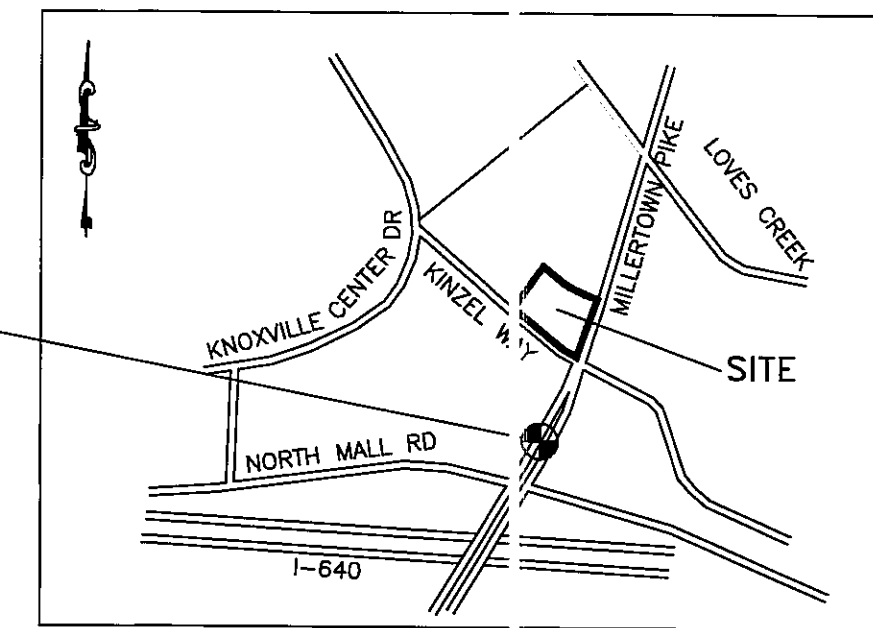


PROPERTY NOTES

1. PARCEL ID: CLT 59 PARCEL EA001
2. EXISTING ZONING: SC-3
3. CITY BLOCK NO. 33970
4. CITY WARD 33
5. AREA=42383 SF (0.973 ACRES)
6. SETBACKS:
FRONT: 25 FT.
SIDE: 25 FT. IF BUILDING ADJACENT TO RESIDENTIAL
REAR: 0 FT.

BENCHMARK
DESCRIPTION: 3.25" ALUM DISK SET
IN CONCRETE MEDIAN, STAMPED "CITY
OF KNOXVILLE SURVEY CONTROL
MONUMENT, 0060, 1999"
LOCATION: SET IN MEDIAN IN CENTER
OF MILLERTOWN PIKE, NE OF MALL
ROAD NORTH
ELEVATION:
N: 624792.177
E: 2597993.200
NAVD88: 959.23



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES IS BASED ON THE BEST AVAILABLE INFORMATION. CALL TENNESSEE ONE-CALL AT 1-800-351-1111 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR UTILITIES LOCATION.
- CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS FOR SLOPE STABILITY, SHORING, AND SLOPE CONTROL DURING CONSTRUCTION.
- BACK FILL MUST BE PLACED AND COMPACTED TO 95% OF STANDARD PROCTOR PRIOR TO UTILITY INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES AND ALIGNMENTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO IDEAL ENGINEERING SOLUTIONS, INC. AT 607-9881.
- TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC.
- DEMOLITION OF EXISTING STRUCTURE AND ABANDONMENT OF EXISTING UTILITIES TO BE PERMITTED AND COORDINATED WITH CITY OF KNOXVILLE.

PARKING SPACES REQUIRED:
5 PER 1000 SF GROSS TOTAL AREA OF BUILDING
7500 SF/1000 SF=38 SPACES
SPACES SHOWN: 46 INCLUDING
2 HANDICAPPED SPACES

PROPOSED 4" PVC (SDR 26) @ 1.0% MINIMUM
SLOPE AND 3" MINIMUM COVER
EXISTING WATER LINE
EXISTING SEWER LINE
PROPOSED 6" PVC (SDR 26) @ 1.0% MINIMUM
SLOPE AND 3" MINIMUM COVER

