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AB	ANCHOR BOLT	INSL	INSULATION
A/C	AIR CONDITIONING	INT	INTERIOR
ACF	ACOUSTICAL CEILING TILE	JST	JOIST
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ALUM	ALUMINUM	MCH	MECHANICAL
ANCH	ANCHOR	MIN	MINIMUM
BD	BOARD	MO	MASONRY OPENING
BM	BEAM	MRGB	MOISTURE RESISTANT GYP BD
C to C	CENTER TO CENTER	MTL	METAL
CFT	CARPET	OC	ON CENTER
CL	CONSTRUCTION JOINT	PFO	PROVIDED BY OWNER
CMU	CONCRETE MASONRY UNIT	PL	PLATE
COL	COLUMN	PRE-ENG	PRE-ENGINEERED
CONC	CONCRETE	FLAM	PLASTIC LAMINATE
CONSTR	CONSTRUCTION	FLYND	PLYWOOD
CONT	CONTINUOUS	PS	PIPE STATION
CONTR	CONTRACTOR	PT	PRESSURE TREATED OR PAINT
CT	CERAMIC TILE	PTD	PAINTED
DET	DETAIL	PVC	POLYVINYL CHLORIDE PIPE
DF	DRINKING FOUNTAIN	RESIL	RESILIENT
DS	DOWN SPOUT	RET	RETAINING
DWS	DRAINING	SHT	SHEET
EA	EACH	STL	STEEL
EMP	ELEVATION	TEMP	TEMPERATURE
EPS	EXPANDED POLYSTYRENE	T & G	TONGUE AND GROOVE
EQUIP	EQUIPMENT	TOC	TOP OF CONCRETE
EMH	ELECTRIC WATER HEATER	TOF	TOP OF FOOTING
EXP	EXPANSION OR EXPOSED	TOS	TOP OF STEEL
EXT	EXTERIOR OR EXISTING	TOW	TOP OF WALL
EXIST	EXISTING	TCT	TOILET PAPER HOLDER
FF	FINISH FLOOR/FINISH FACE	TFP	TRYP
FE	FIRE EXTINGUISHER	VCT	VINYL COMPOSITE TILE FLOORING
FEC	FIRE EXTINGUISHER CABINET	VB	VINYL BASE
FG	FIBERGLASS	W	WITH
FHC	FIRE HOSE CABINET	WC	WOOD CLOSET
FLASH	FLASHING	WO	WOOD
FRP	FIBER-REINFORCED PLASTIC	XPS	WOOD
GA	GAUGE	32"x48"	32 DEGREES, 4 MINUTES, & SECONDS
GB	GRAB BAR	Ø	DIAMETER
GYP BD	GYPSUM BOARD	@	AT
HDWD	HARDWOOD	&	AND
HIGH	HIGH OR HEIGHT	& S	ANGLE
HVAC	HEATING, VENTILATION & AIR CONDITIONING	CL	CENTER LINE

5831 - 5851 - 5859 Rutledge Pike  
Knoxville, TN 37924



G1 SCOPE OF WORK: New construction for climate control self-storage facility in 2 or more buildings, with an open RV & boat storage structure, and a new one-story office/living building.

- 2009 ICC / ANSI A117.1
- 2018 edition of the International Energy Conservation Code
- 2018 edition of the International Building Code
- 2017 edition of the National Electrical Code
- 2018 edition of the International Fuel Gas Code
- 2018 edition of the International Mechanical Code
- 2018 edition of the International Plumbing Code
- 2018 edition of the International Property Maintenance Code
- 2018 edition of the International Fire Code with Local Amendments

G4 CONTRACTOR SHALL VERIFY EXISTING CONDITIONS & DIMENSIONS BEFORE BEGINNING CONSTRUCTION; ANY DISCREPANCIES MUST BE REPORTED TO **ayek3 architects** FOR JUSTIFICATION AND/OR CORRECTION; CONTRACTOR ASSUMES RESPONSIBILITY FOR CONDITIONS THAT ARE NOT REPORTED.

G6 ALL FOOTINGS MUST REST ON UNDISTURBED OR SUITABLE, COMPACTED SUBSOIL.

G7 MANUFACTURED TRUSSES, BEAMS, & OTHER ENGINEERED BUILDING SYSTEMS MUST BE DESIGNED BY THE MANUFACTURER'S ENGINEER, WHO SHALL BE REGISTERED IN THE STATE OF TENNESSEE; STAMPED, APPROVED SHOP DRAWINGS SHALL BE ON-SITE BEFORE ERECTION BEGINS.

