

VICINITY MAP

SITE DATA

EXISTING:

ZONING: CA/CB

SETBACKS (per zoning):
FRONT - 20'
SIDE - 50'
REAR - 16'

AREA: 10.4 ACRES

230 STORAGE UNITS (AVG. 10'x10')
ACCESSSED VIA OUTSIDE GARAGE DOOR
OR INTERNAL HALLWAYS. INSIDE UNITS
ARE CLIMATE CONTROLLED.
RV CANOPIES ALLOW PARKING FOR
APPROX. 28 LARGE VEHICLES.

PROPOSED:

485 STORAGE UNITS (AVG. 10'x10')
ACCESSSED VIA OUTSIDE GARAGE DOOR
OR INTERNAL HALLWAYS. INSIDE UNITS
ARE CLIMATE CONTROLLED.
RV CANOPIES ALLOW PARKING FOR
APPROX. 40 LARGE VEHICLES.

TOTAL AT COMPLETION:
715 STORAGE UNITS & 68 RV CANOPY SPACES

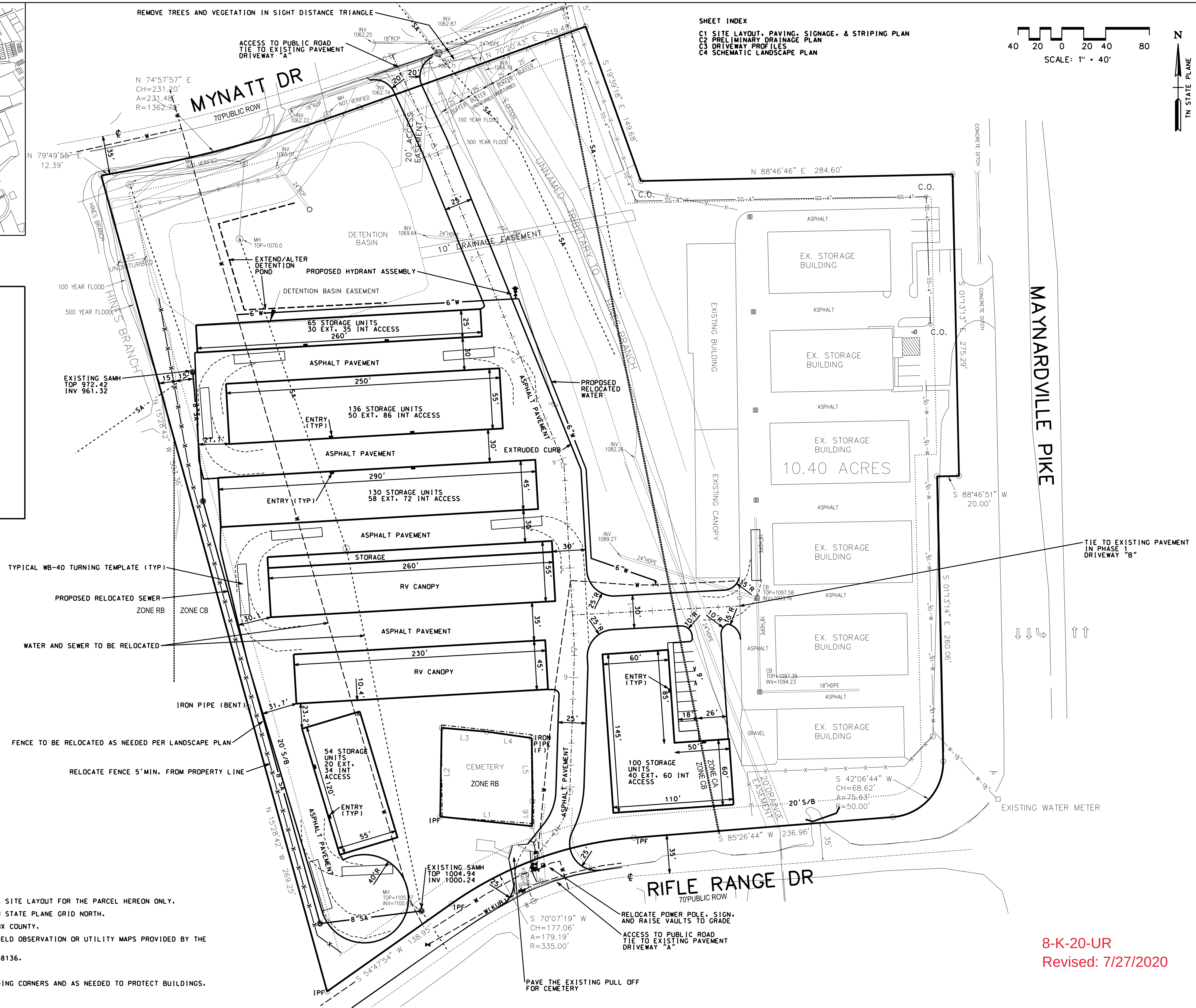
PARKING:
REQ. 5 AT OFFICE + 0.02/UNIT OR 20 SPACES
11 EXISTING + 9 PROPOSED = 20 SPACES

LEGEND

- | | |
|-----------|---------------------------|
| ● (F) | MONUMENTATION FOUND (OLD) |
| ● IPF | IRON PIN FOUND (OLD) |
| ● IPS | IRON PIN SET (NEW) |
| ----- | EASEMENT |
| — X — | FENCE |
| - - C - - | CENTERLINE PAVEMENT |
| ≡ PP | UTILITY OR POWER POLE |
| ⊙ | SANITARY SEWER MANHOLE |
| - SA - | SANITARY SEWER |
| - W - | WATER |
| | OVERHEAD ELECTRIC |
| ===== | BOUNDARY LINES |
| - - - - | PARCEL / ZONING LINES |
| | BUILDING SETBACK |
| T | SIGN |
| ⬢ | PROPOSED FIRE HYDRANT |

