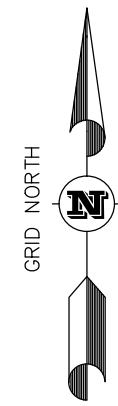
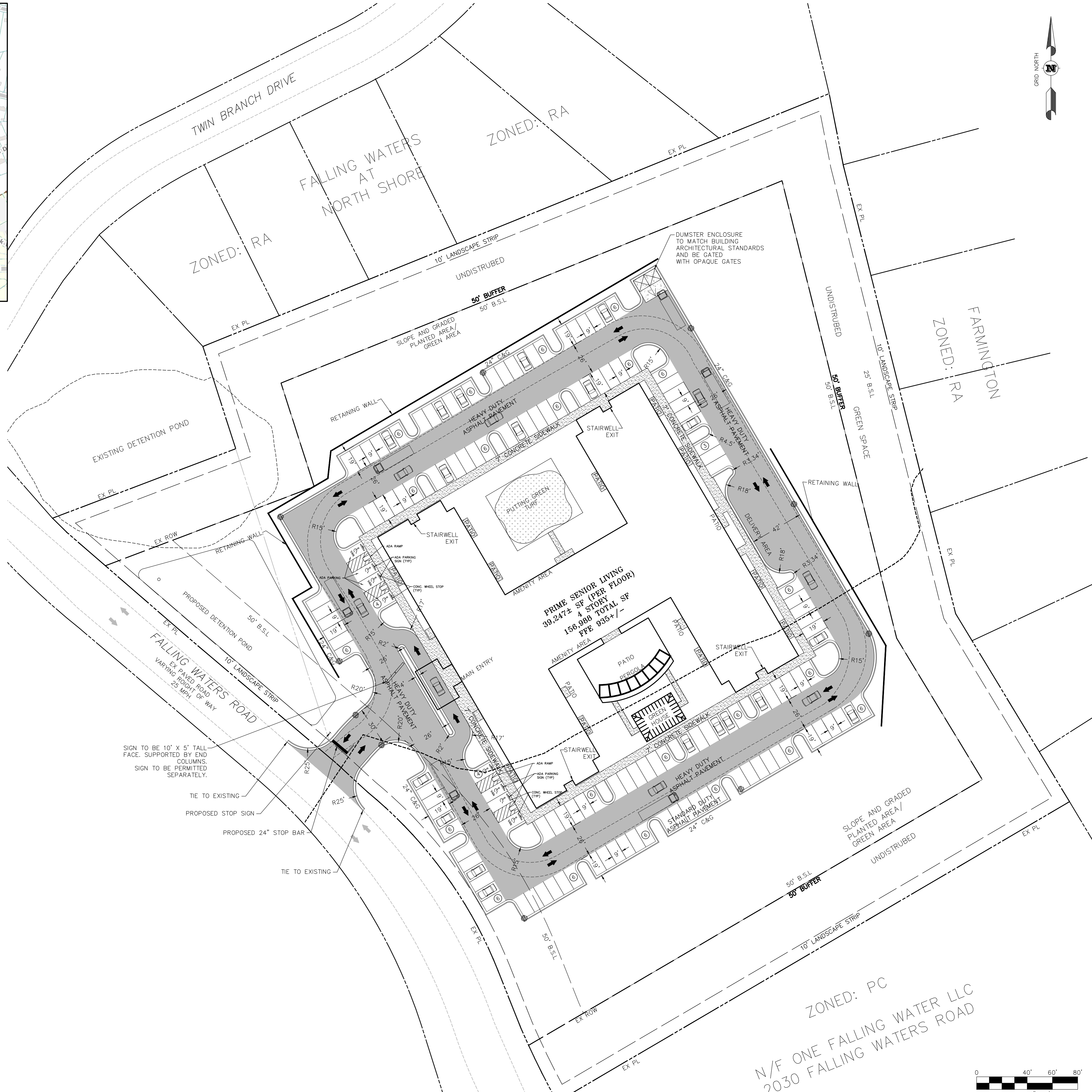


VICINITY MAP  
NTS

THIS PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD PLAIN AS SHOWN ON F.I.R.M. COMMUNITY PANEL NUMBER 47093C0380F DATED MAY 2, 2007.