PARCEL DESCRIPTION	Parcel ID: 060 13601 + 060 084 (to be one-lotted)
PROPERTY ZONE	CB - Business & Manufacturing Zone (Knox County)
PROPERTY SIZE	+/- 5.21 acres (+/-53% building coverage)
BUILDING SQUARE FOOTAGE	Office Building / Living Unit = 1,610 sq. ft. Storage Building 1 = 56,700 sq. ft. Storage Building 2 = 34,250 sq. ft. Storage Building 3 = 1,950 sq. ft. RV/Boat Storage = 8,280 sq. ft.
FLOOR LEVELS	Office Building: One Storage Buildings: One
CONSTRUCTION CLASSIFICATION	Office Building: IBC Type VB 9,000 sq. ft. (allowable) Storage Buildings: IBC Type 1IB 17,500 sq. ft. (allowable) For individual storage buildings, IBC 2018 Section 506.2.1 Aa = $\frac{A_t}{N(sx)t}$ where $t = \left\lceil \frac{F/P - 0.25}{N/30} \right\rceil$ <u>Building 1</u> Area 1A = 11,550 sq. ft. $t = \left\lceil \frac{325/(430 - 0.25)}{30/30} \right\rceil = 0.51$ Aa = $17,500 + (17,500 \times 0.51) = 26,425$ sq. ft. (allowable) Area 1B = 23,100 sq. ft. $t = \left\lceil \frac{440/(650 - 0.25)}{30/30} \right\rceil = 0.43$ Aa = $17,500 + (17,500 \times 0.43) = 25,025$ sq. ft. (allowable) Area 1C = 22,050 sq. ft. $t = \left\lceil \frac{525/(630 - 0.25)}{30/30} \right\rceil = 0.58$ Aa = $17,500 + (17,500 \times 0.58) = 27,650$ sq. ft. (allowable) <u>Building 2</u> Area 2A = 11,050 sq. ft. $t = \left\lceil \frac{845/(430 - 0.25)}{30/30} \right\rceil = 0.55$ Aa = $17,500 + (17,500 \times 0.55) = 27,125$ sq. ft. (allowable) Area 2B = 23,200 sq. ft. $t = \left\lceil \frac{605/(400 - 0.25)}{30/30} \right\rceil = 0.63$ Aa = $17,500 + (17,500 \times 0.63) = 28,525$ sq. ft. (allowable)

### ACCESSORY OCCUPANCY

In Office/Residence building: 1-hour fire-rated separation wall

EMERGENCY ILLUMINATION Yes

Provided: 112-0 (max)

### TOILET REQUIREMENTS

G001	Project Information
G002	Site Plan, Notes & Details
G003	Landscape Plan
A101	Office/Residence Building Plans & Elevations
A202	Storage & RV Buildings Elevations

## Civil drawing package

**Oysk<sup>3</sup>** architects  
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[info@oyskarchitects.com](mailto:info@oyskarchitects.com)