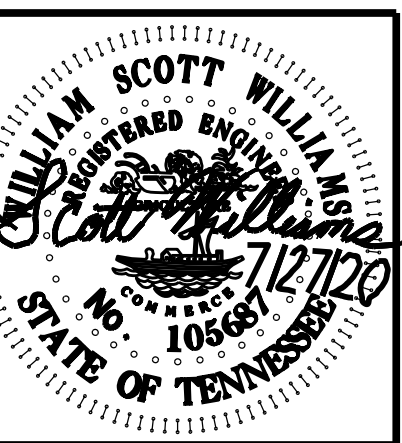
NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW A SITE LAYOUT FOR THE PARCEL HEREON ONLY.
2. BEARINGS SHOWN HEREON ARE BASED ON TN STATE PLANE GRID NORTH.
3. THIS PROPERTY IS ZONED CA & CB IN KNOX COUNTY.
4. ALL UTILITIES SHOWN ARE LOCATED BY FIELD OBSERVATION OR UTILITY MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY.
5. DEED REFERENCE: INST. NO. 201406020068136.
6. BOUNDARY SURVEY BY OTHERS.
7. CONCRETE BOLLARDS TO BE USED AT BUILDING CORNERS AND AS NEEDED TO PROTECT BUILDINGS.

[illegible]

STORE SAFE STORAGE
PHASE 2

6417 MAYNARDVILLE PIKE
KNOX COUNTY, TENNESSEE
CLT MAP 048 E A PARCEL 001
6TH CIVIL DISTRICT



W. SCOTT WILLIAMS AND ASSOCIATES

**CONSULTING
CIVIL ENGINEERING
AND SURVEYING**

Knoxville, TENNESSEE 37921
P & F: (865) 692-9809
E-MAIL: wscottwill@comcast.net

CLIENT:

STORAGE SAFE STORAGE

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KNOXVILLE, TN 37938
Office.865.388.7362

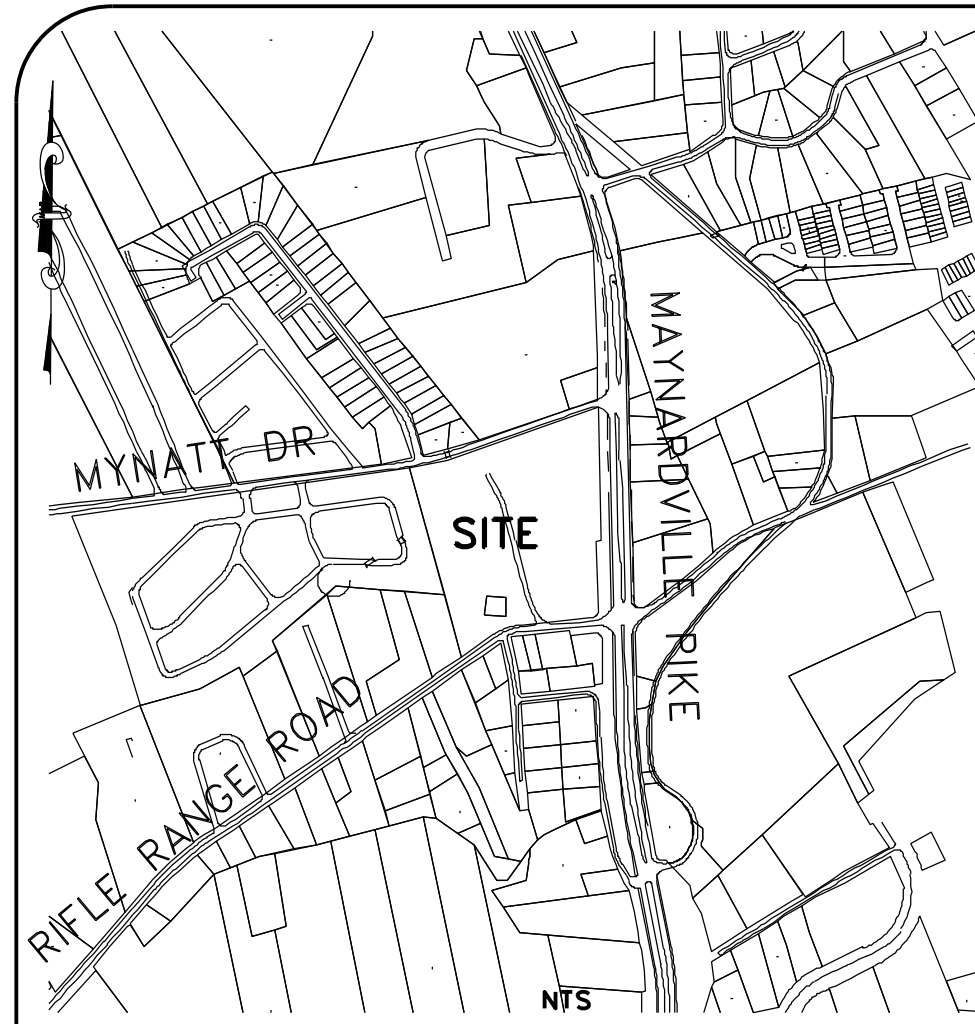
ORIGINAL ISSUE:

AN. 29, 2020

SHEET NO.

