE LOCATION OF ALL TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHOWING ON THE DRAWINGS OR WHERE FIELD LOCATION BY LANDSCAPE ARCHITECT.
6. ESTABLISH SMOOTH CURVILINEAR MOWING/BED LINES WHERE LAWN MEETS DRIVEWAY, DRIVEWAY AND DRIVEWAY MEETS DRIVEWAY.
7. ALL PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE BEGINNING BED PREPARATION.
8. PROVIDE PROPER SPECIFICATIONS FOR ALL PLANTS.
9. HALF TONE IMAGES ARE EXISTING CONDITIONS INCLUDED FOR REFERENCE.
10. TOPSOIL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. ALL AREAS OF MASS PLANTING SHALL RECEIVE 6" OF APPROVED TOPSOIL/BACKFILL MIX.
12. MULCH AREAS OF TREE, SHRUB AND GROUND COVER MASS PLANTING WITH 3" OF SHREDED HARDWOOD BARK MULCH AS SPECIFIED.
13. MULCH ALL COLOR BED/FEATURE PLANTER AREAS WITH 1-1/2" OF FINELY SHREDED HARDWOOD BARK MULCH AS SPECIFIED.
14. CONTRACTOR SHALL REPAIR AND MODIFY ANY EXISTING IRRIGATION AS NEEDED.
15. PLEASE PROVIDE PROPER DOCUMENTATION WITH SUPPORTING SIGNATURES, ADDRESS AND PHONE NUMBER OF THE CONTRACTOR, ADDRESS OF THE LANDSCAPE ARCHITECT AND ARE FREE OF BOWNOXD LIGN.
16. PROVIDE TWO (2) SPECIMEN PLANT MATERIAL FOR APPROVAL PRIOR TO INSTALLATION AND ACQUISITION.

Project shall be fully irrigated with 100% coverage of lawn areas and planted beds. Irrigation zone control shall be automatic operation with controller and automatic control valves. Shop drawings and irrigation plan shall be provided to Landscape Architect for review and approval.

Sec.14-34 b. Where application for a building permit for new construction or subdivision approval is required, a minimum of six (6) trees per acre shall be retained on the site unless cut & fill work such trees cannot be saved.

Trees required: $1.76\text{ac} \times 8 \text{ trees/ac} = 14 \text{ trees}$
Trees provided: 74

Required Trees capable of reaching 50 feet at maturity: 7
 Provided Trees capable of reaching 50 feet at maturity: 16



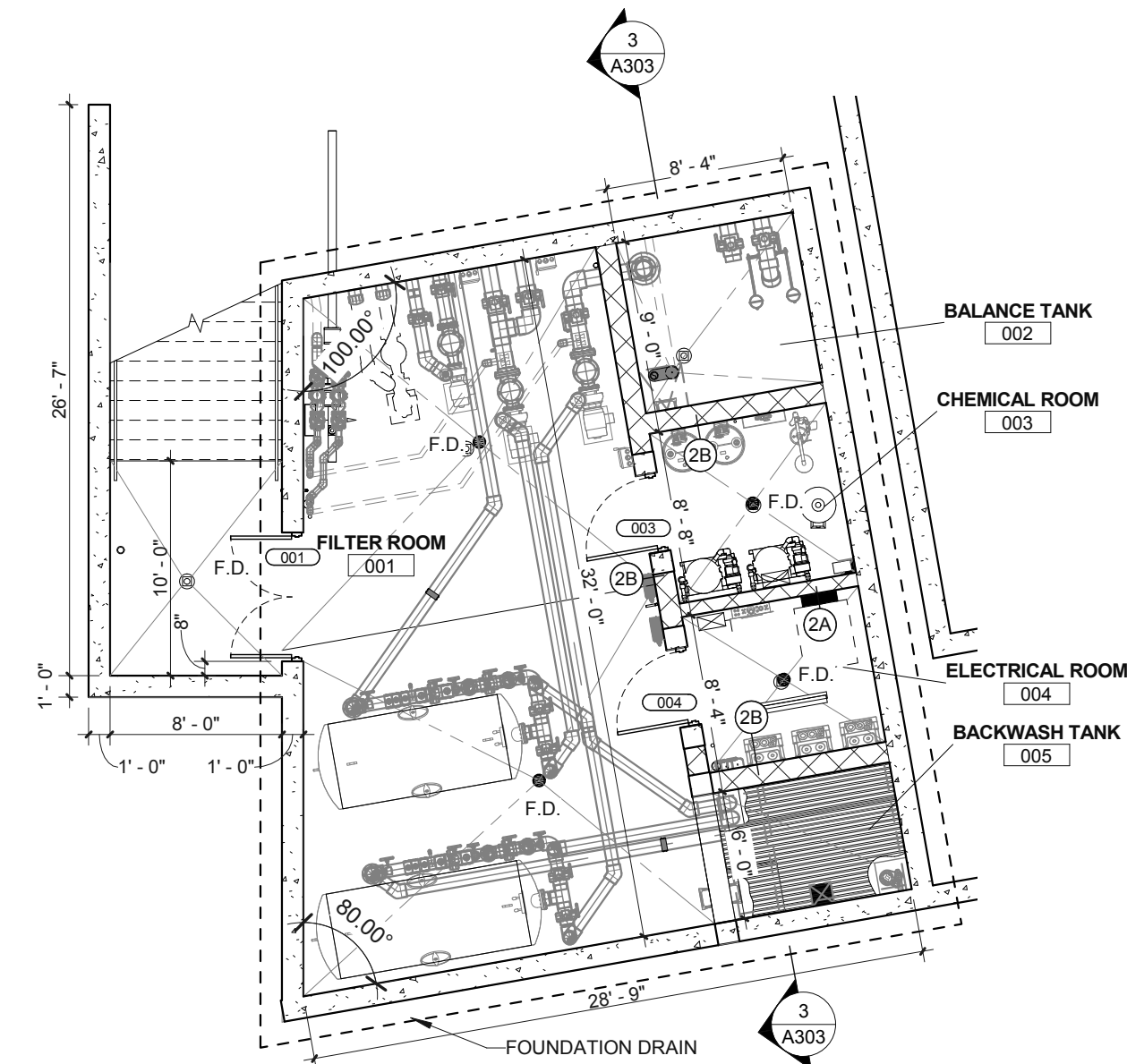
SCALE: 1"=10'