SITE PLAN DEVELOPED FROM AVAILABLE DATA MAPS AND/OR DRAWINGS. THIS SITE PLAN WAS NOT CREATED FROM A FIELD RUN SURVEY. CSE RESERVES THE RIGHT TO REVISE THE SITE PLAN AS ADDITIONAL INFORMATION IS MADE AVAILABLE. SITE PLAN SUBJECT TO CHANGE.



PROPOSED USE: ASSISTED CARE FACILITY  
0 & 1920 FALLING WATERS ROAD  
PARCEL NUMBER'S: 154 09902 & 154CE009

SITE AREA:  
154 09902: 7.02 AC  
154CE009: 0.47 AC  
TOTAL SITE AREA: 7.49± AC

TOTAL BUILDING AREA: 39,247± SF (PER FLOOR)  
156,988 TOTAL SF

JURISDICTION:  
KNOX COUNTY PLANNING & DEVELOPMENT  
205 WEST BAXTER AVENUE  
KNOXVILLE, TN 37917  
PHONE: (865) 215-5800

CURRENT ZONING:  
154 09902: PC-PLANNED COMMERCIAL ZONE  
154CE009: RA-LOW DENSITY RESIDENTIAL ZONE

PROPOSED HEIGHT 4 STORY

IMPERVIOUS AREA: 2.85 ACRES 37.5%

PARKING REQUIREMENTS:  
ASSISTED LIVING FACILITY 1 SPACE PER 4 BEDS  
PLUS 1 SPACE FOR EACH EMPLOYEE DURING LARGEST SHIFT

175 BEDS/4 = 44  
20 EMPLOYEES PER LARGEST SHIFT= 20 REQUIRED

TOTAL PARKING REQUIRED: 64  
TOTAL SPACES PROVIDED: 143 W/8 ADA SPACES

THERE ARE NO LAKES OR STREAMS LOCATED ON THE PROPOSED PROPERTY.

LIGHTING ON SITE TO BE HOODED /SHIELDED AND FACING AWAY FROM ADJACENT RESIDENTIAL PROPERTIES.

#### SITE NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
3. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
4. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
5. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF TENNESSEE DEPARTMENT OF TRANSPORTATION.
6. ALL STRIPED OR CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
9. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
10. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
11. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
12. ALL CONCRETE SHALL BE 4,000 PSI 28 DAY COMPRESSIVE STRENGTH MINIMUM.
13. PROJECT SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
14. ALL CURB AND GUTTER WITHIN THE DEVELOPMENT SHALL BE 24" UNLESS OTHERWISE NOTED.
15. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE FOR WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (MIN).

#### OWNER

LECONTE HOLDINGS LLC  
7011 LAWFORD  
KNOXVILLE, TN 37919

#### PRIMARY PERMITTEE

PRIME SENIOR LIVING GROUP, LLC.,  
11622 EL CAMINO REAL STE 1042  
SAN DIEGO, CA 92130

REVISIONS:07/25/17 ADDRESSED COUNTY COMMENTS

PROJECT: PRIME SENIOR LIVING

PROJECT ADDRESS: 0 & 1920 FALLING WATERS ROAD

PROJECT ADDRESS: KNOXVILLE, TN 37922

CLIENT: PRIME SENIOR LIVING

CLIENT ADDRESS: 11622 EL CAMINO REAL

CLIENT ADDRESS: SAN DIEGO, CA 92130

DATE: 06/22/17

DWG: CSPI

**Civil Consulting Engineers, Inc.**



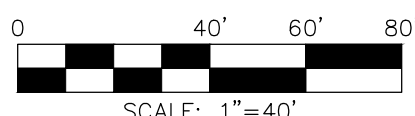
122 CEDAR WOODS TRAIL  
CANTON, GA 30114  
678-462-4072  
CIVILCONSULTINGENGINEERS.NET