C1

DB NO. 1971



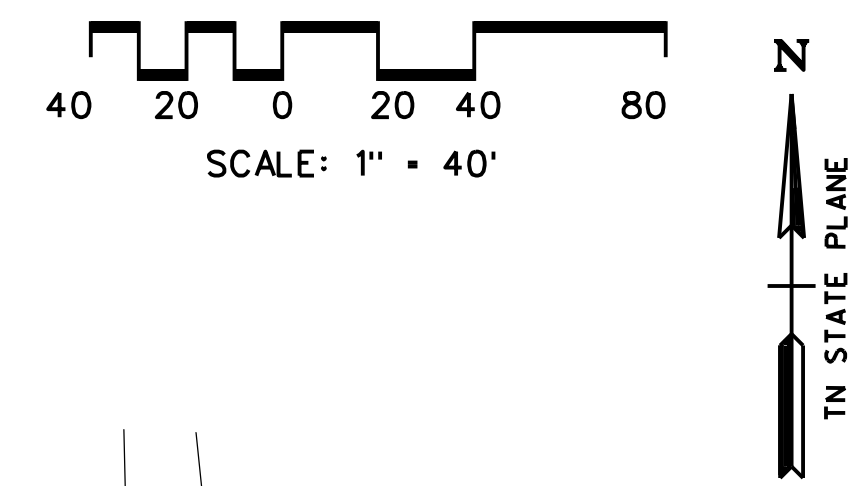
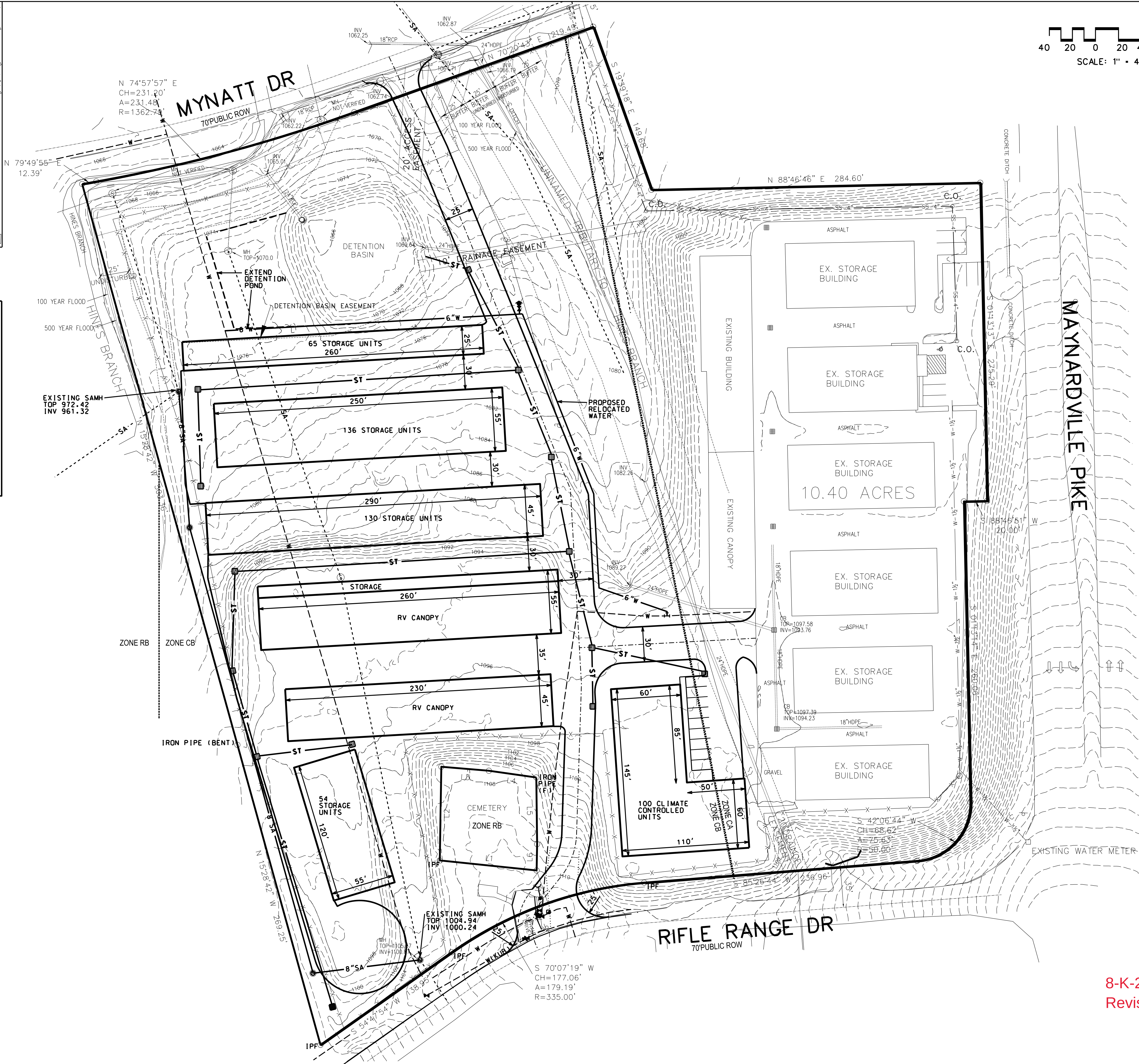
VICINITY MAP

SITE DATA

EXISTING:
ZONING: CA/CB
SETBACKS (PR):
FRONT - 20'
SIDE - 5'
REAR - 16'
AREA: 10.4 ACRES
PROPOSED:
DISTURBED AREA: 4.5 ACRES
NEW IMPERVIOUS AREA: 3.6 ACRES

LEGEND

- (F) MONUMENTATION FOUND (OLD)
- IPF IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- EASEMENT
- x- FENCE
- C- CENTERLINE PAVEMENT
- PP UTILITY OR POWER POLE
- SANITARY SEWER MANHOLE
- SA- SANITARY SEWER
- W- WATER
- OVERHEAD ELECTRIC
- BOUNDARY LINES
- PARCEL/ ZONING LINES
- BUILDING SETBACK
- ▲ SIGN
- ▲ PROPOSED FIRE HYDRANT
- PROPOSED CATCH BASIN
- ST- PROPOSED STORM SEWER PIPE



8-K-20-UR
Revised: 7/27/2020

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	7/27/20	PLANNING COMM.