**PRELIMINARY - NOT FOR CONSTRUCTION**

# Rutledge Pike Mini Storage

5831 · 5851 · 5859 RUTLEDGE PIKE - KNOXVILLE, TN 37924

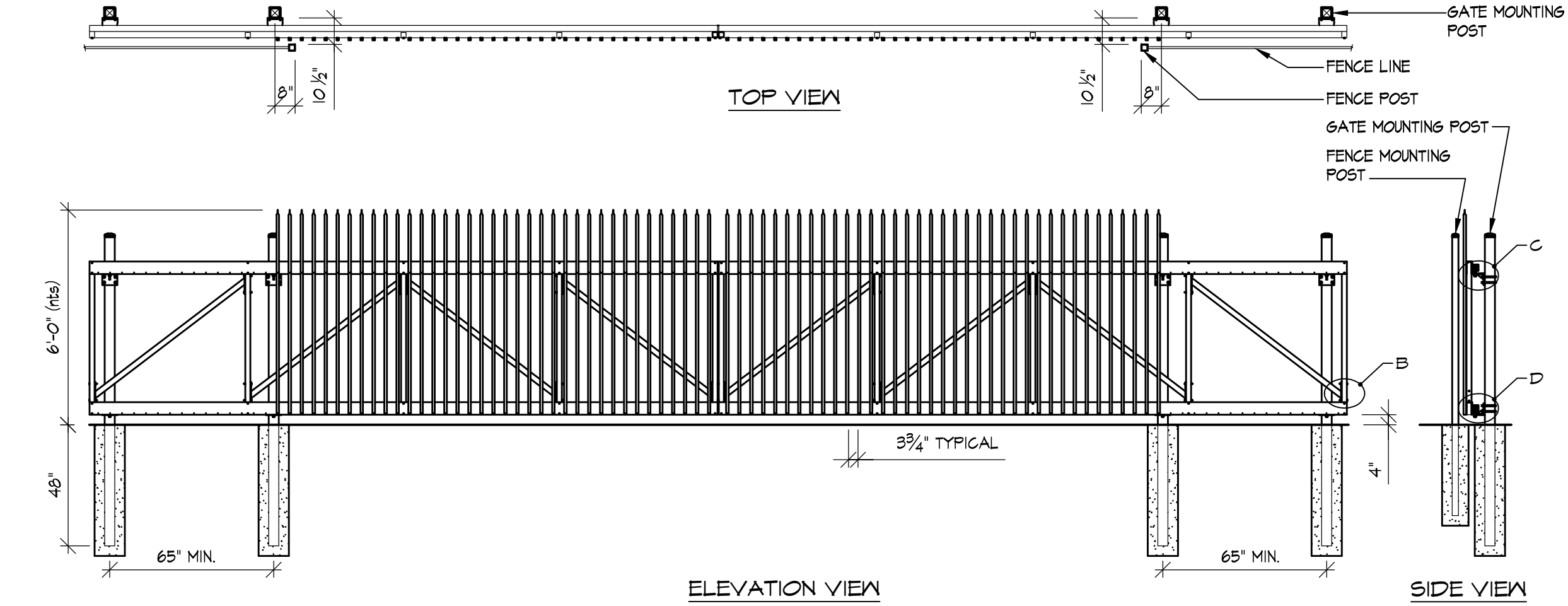
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## PROJECT INFORMATION