USE ON REVIEW CONCEPT PLAN

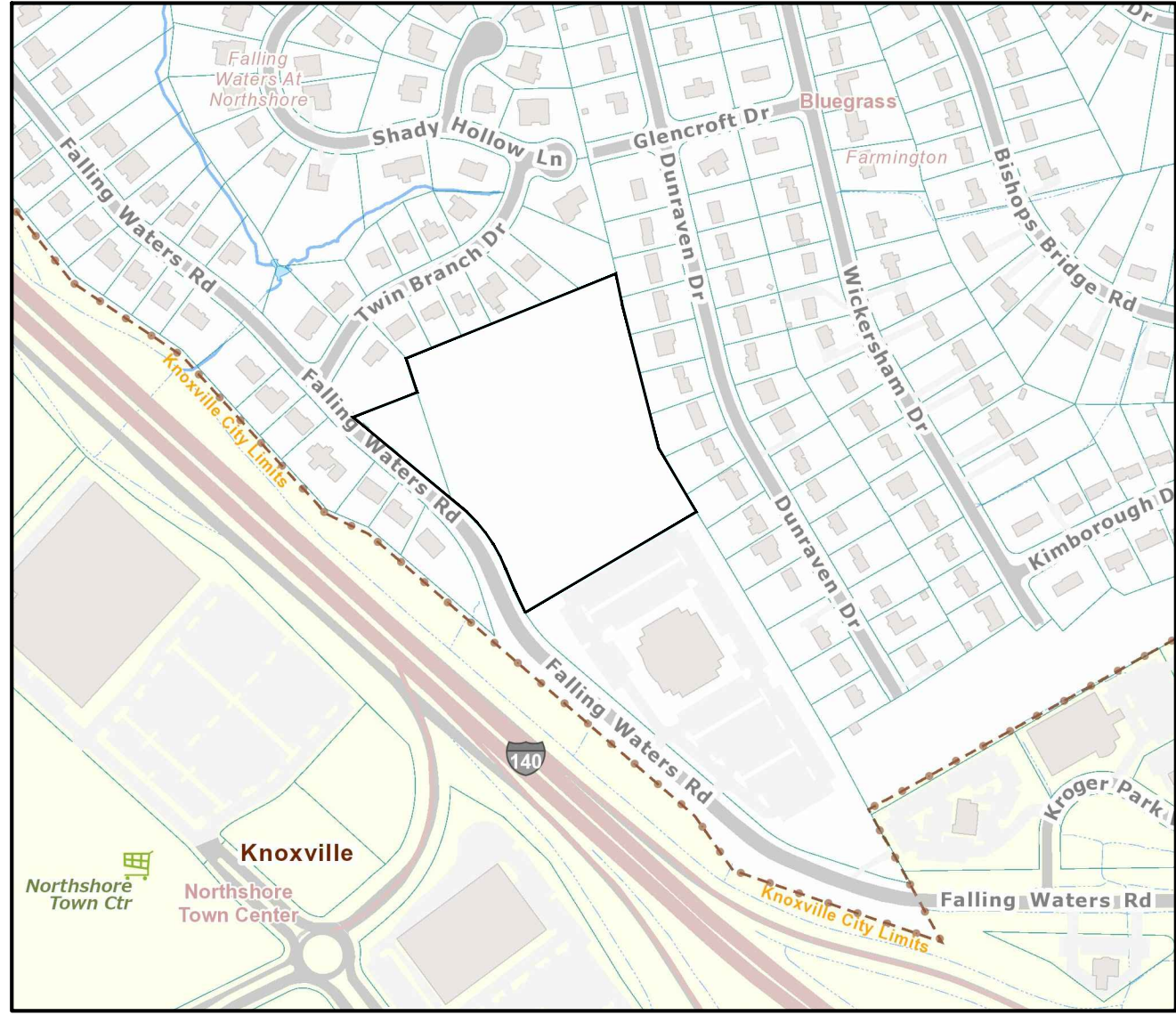
C01

8-H-17-UR  
Revised: 7/25/2017

ZONED: PC  
N/F ONE FALLING WATER LLC  
2030 FALLING WATERS ROAD

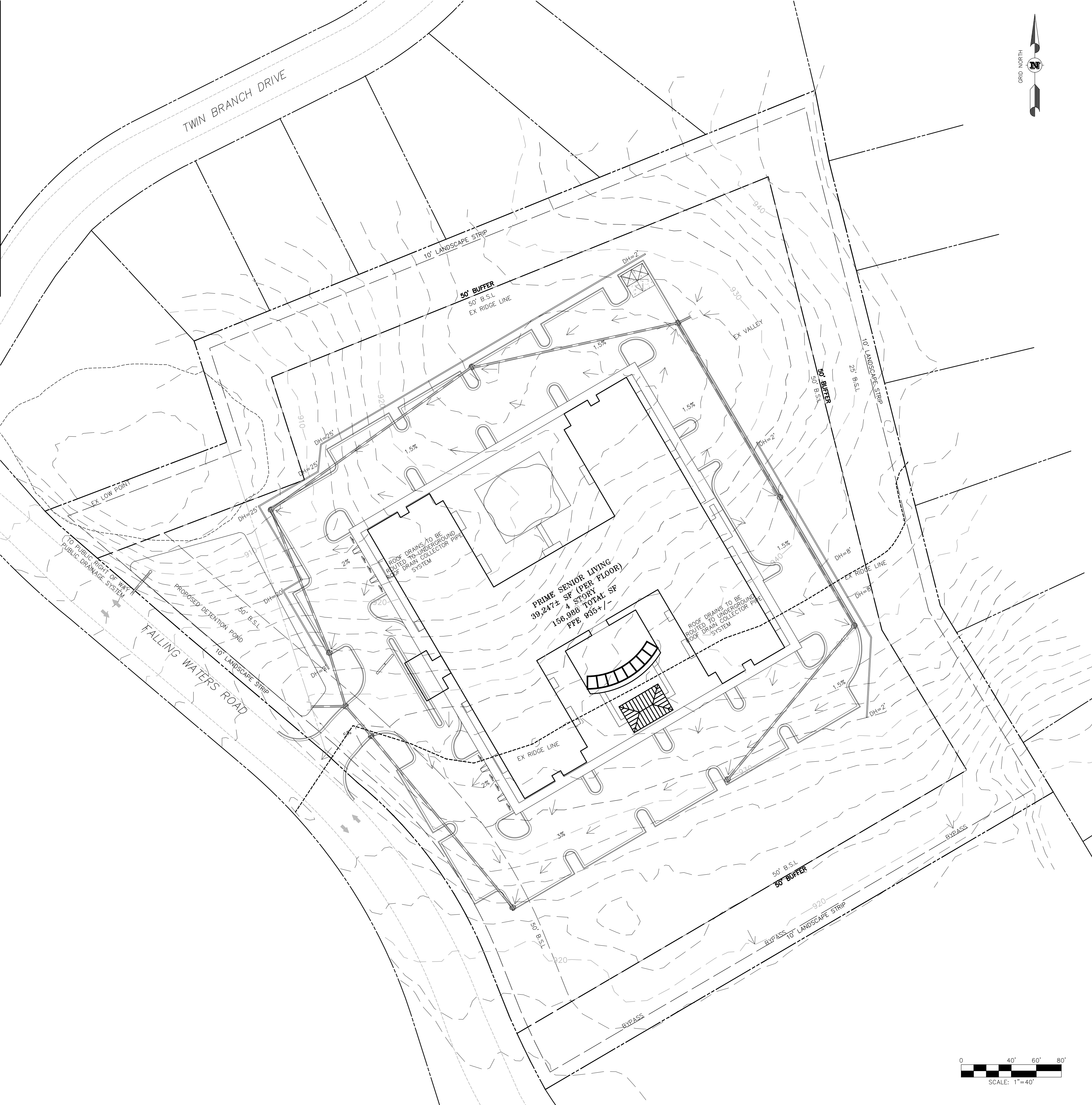






VICINITY MAP  
NTS


THIS PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD PLAIN  
AS SHOWN ON F.I.R.M. COMMUNITY PANEL NUMBER 47093C0380F  
DATED MAY 2, 2007.



8-H-17-UR  
Revised: 7/25/2017

REVISIONS:07/25/17 ADDRESSED COUNTY COMMENTS	
PROJECT: PRIME SENIOR LIVING	
PROJECT ADDRESS: 0 & 1920 FALLING WATERS ROAD	
PROJECT ADDRESS: KNOXVILLE, TN 37922	
CLIENT: PRIME SENIOR LIVING	
CLIENT ADDRESS: 11622 EL CAMINO REAL	
CLIENT ADDRESS: SAN DIEGO, CA 92130	
DATE: 06/22/17	DWG: CSPI

**Civil Consulting Engineers, Inc.**



122 CEDAR WOODS TRAIL  
CANTON, GA 30114  
678-462-4072  
CIVILCONSULTINGENGINEERS.NET





FRONT ELEVATION  
SCALE: 1/16"=1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/16"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/16"=1'-0"



REAR ELEVATION  
SCALE: 1/16"=1'-0"