PRELIMINARY
DRAINAGE PLAN

STORE SAFE STORAGE
PHASE 2

6417 MAYNARDVILLE PIKE
KNOX COUNTY, TENNESSEE
CLT MAP 048 E A PARGE 001
6TH CIVIL DISTRICT



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CLIENT:

STORE SAFE STORAGE

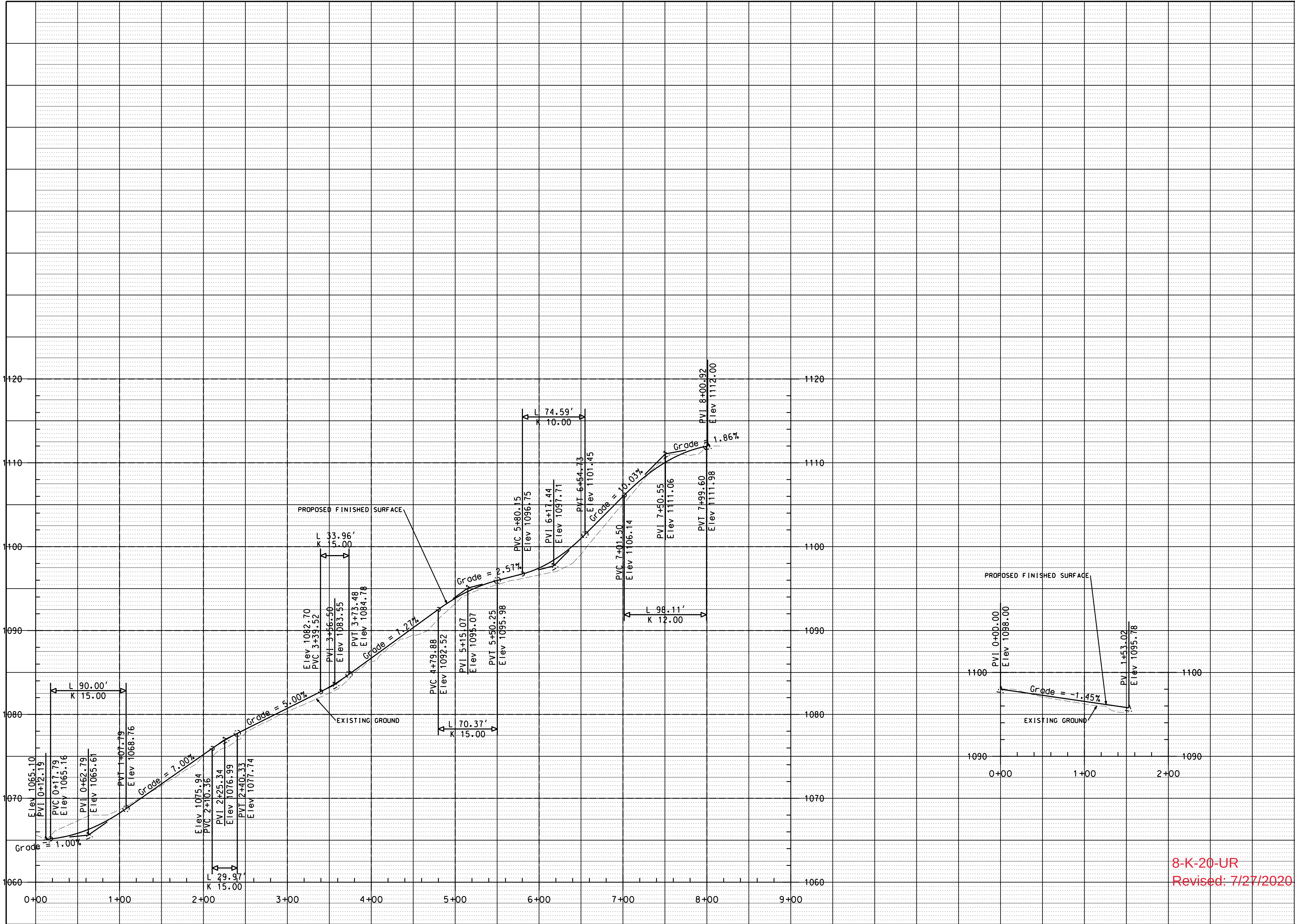
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ORIGINAL ISSUE:
JAN. 29, 2020

SHEET NO.
C2

JOB NO. 1971

SCALE: 1"=50' H, 1"=5' V



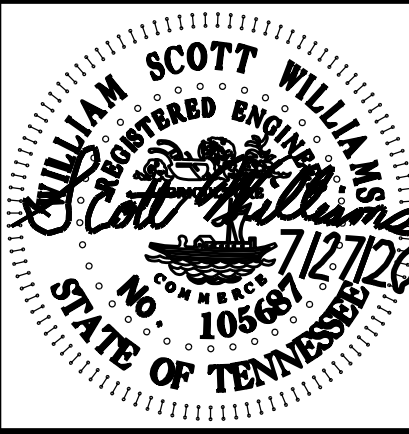
8-K-20-UR
Revised: 7/27/2020

REVISIONS		
NO.	DATE	DESCRIPTION
1	7/27/20	PLANNING COMM.

DRIVEWAY PROFILES

STORE SAFE STORAGE
PHASE 2

6417 MAYNARDVILLE PIKE
KNOX COUNTY, TENNESSEE
CLT MAP 048 E A PARCELS 001
6TH CIVIL DISTRICT



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CONSULTING
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LAND SURVEYING

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STORE SAFE STORAGE

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ORIGINAL ISSUE:
JAN. 29, 2020

SHEET NO.
C3

JOB NO. 1971



1. Commercial grade polypropylene tree strap. (no wires permitted)
2. Finished grade.
3. One third depth of rootball.
4. Taper & scarify side of tree pit.
5. 2"x2"x6' untreated hardwood stake. Staking only required where determined necessary to protect from adverse conditions. Verify need with Architect.
6. Set top of root ball 2" higher than finished grade.
7. 3" mulch, see specifications.
8. Remove burlap from top one third of root ball.
9. Soil mix - 4 parts topsoil to 1 part organic matter.
10. Backfill w. ex. topsoil (no stones >1" dia.) @ consistency of 10% or less.
11. Existing sub-grade.
12. 2" raised sub-grade platform, compacted.
13. See specifications for additional requirements.
14. Prune only as directed by Architect.