G001

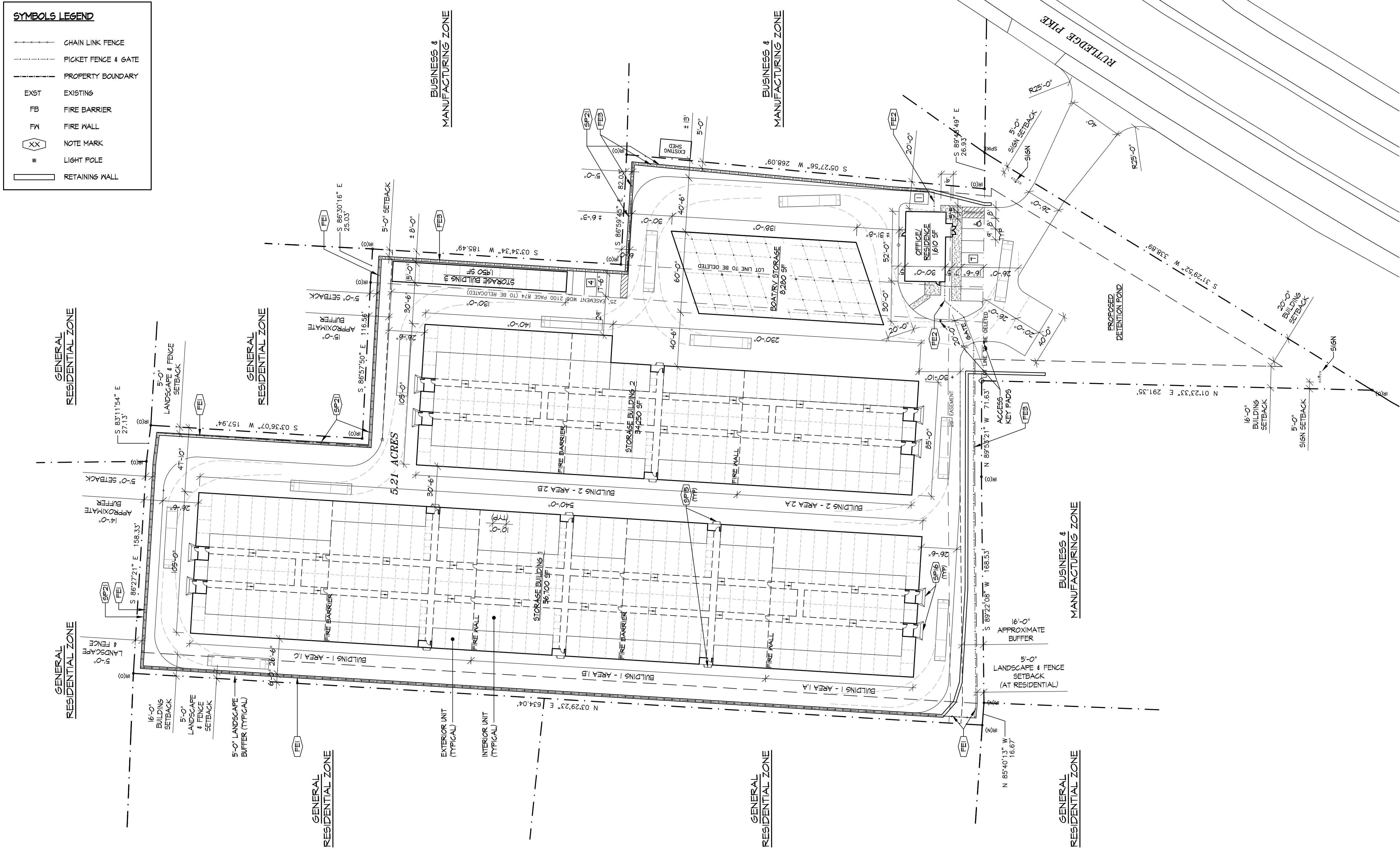
PROJECT: 18155  
¥ COPYRIGHT 2018



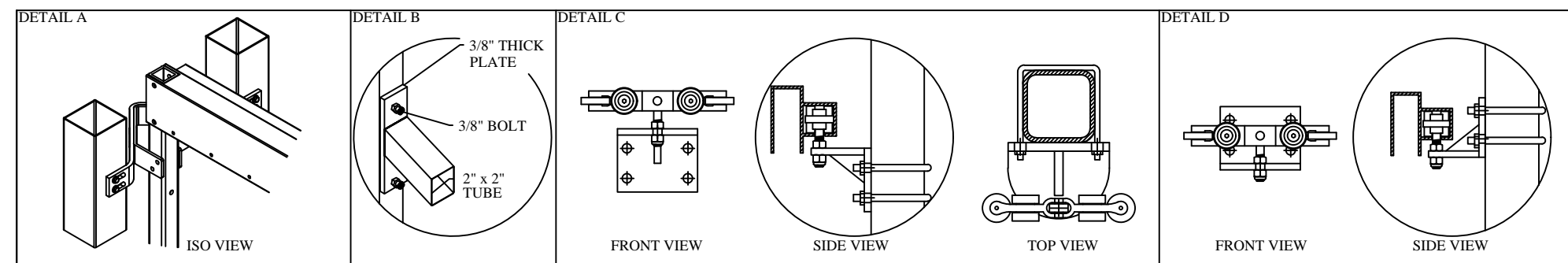


2 GATE DETAIL  
G002 SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND	
	CHAIN LINK FENCE
	PICKET FENCE & GATE
	PROPERTY BOUNDARY
	EXISTING
	FIRE BARRIER
	FIRE WALL
	NOTE MARK
	LIGHT POLE
	RETAINING WALL



1 SITE PLAN  
G002 SCALE: 1" = 40'-0"



### FENCE NOTES

- FE1 6'-0" CHAIN LINK FENCE WITH OPAQUE STRIPS, OR EQUAL OPAQUE PRODUCT AT ADJACENT RESIDENTIAL/AGRICULTURAL ZONE AT BOTH SIDES - SET MINIMUM 5'-0" OFF PROPERTY LINE.
- FE2 ROLLING OR SWING GATE SHALL BE 6'-0" TALL (PICKETS AT 4" O.C.). FENCE AGAINST COMMERCIAL PROPERTY SHALL BE 6'-0" TALL STEEL PICKET FENCE. PROVIDE SHOP DRAWINGS FOR APPROVAL.
- FE3 6'-0" CHAIN LINK FENCE ADJACENT TO COMMERCIAL.