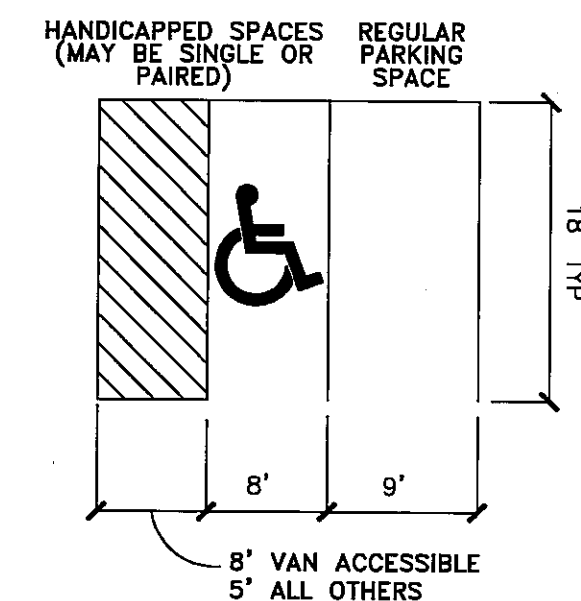
PROPOSED RETAIL
4000 SF
FFE=961.0

PROPOSED RETAIL
3500 SF
FFE=961.0

CAUTION: HIGH PRESSURE
NATURAL GAS MAIN

CAUTION: OVERHEAD
POWER LINE

CAUTION: OVERHEAD
POWER LINE



TYPICAL PARKING SPACE DETAILS
NOT TO SCALE

USE ON REVIEW PLAN
I HEREBY CERTIFY THAT I AM AN ENGINEER, LICENSED
UNDER THE LAWS OF THE STATE OF TENNESSEE. I
FURTHER CERTIFY THESE PLANS AND ACCOMPANYING
DRAWINGS, DOCUMENTS AND STATEMENTS CONFORM TO
ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX
COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN
ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE
METROPOLITAN PLANNING COMMISSION.

TN PE 22540

8-6-13-UR

USE ON REVIEW PLAN

SCALE: 1"=30'



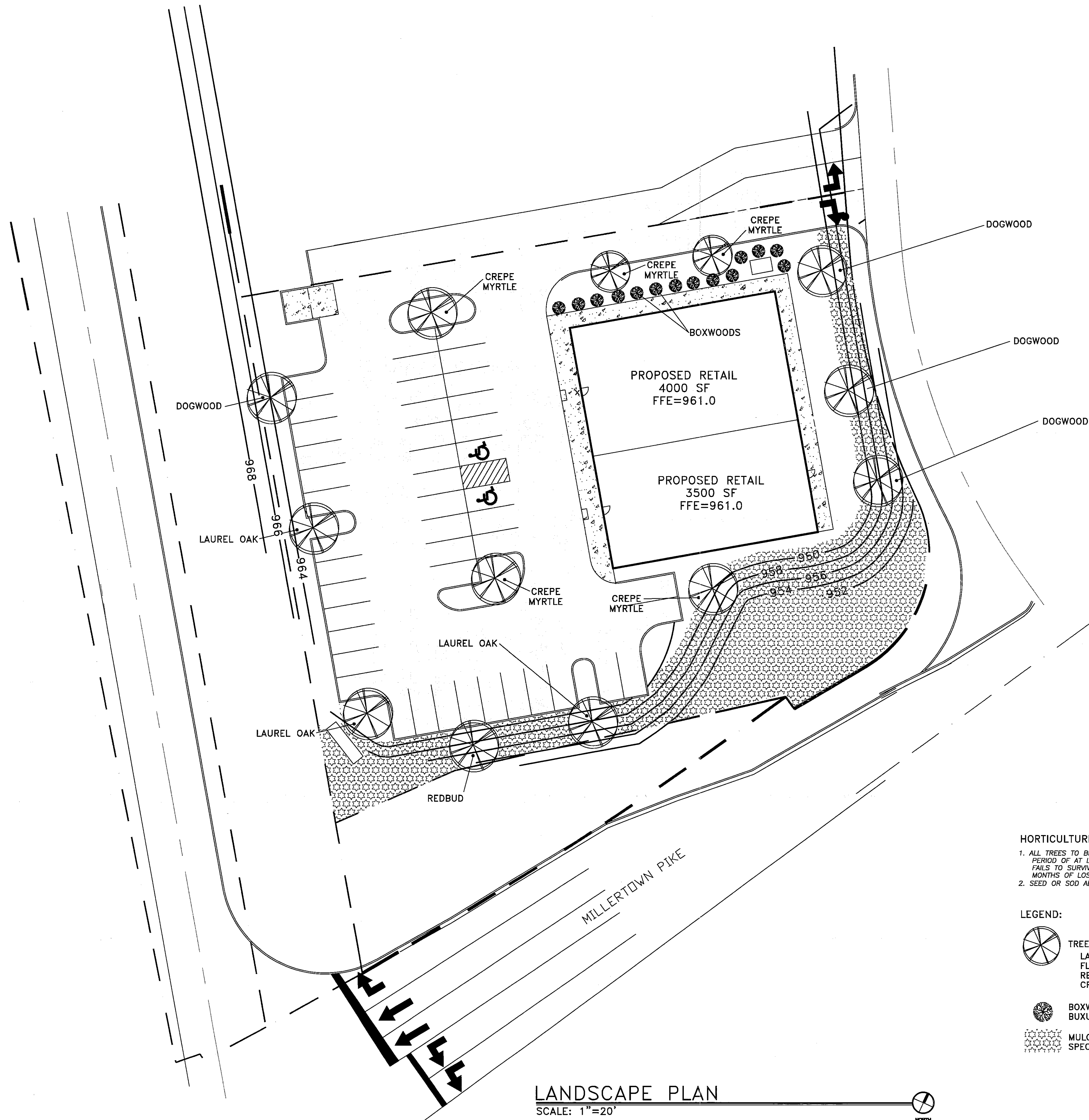
New Construction For:
**LOT ONE
MILLERTOWN COMMERCIAL PARK**
MILLER PLACE WAY
KNOXVILLE, TENNESSEE