CALIPER	# Of Stakes
< 3"	2 STAKES
≥ 3"	3 STAKES

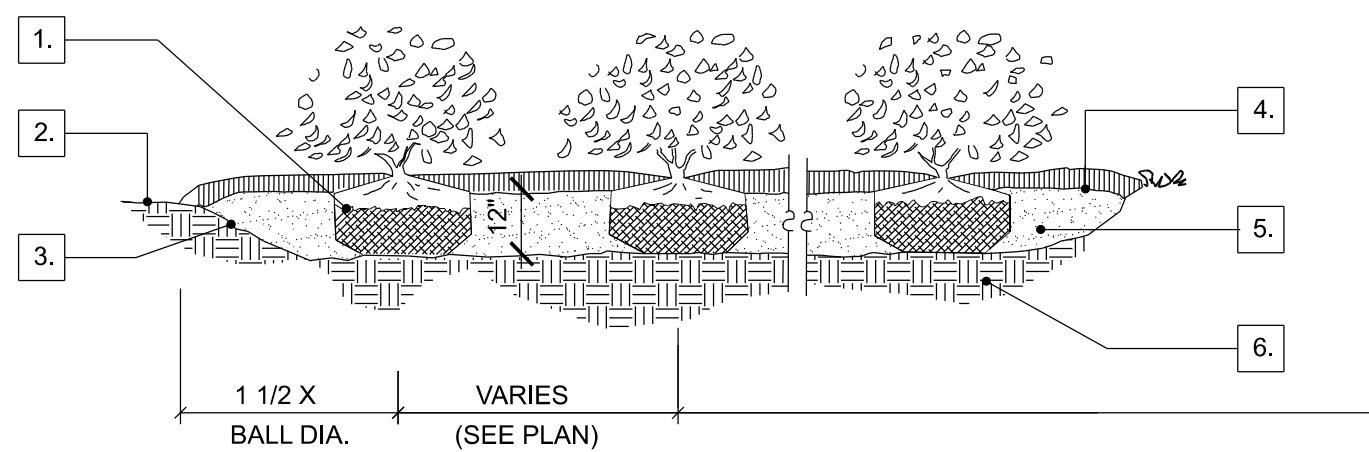
Not to Scale

1. Commercial grade polypropylene tree strap. (no wires permitted)
2. Original grade.
3. One third depth of rootball.
4. Taproot & severity side of tree pit.
5. Backfill w/ ex. topsoil (no stones > 1" dia.) @ 10% quantity or less.
6. 2"x2"x8" untreated hardwood stake. Staking only required where determined necessary to protect from adverse conditions. Verify need with Architect.
7. Set of root ball 2" higher than finished grade.
8. Remove burlap from top one third of root ball.
9. 3" mulch, see specifications.
10. Soil mix - 4 parts topsoil to 1 part organic matter.
11. Existing sub-grade.
12. 2" raised sub-grade platform
13. See specifications for additional requirements
14. Prune only as directed by Architect.