### SITE PLAN NOTES

- SP1 BOUNDARY INFORMATION, TOPOGRAPHIC INFORMATION, & OTHER SITE INFORMATION IS TAKEN FROM KNOX COUNTY G.I.S. MAPS, BOUNDARY SURVEY BY **Romans Engineering**, & OTHER DOCUMENTS PROVIDED BY THE OWNER.
- SP2 NA
- SP3 ALL GROUND DISTURBED BY CONSTRUCTION SHALL BE REPAIRED/REPLACED WITH TOPSOIL, THIS SHALL BE GRADED, RAKED, SEEDED, MULCHED, & WATERED PER SPECIFICATIONS, UNLESS OTHER LANDSCAPING IS INDICATED.
- SP4 BUILDING SHALL CONNECT TO SEWER AT MANHOLE OR TAP, CONNECTION TO BE COORDINATED WITH LOCAL UTILITY.
- SP5 PARKING LOT PAVEMENT SHALL BE BITUMINOUS PAVING, THICKNESS AS NOTED ON DRAWINGS, WITH 8" MACHINE-FORMED CONCRETE CURBS, SIDEWALKS PAD TO BE CONCRETE, THICKNESS AS NOTED ON DRAWINGS.
- SP6 IN ALL AREAS, PROVIDE POSITIVE DRAINAGE, SLOPE GRADE AWAY FROM BUILDINGS, MAINTAIN & EXTEND EXISTING SWALES, PROVIDE FRENCH DRAIN TO GRADE WHERE SURFACE SLOPE DOES NOT PROVIDE ADEQUATE DRAINAGE.
- SP7 SIDEWALK CONCRETE SHALL HAVE:  
- 3500 PSI, MINIMUM AT 28 DAYS  
- 5% AIR ENTRAINMENT  
- JOINTS IN SIDEWALK AT 5 FEET INTERVALS  
- WOOD FLOAT AND LIGHT BROOM FINISH FOR SLIP RESISTANCE
- SP8 PUBLIC WALKS CONNECTING PRIMARY ENTRANCES SHALL BE HANDICAP ACCESSIBLE, WITH A MINIMUM CLEAR WIDTH OF 48 INCHES, SLOPE OF ACCESSIBLE WALKS SHALL NOT EXCEED 1:20 (1" RISE OVER 20" RUN); WHERE HANDRAILS ARE PROVIDED, SLOPE SHALL NOT EXCEED 1:12; CURB CUTS & CURB RAMPS SHALL NOT EXCEED 1:12.
- SP9 POLE-TYPE SIGNAGE TO BE CONSTRUCTED OF MATERIALS MATCHING THE CHARACTER & COLOR OF THE BUILDING; THIS SIGN SHALL BE EITHER INTERNALLY-LIT, OR ILLUMINATED BY GROUND-MOUNTED FLOODLIGHTS, & SET AMONGST DECORATIVE LANDSCAPING.  
SIGN NOTE:  
ZONE CB, ZONE 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 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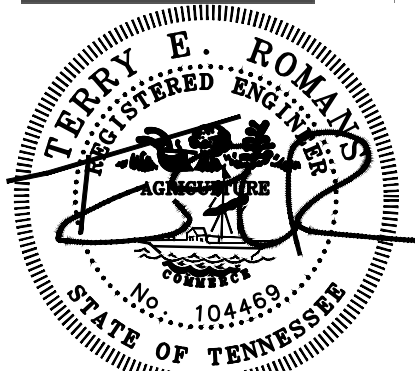
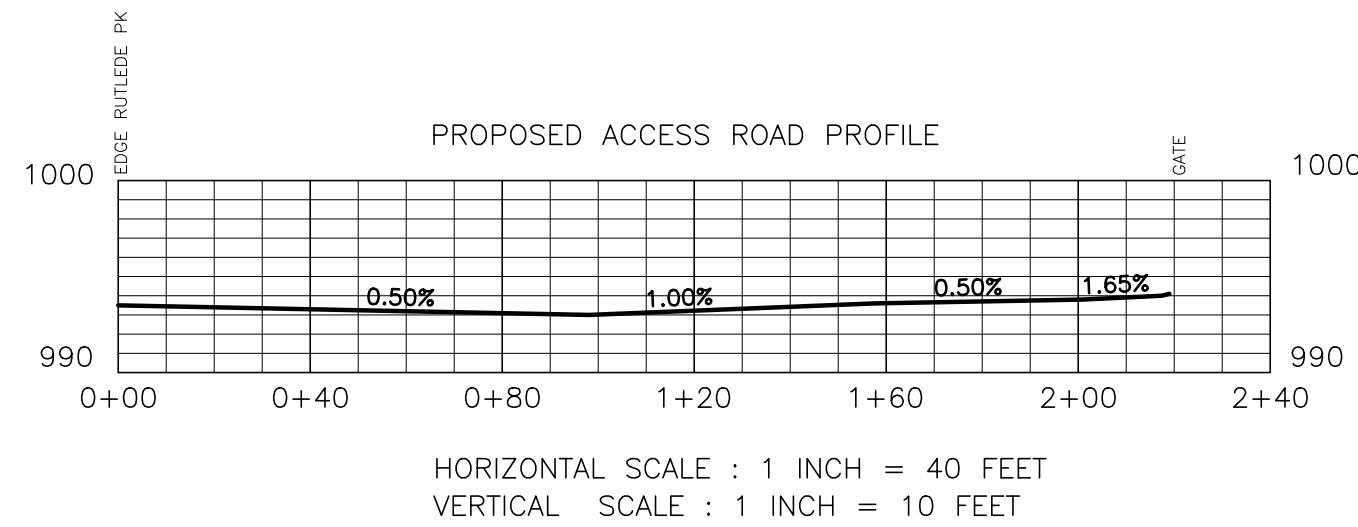
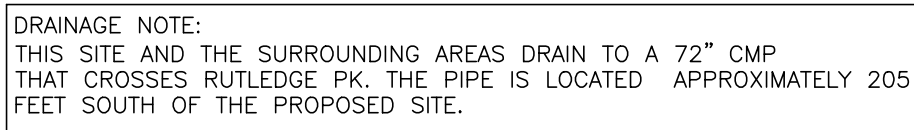