Issue Date 06-24-2013

Drawn KVP
Checked DCC

Revisions

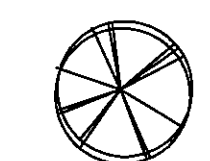
C1.1
use on review plan
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Ideal Engineering Solutions, Inc.



HORTICULTURE NOTES:

1. ALL TREES TO BE PLANTED SHALL BE PROPERLY MAINTAINED TO ENSURE SURVIVAL FOR A PERIOD OF AT LEAST EIGHTEEN (18) MONTHS FROM DATE OF PLANTING. ANY TREE WHICH FAILS TO SURVIVE EIGHTEEN (18) MONTHS SHALL BE REPLACED WITHIN TWELVE (12) MONTHS OF LOSS.
2. SEED OR SOD ALL DISTURBED AREAS NOT PAVED OR LANDSCAPED.

LEGEND:



TREE-AS LABELED

LAUREL OAK
FLOWERING DOGWOOD
REDBUD
CREPE MYRTLE

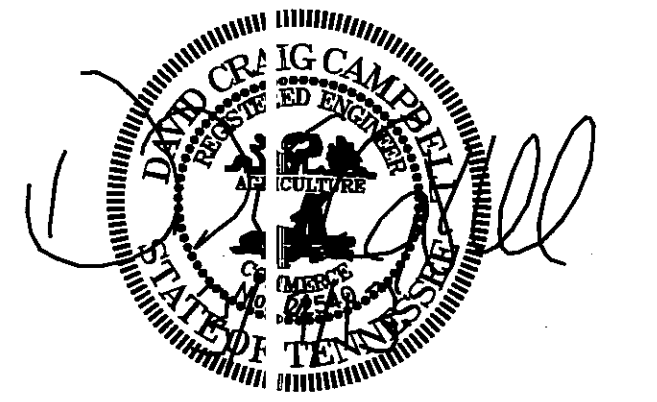
QUERCUS LAURIFOLIA
CORNUS FLORIDA
CERCIS CANADENSIS
LAGERSTROEMIA



BOXWOOD
BUXUS SEMPERVIRENS



MULCH BED WITH GROUND COVER
SPECIES TO BE DETERMINED



New Construction For:

LOT ONE

**5321 MILLERTOWN PIKE
KNOXVILLE, TENNESSEE**

Issue Date 06-21-2013

Drawn KVP Checked DCC

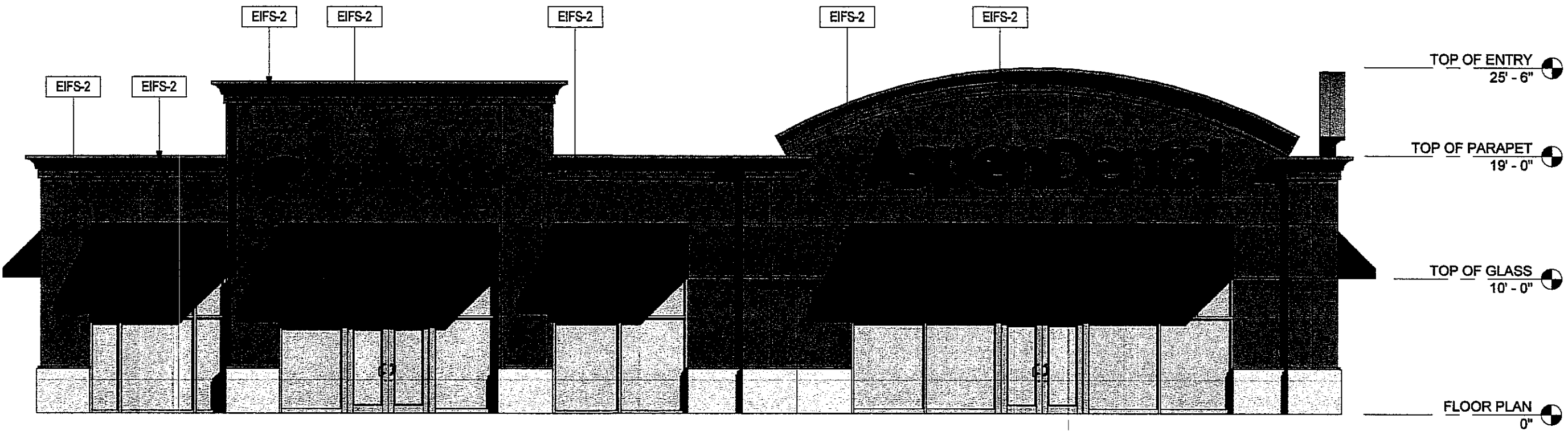
Revisions

L1.1

landscape plan

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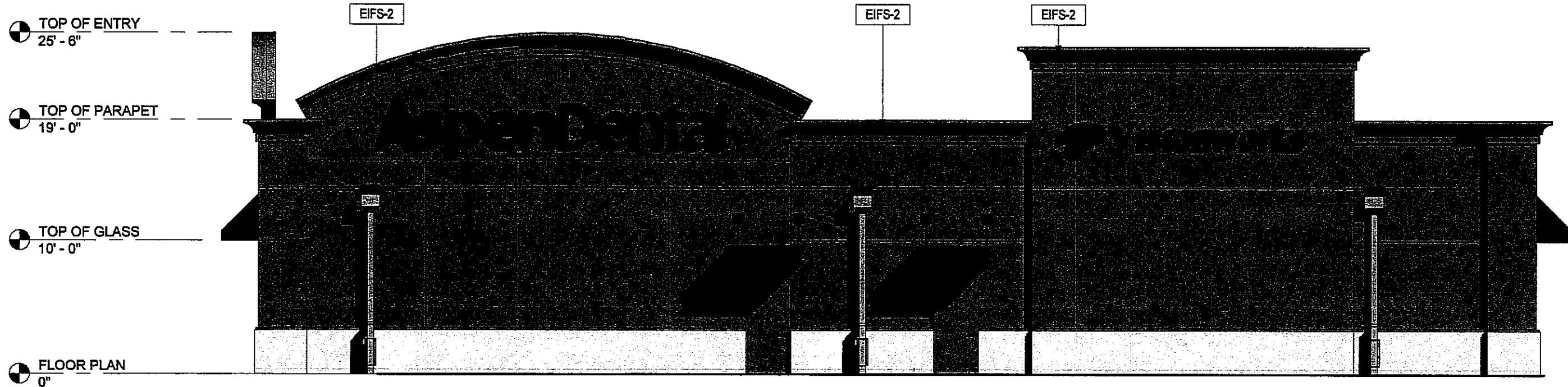
Z:\ProjectMaster\13108-Retail Partners Development-Knoxville, TN-Aspen Dental and Visionworks\Drawings\Revit\13108 - Aspen Dental and Visionworks - Knoxville TN (2013)(Recovery)2.rvt