CALIPER	# Of Stakes
< 3"	2 STAKES
> 3"	3 STAKES

Not to Scale

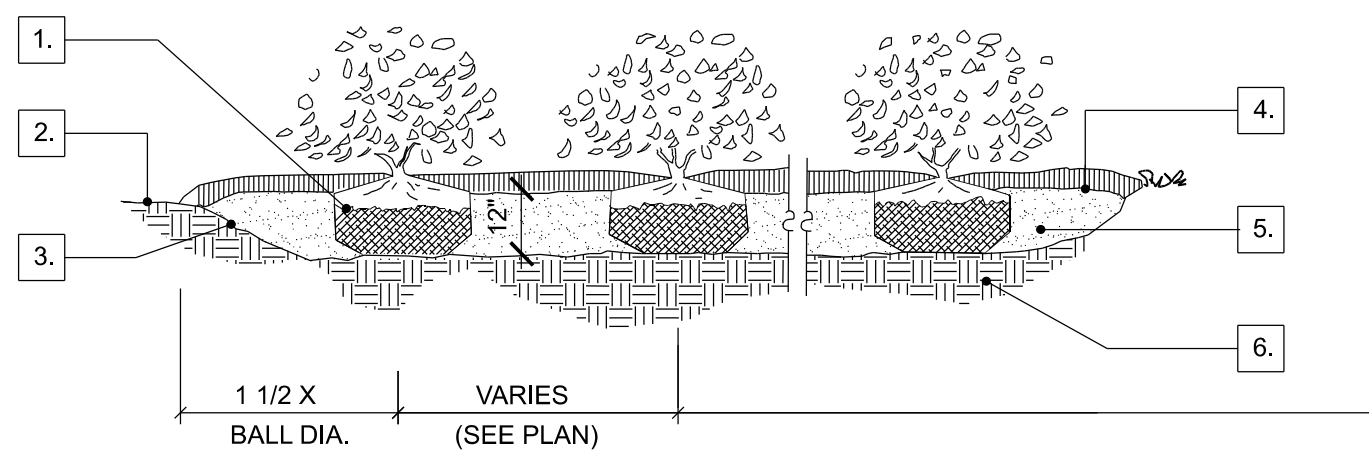
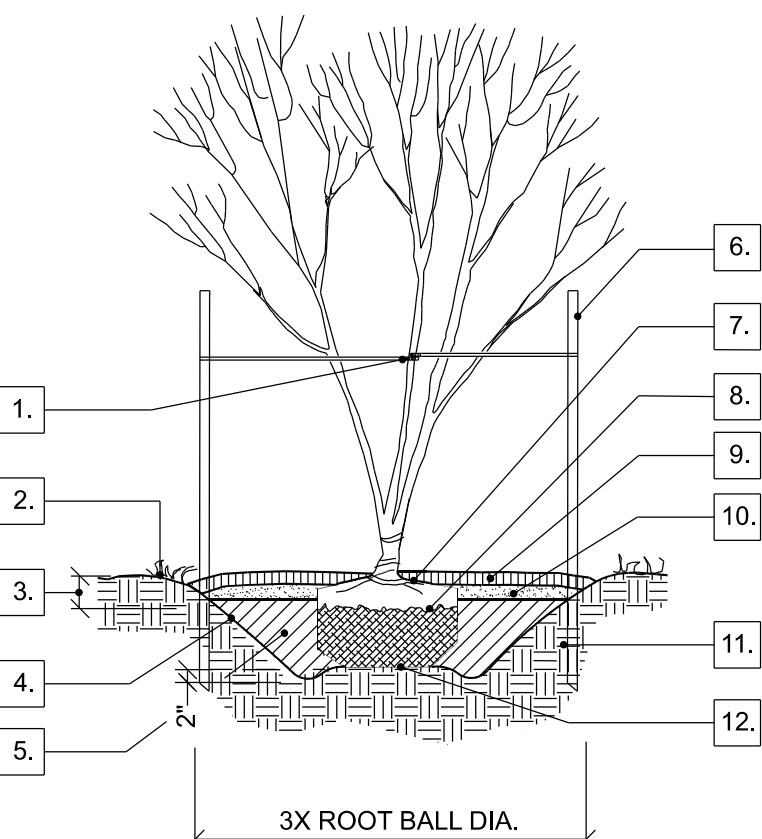
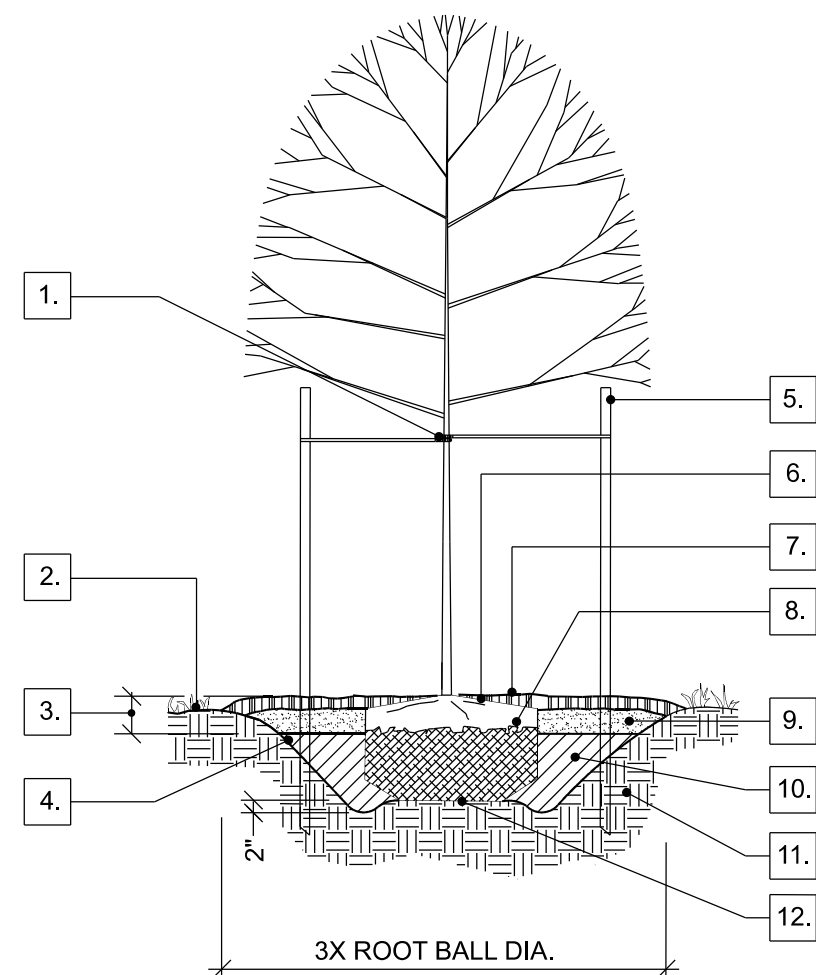
1. Remove burlap from top one third of root ball.
2. Finished grade
3. Taper & scarify side of pit.
4. 3" mulch, see specifications.
5. Soil mix - 4 parts topsoil to 1 part organic matter. (see specifications)
6. Existing sub-grade.
7. See specifications for additional requirements.
8. Prune only as directed by Architect.



Not to Scale

KEY	Botanical Name	Common Name	Size
SHADE TREES:			
AC	Acer campestre	Hedge Maple	2 1/2" Dia.
CC	Cercis canadensis	Eastern Redbud - Singlestem	1 3/4" Dia.
MXS	Magnolia x soulangiana	Saucer Magnolia	7'-8" tall
GJ	Cercidiphyllum japonicum	Japanese Katsuratare - Female	2 1/2" Dia.
QI	Quercus imbricaria	Shingle Oak	2 1/2" Dia.
QP	Quercus phellos	Willow Oak	2 1/2" Dia.
QS	Quercus shumardii	Shumard Oak	2 1/2" Dia.
TSR	Liquidambar styraciflua 'Roundleafs'	Sweetgum	2 1/2" Dia.
ORNAMENTAL TREES/SHRUBS/PERENNIALS/EVERGREENS:			
RA5	Ribes alpinum	Alpine Currant	5 Gal. Cont.
TC8	Euagorgia cordata	Deerfoot Trollhalla	5 Gal. Cont.
HQS	Hydrangea quercifolia 'Snow Queen'	Oakleaf Hydrangea	5 Gal. Cont.
IVT1	Ilex virginica 'Hart's Garnet'	Ilex/Sweetgum	3 Gal. Cont.
RAG6	Rhus aromatica 'Gro-low'	Gro-low Fr. Sumac	3 Gal. Cont.
LSS	Liriodie spicata	Spreading Liriodie	4 Inch Pots
JVG	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	5 Gal. Cont.
EGA	Thuja occidentalis	Emerald Green Arborvitae	5 Gal. Cont.