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**oysk<sup>3</sup>**  
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(865) 523-8200  
office@oysk3architects.com

5831 · 5851 · 5859 RUTLEDGE PIKE - KNOXVILLE, TN 37924

1. PROPERTY HOLDERS  
PHILLIPS REAL ESTATE, LLC  
6729 PLEASANT RIDGE RD  
KNOXVILLE, TN 37921
2. PROPERTY REFERENCE:  
5831.5851,5859 RUTLEDGE PK  
KNOXVILLE, TN 37914  
EIGHTH (8TH) CIVIL DISTRICT OF  
KNOX COUNTY, TENNESSEE  
TAX MAP 060 PARCEL 84.00,83.00,136.01  
DEED 200912310044231  
SETBACKS AS PER CURRENT ZONING:  
ZONING: CB  
SETBACKS PER REQUIRED ZONING
3. THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP FOR KNOX COUNTY TENNESSEE AND FOUND THE HEREON DESCRIBED PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.
4. PROPERTY SUBJECT TO A 10' DRAINAGE EASEMENT INSIDE ALL EXTERIOR LOT LINES AND ALONG ALL ROADS AND 5' ALONG BOTH SIDES OF ALL INTERIOR LOT LINES.

DRAINAGE NOTE:  
THIS SITE AND THE SURROUNDING AREAS DRAIN TO A 72" CMP  
THAT CROSSES RUTLEDGE PK. THE PIPE IS LOCATED APPROXIMATELY 205  
FEET SOUTH OF THE PROPOSED SITE.