L001

Landscape Plan

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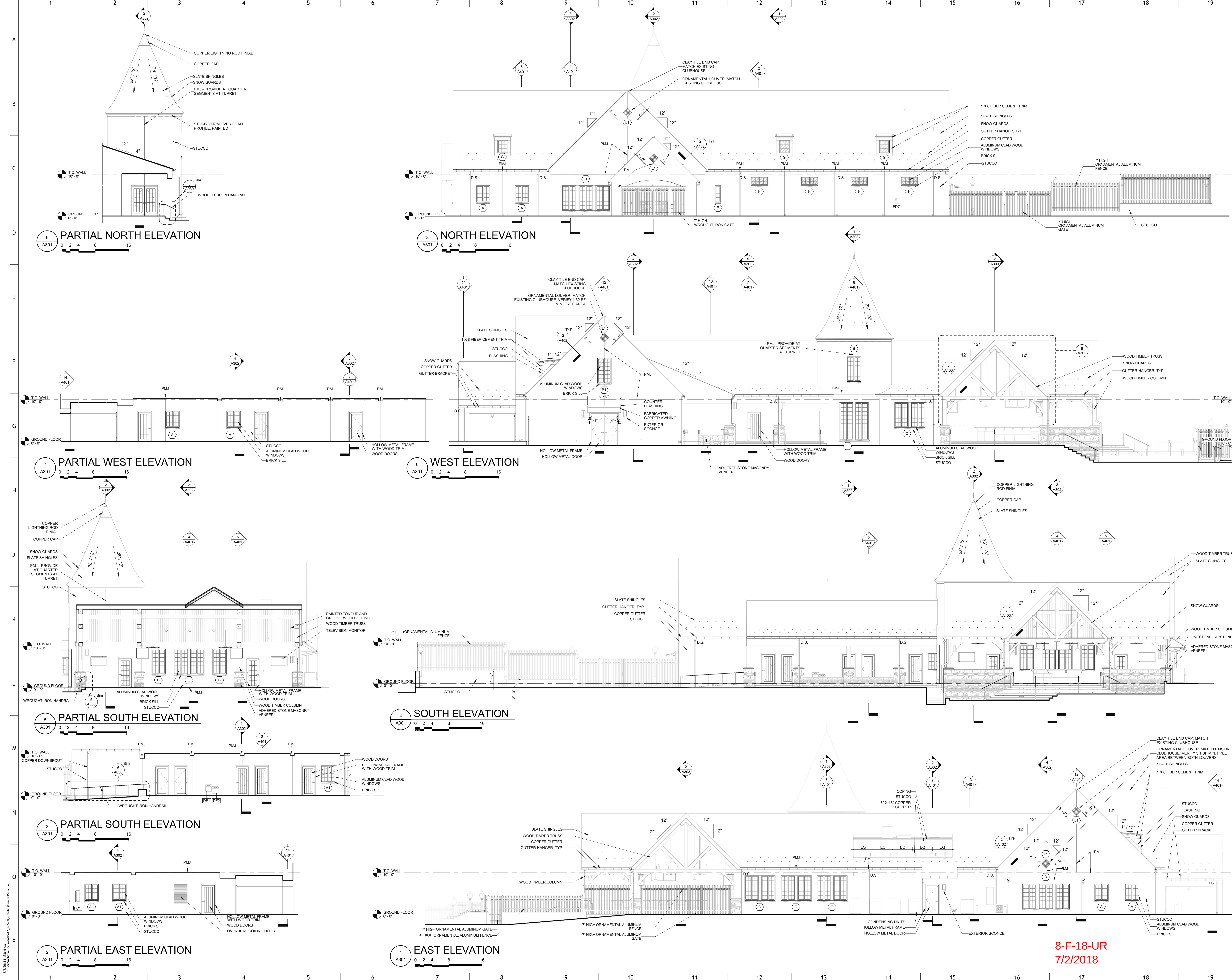
EQUIPMENT ROOM

0 2 4 8 16

A101

FLOOR PLAN

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SHELBY L. HEAD
Professional Engineer
State of Tennessee
License No. 449418
4-18-18

PROJECT NUMBER
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PROJECT NAME
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POOL

OWNER
CHEROKEE COUNTRY CLUB

PROJECT ADDRESS
5323 LYONS VIEW PIKE
KNOXVILLE, TN 37919

CONSULTANTS

GENERAL NOTES

- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
- NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
- DIMENSIONS ARE TO FACE OF MASONRY, OR EDGE OF OPENING UNLESS OTHERWISE NOTED.
- SEE SHEET A701 FOR EXTERIOR WINDOW TYPES AND DETAIL REFERENCES.
- PMJ INDICATES PLASTER MOVEMENT JOINT.
- SEE SHEET A030 AND A031 FOR SITE STAIR AND RAIL DETAILS.

PARTNER-IN-CHARGE	KLH
PROJECT MANAGER	MWC
DRAWN BY	MWC
REVIEWED BY	TWM
ISSUE DATE	06.04.2018
REVISIONS	

A301
ELEVATIONS

8-F-18-UR
7/2/2018

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