* Plant is comparable in size to other plants in this size category.
 † Space plants at 5 feet on-center, typical.
 § Space plants at 36"-42" on-center, typical.



The Contractor is hereby notified of the existence of underground utilities. The Contractor shall verify the location and protect all utilities prior to the commencement of digging. Notify the Project Engineer of any conflicts prior to proceeding. Contractor assumes liability for utilities damaged/interrupted utility services.

B. Plant materials are provided for the convenience of the Owner/Contractor and may need field adjustment from this plan based upon unseen and/or unfavorable conditions encountered on the site.

C. The contractor shall be responsible for staking, when determined necessary, and layout of the plantings on this project.

D. The contractor shall be responsible for the removal of all shrubs and/or ground cover beds, the same to be replaced with the same or similar shrubs and/or ground cover beds, the same to be determined by the Architect.

E. Only nursery-grown plant material from the same USDA hardiness zone (Zone 6) shall be used unless verified with the Architect. Collected plant material is not acceptable and will be rejected by the Architect. Plant material shall be inspected by Architect prior to installation.

F. Unless otherwise indicated, 2" shrouded hardiness wood 18" deep shall be used in all shrub and/or ground cover beds and address all trees planted in accordance with the planting details, being careful to not place mulch immediately adjacent to the plant stem(s)/trunk.

G. Landscape planting beds shall be filled a minimum of 18" deep and soil shall be amended with 1 pt. organic matter materials and address all trees planted in accordance with the planting details, being careful to not place mulch immediately adjacent to the plant stem(s)/trunk.

H. Beds shall be defined by concrete curbs, 4" high and 12" wide.

I. The Contractor shall be responsible for the complete removal of all binding cords and ropes from the trunks of all balled and burlapped (or non-container-grown) plant material during planting as required by the planting details. Any debris, fiber, identification tags and ribbons shall be completely removed from all plant material at the time of planting. Wire tree baskets shall be cut and removed per details prior to backfilling and mulching.

J. The Contractor shall be limited to grading the earthwork and site utility work to match existing grades and selected to match unless otherwise indicated. Extensive limits of seeding/sodding to include all disturbed areas.

K. Unless otherwise authorized by the Architect, medium spreading shrubs shall be planted no closer than 30" to any adjoining wall or paved area. Large spreading shrubs shall be planted no closer than 36" to any adjoining wall or paved area. Espaliered shrubs and climbing vines, if present, shall not be planted more than 12" from any wall.

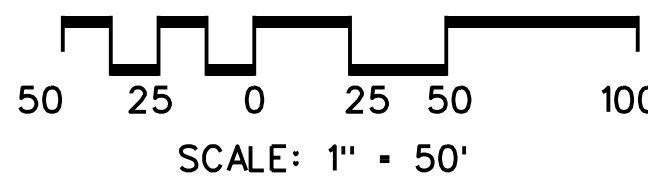
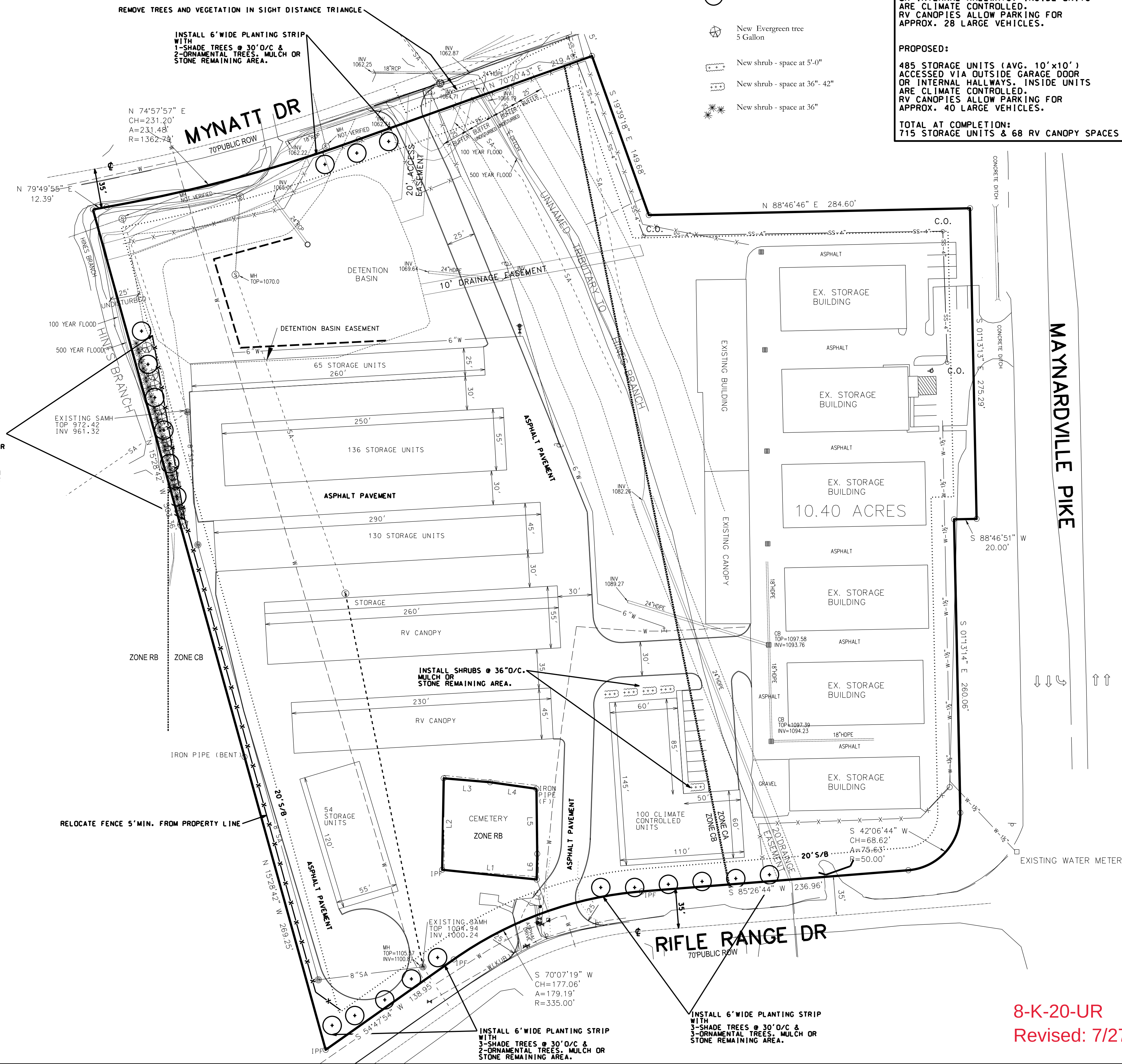
L. Contractor shall consult and be in compliance with industry standard ANSI A 300 for woody plant material planting, tree protection, pruning and the like. Standards are commercially available via ISA (International Society of Arboriculture).