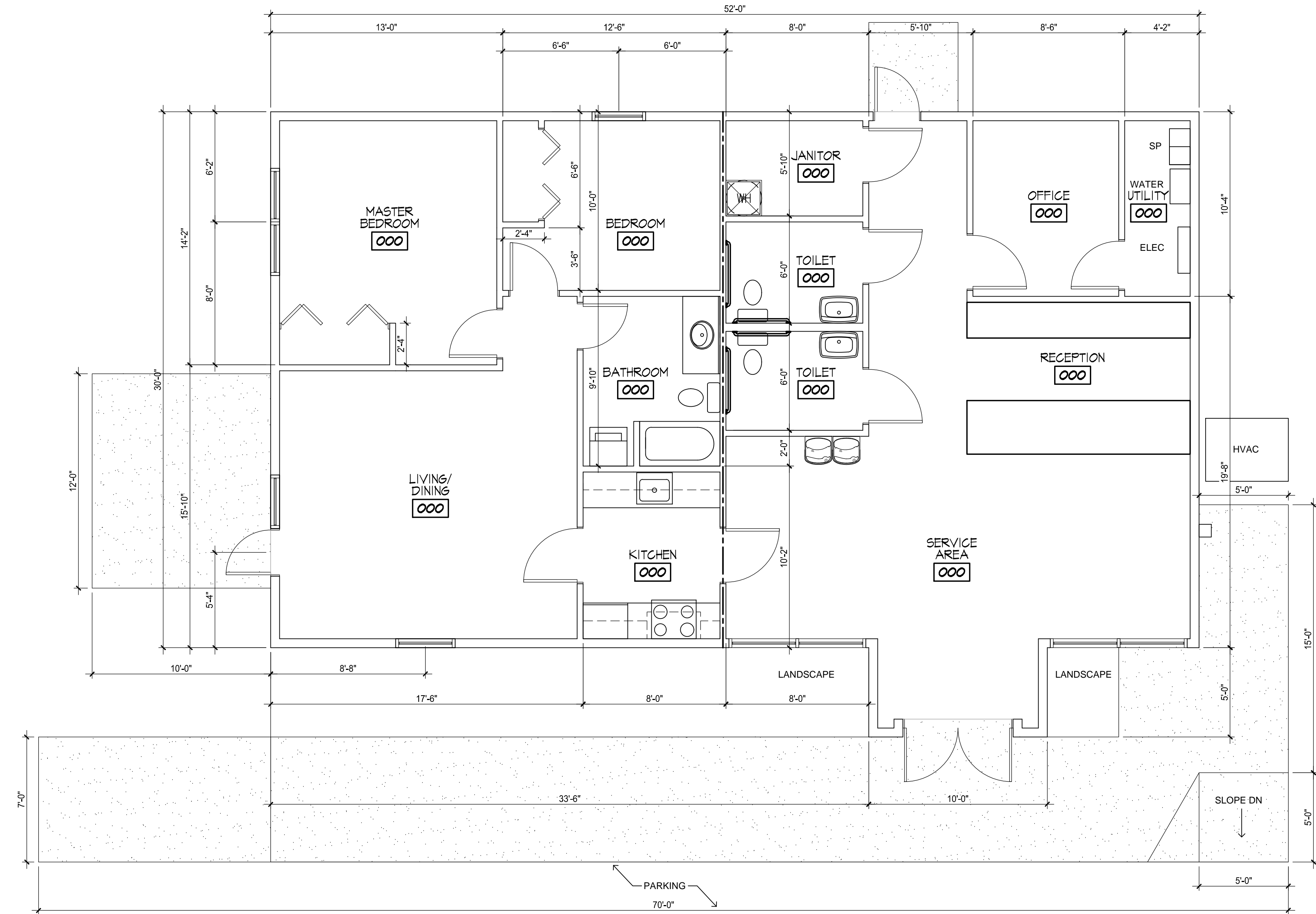
[illegible]

**ROMANS**  
Engineering

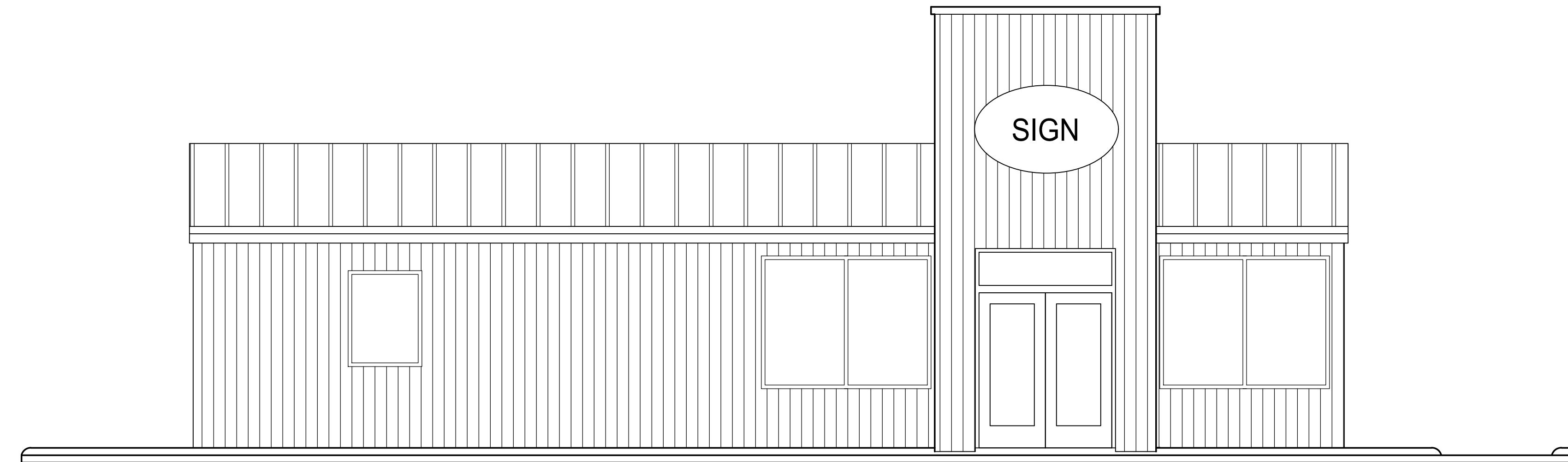
1923 Hopewell Road  
Knoxville, TN 37920  
Phone (865) 679-5736  
romansengineering@gmail.com