1 COLOR FRONT ELEVATION

Ref. Sheet
A0.2

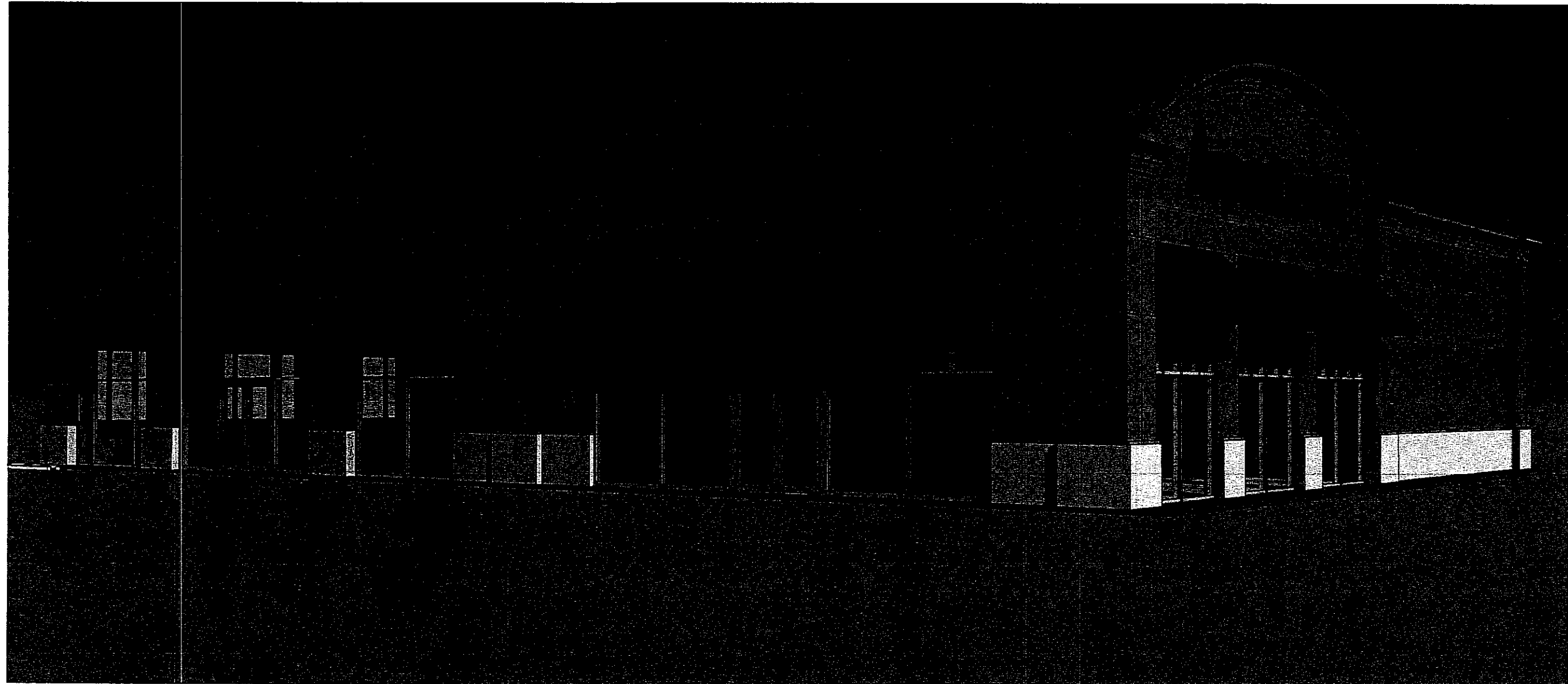
1/8" = 1'-0"