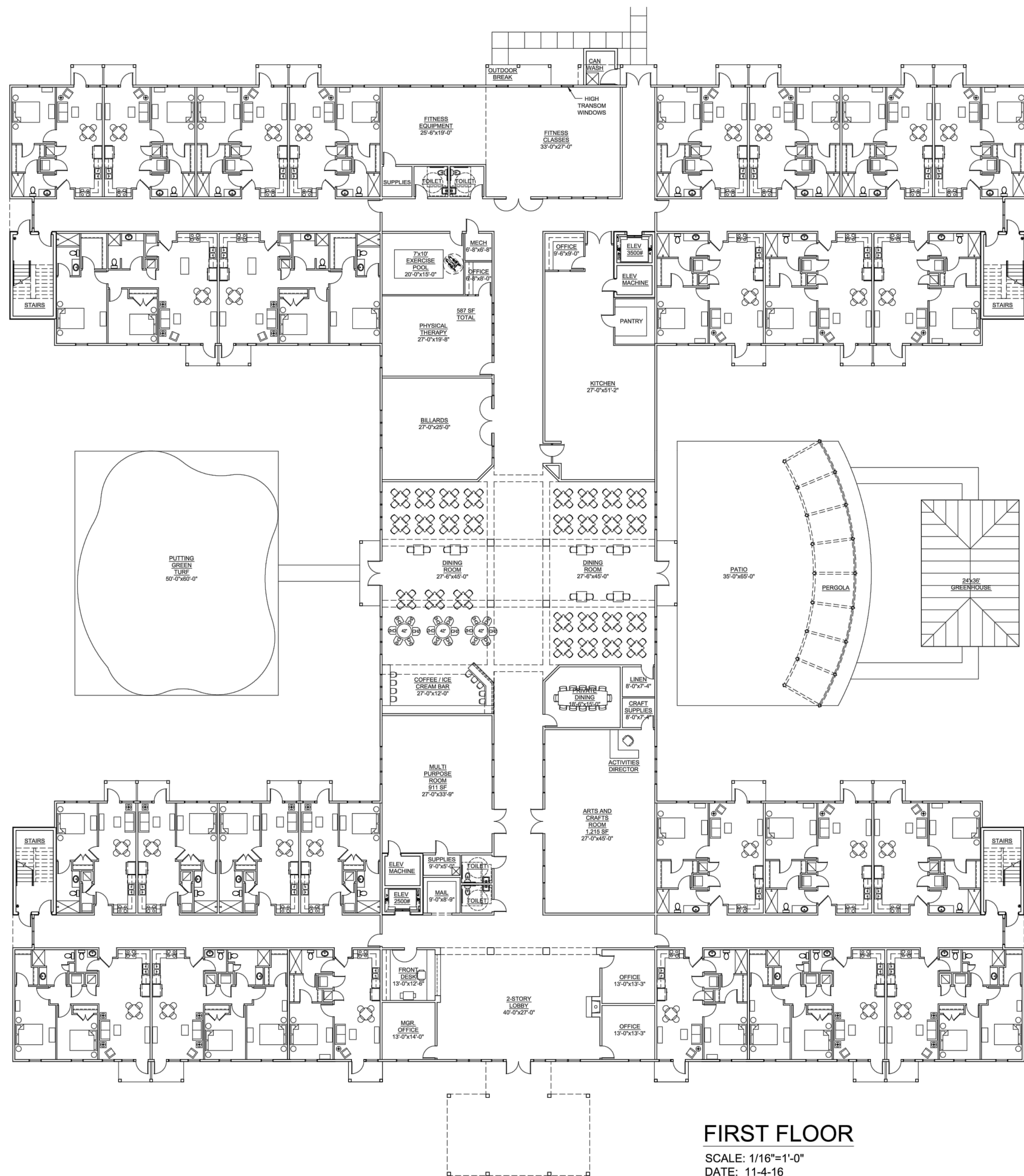
8-H-17-UR  
Revised: 7-26-2017

OWNER/DEVELOPER/PRIMARY PERMITTEE  
PRIME SENIOR LIVING GROUP, LLC.,  
11622 EL CAMINO REAL STE 1042  
SAN DIEGO, CA 92130

REVISIONS:	
PROJECT: PRIME SENIOR LIVING	
PROJECT ADDRESS: 0 & 1920 FALLING WATERS ROAD	
PROJECT ADDRESS: KNOXVILLE, TN 37922	
CLIENT: PRIME SENIOR LIVING	
CLIENT ADDRESS: 11622 EL CAMINO REAL	
CLIENT ADDRESS: SAN DIEGO, CA 92130	
DATE: 06/22/17	DWG: CSPI

Civil Consulting Engineers, Inc.

 122 CEDAR WOODS TRAIL  
CANTON, GA 30114  
678-462-4072  
CIVILCONSULTINGENGINEERS.NET



### FIRST FLOOR

SCALE: 1/16"=1'-0"  
DATE: 11-4-16  
A/C AREA, INCLUDING VENTILATED STAIR  
TOWERS AND ELEV. HOISTWAYS = 39,247 SF x  
4 FLOORS = 156,988 SF (DOES NOT INCLUDE  
BALCONIES, PORTE COCHERE OR PLAZA  
AREAS)

8-H-17-UR  
Revised: 7-26-2017

OWNER/DEVELOPER/PRIMARY PERMITTEE  
PRIME SENIOR LIVING GROUP, LLC.,  
11622 EL CAMINO REAL STE 1042  
SAN DIEGO, CA 92130

REVISIONS:	
PROJECT: PRIME SENIOR LIVING	
PROJECT ADDRESS: 0 & 1920 FALLING WATERS ROAD	
PROJECT ADDRESS: KNOXVILLE, TN 37922	
CLIENT: PRIME SENIOR LIVING	
CLIENT ADDRESS: 11622 EL CAMINO REAL	
CLIENT ADDRESS: SAN DIEGO, CA 92130	
DATE: 06/22/17	DWG: CSPI

**Civil Consulting Engineers, Inc.**

 122 CEDAR WOODS TRAIL  
CANTON, GA 30114  
678-462-4072  
CIVILCONSULTINGENGINEERS.NET