PROJECT: 18155  
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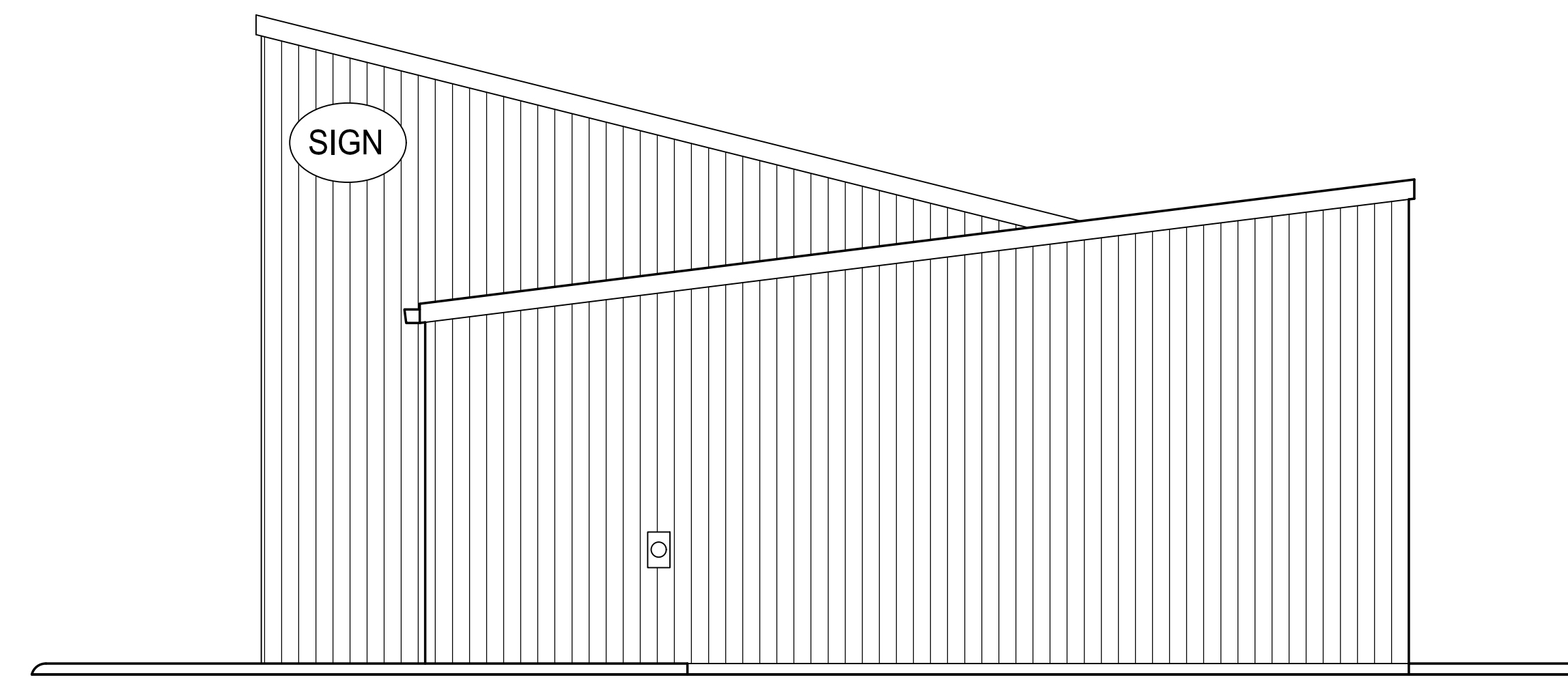




1 RESIDENCE/ OFFICE PLAN  
SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

# Rutledge Pike Mini Storage

5831 · 5851 · 5859 RUTLEDGE PIKE - KNOXVILLE, TN 37924

MARK	DATE	ISSUE FOR:	
		08/10/19	08/24/19
		Preliminary Meeting	Use on Review
DRAWN: KTJ/GA			

OFFICE BUILDING  
PLANS & ELEVATIONS



**PRELIMINARY - NOT FOR CONSTRUCTION**

# Rutledge Pike Mini Storage

5831 · 5851 · 5859 RUTLEDGE PIKE - KNOXVILLE, TN 37924

MARK	DATE	ISSUE FOR:
.	06/10/19	Preliminary Meeting
.	06/24/19	Use on Review

**DRAWN:**

## STORAGE BUILDINGS & RV/BOAT BUILDING ELEVATIONS

A202

PROJECT: 18155  
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