2 COLOR REAR ELEVATION

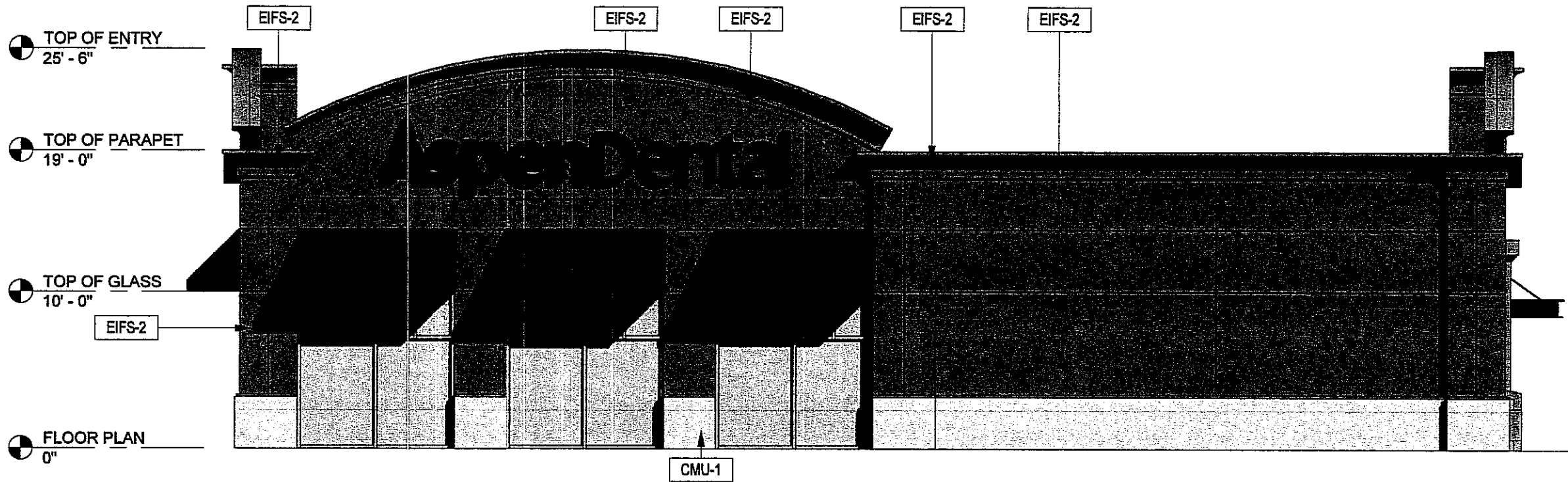
Ref. Sheet
A0.2

1/8" = 1'-0"



5 COLOR 3D VIEW 1

Ref. Sheet
N/A



3 COLOR SIDE ELEVATION "A"

Ref. Sheet
A0.2

1/8" = 1'-0"



4 COLOR SIDE ELEVATION "B"

Ref. Sheet
A0.2

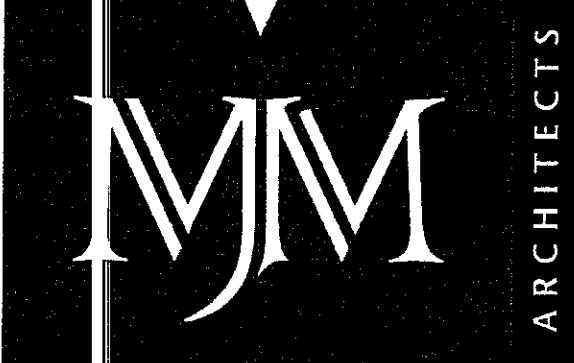
1/8" = 1'-0"



6 COLOR 3D VIEW 2

Ref. Sheet
N/A

EXTERIOR FINISH SCHEDULE				
MARK	MATERIAL	MANUFACTURER	COLOR	REMARKS
CMU-1	4" SPLITFACE CMU VENEER	TRENWYTH	RAMAPO WHITE - SPLITFACE (OR EQUAL)	
DS-1	6" X 6" PREFINISH ED METAL DOWNSPO UT	VARIES	PAINT COLOR PT-2	
DSCP-1	PREFINISH ED METAL SCUPPER	VARIES	PAINT COLOR PT-2	
DSP-1	PREFINISH ED CAST IRON DOWNSPO UT PROTECTIO N	VARIES	PAINT COLOR PT-2	
EIFS-2	EIFS, COLOR "B"	DRYVIT	MATCH "JEFFERSON HOUSE" #30YY 47/145 (ICI PAINTS)	TEXTURE: SANDPEBB LE FINE DPR
PT-1	PAINT - TRIM COLOR "A"	VARIES	MATCH "HALE VILLAGE" 20YY 22/128 (ICI PAINTS)	
SCP-1	6" X 16" X 8" METAL SCUPPER	VARIES	PAINT COLOR PT-2	
TPO-1	TPO ROOFING SYSTEM	VARIES	WHITE	



ARCHITECTURE
PLANNING
ENGINEERING
GRAPHICS

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4TH FLOOR
NASHVILLE, TN
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Retail Partners
Development

331C WEST END AVE
SUITE 420
NASHVILLE, TN 37201

Aspen Dental &
Visionworks

KINZIL WAY & MILLERTOWN
PIKE

PRELIMINARY DESIGN

06-21-13

MJM13108

NO.	DESCRIPTION	DATE

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COLOR
ELEVATIONS

A0.2

SEAL

CONSULTANTS

OWNER

LOCATION

DATE

REVISIONS

SHEET