M. The Contractor shall ensure that all related work shall be ground down and removed to a minimum depth of 12" for best results. Wood chips shall be reused as mulch on open specified mulch areas as an amendment for topsoil/planting soil (as directed).

N. Tree staking shall ONLY be performed if trees are unable to sustain stands on weather and shall not be kept on the trees longer than one year. After this point all stakes and straps shall be removed to avoid damaging the integrity/health of the trees. No metal stakes, wires and/or hoses are permitted.

O. It is the responsibility of the landscape contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil and installing trees and shrubs. The contractor should fill the bottom of the hole with 6" of water. The water should percolate into the soil within a 24 hour period. The Architect will not be responsible for the water percolation. In the event he does not have the approval of the Architect otherwise indicated, the Contractor shall be responsible for the water percolation. The Contractor shall be responsible for the water percolation.

P. Plants shall be guaranteed for 12 months after the formal acceptance of the planting by the Owner and shall be alive and in satisfactory growth at the end of the guarantee period.



EXISTING:

ZONING: CA/CB

AREA: 10.4 ACRES

230 STORAGE UNITS (AVG. 10'x10')
 ACCESSED VIA OUTSIDE GARAGE DOOR
 OR INTERNAL HALLWAYS. INSIDE UNITS
 ARE CLIMATE CONTROLLED.
 RV CANOPIES ALLOW PARKING FOR
 APPROX. 28 LARGE VEHICLES.

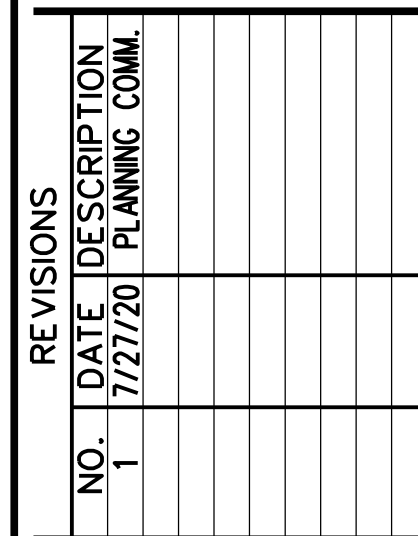
PROPOSED:

485 STORAGE UNITS (AVG. 10'x10')
 ACCESSED VIA OUTSIDE GARAGE DOOR
 OR INTERNAL HALLWAYS. INSIDE UNITS
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 RV CANOPIES ALLOW PARKING FOR
 APPROX. 40 LARGE VEHICLES.

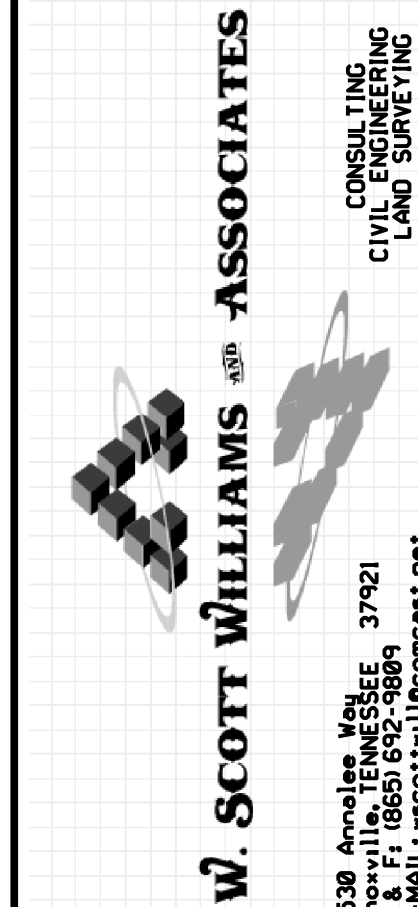
TOTAL AT COMPLETION:
715 STORAGE UNITS & 68 RV CANOPY SPACES



-  New Shade or Ornamental tree.
-  New Evergreen tree
5 Gallon
-  New shrub - space at 5'-0"
-  New shrub - space at 36"- 42"
-  New shrub - space at 36"



SCHEMATIC
LANDSCAPE PLAN



CLIENT: **STORE SAFE STORAGE**

ORIGINAL ISSUE:
JAN. 29, 2020

SHEET NO.

C4

JOB NO. 1971

8-K-20-UR
Revised: 7/27/2020

8-K-20-UR
Revised: 7/27/2020

Store Safe Storage Phase 2

Covered RV parking



8-K-20-UR
Revised: 7/27/2020

Store Safe Storage - Phase 2

These are photos of our existing buildings in Phase 1. We propose to build the new structures of Phase 2 in similar design, with similar elevation, door entry and landscaping.

- * single story construction
- * all metal construction on slab

