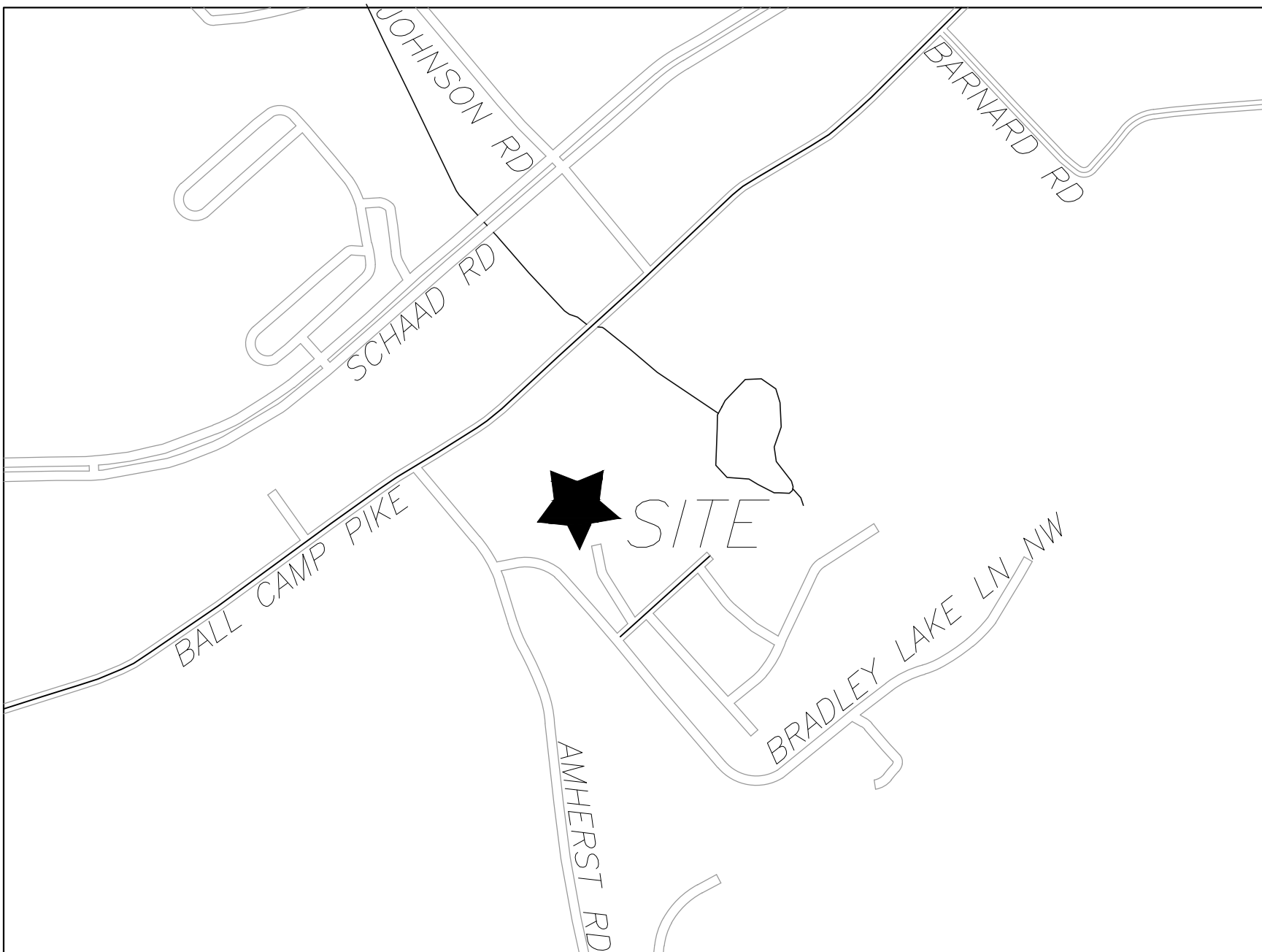


CONCEPT PLAN

U.E.I. PROJECT NO. 2303011

SPRING LAKE FARMS – PHASE 2

SITE ADDRESS: 0 BOGART LANE, KNOXVILLE, TENNESSEE 37921
TAX MAP: 92, PARCEL: 53



LOCATION MAP

DEVELOPER:
EAGLE BEND DEVELOPMENT LLC
1920 EBENEZER ROAD
KNOXVILLE, TN 37922



SITE ENGINEER:
URBAN ENGINEERING, INC.
CHRIS SHARP
10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

SPECIFICATIONS

EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.

ELECTRICAL	– AS DIRECTED BY KNOXVILLE UTILITIES BOARD
GAS	– AS DIRECTED BY KNOXVILLE UTILITIES BOARD
WATER & SEWER	– AS DIRECTED BY KNOXVILLE UTILITIES BOARD
TELEPHONE	– AS DIRECTED BY AT&T
CABLE	– AS DIRECTED BY COMCAST
SITE DEVELOPMENT	– KNOX COUNTY STANDARDS AND SPECIFICATIONS

SHEET INDEX

TITLE	SHEET
TITLE SHEET	C-0
KEY SHEET / TYPICAL SECTION	C-1
SITE PLAN	C-2 & C-3
ROAD PROFILES	C-4

MPC FILE# 8-SA-23-C / 8-B-23-DP

Revised: 8/4/2023

3	8/4/23	SUBMITTAL 3
2	7/21/23	SUBMITTAL 2
ISSUE NO.	DATE	DESCRIPTION

ALL WORKMANSHIP AND MATERIALS SHALL BE PER
KNOX COUNTY STANDARD SPECIFICATIONS
FOR SITE DEVELOPMENT PERMITS.

Certification of Concept Plan by Registered Engineer

I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.

Registered Engineer: *Christopher A. Sharp*
Christopher A. Sharp, P.E.

Tennessee License No. 108984

Date: 7/21/2023

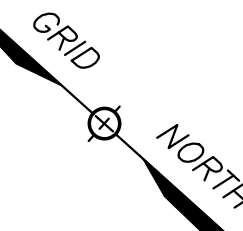
VARIANCE ALTERNATIVE DESIGN STANDARD REQUESTS:

- 1) INCREASE THE MAXIMUM INTERSECTION GRADE FROM 1% TO 1.25% AT THE INTERSECTION OF ROAD 'A' AND JUMPING JACK LANE.
- 2) REDUCE THE MINIMUM LOT FRONTAGE FROM 20' TO A MINIMUM OF 15.0'. THIS REQUEST APPLIES TO LOTS 126-133, LOTS 138-143 AND LOT 145.
- 3) REDUCE THE MINIMUM CENTERLINE RADIUS FROM 250' TO 230' BETWEEN STATIONS 4+00.26 AND 6+10.60 (ROAD A).

REAGAN
092-047
DB: 1831-650

REAGAN
092-047
DB: 1831-650

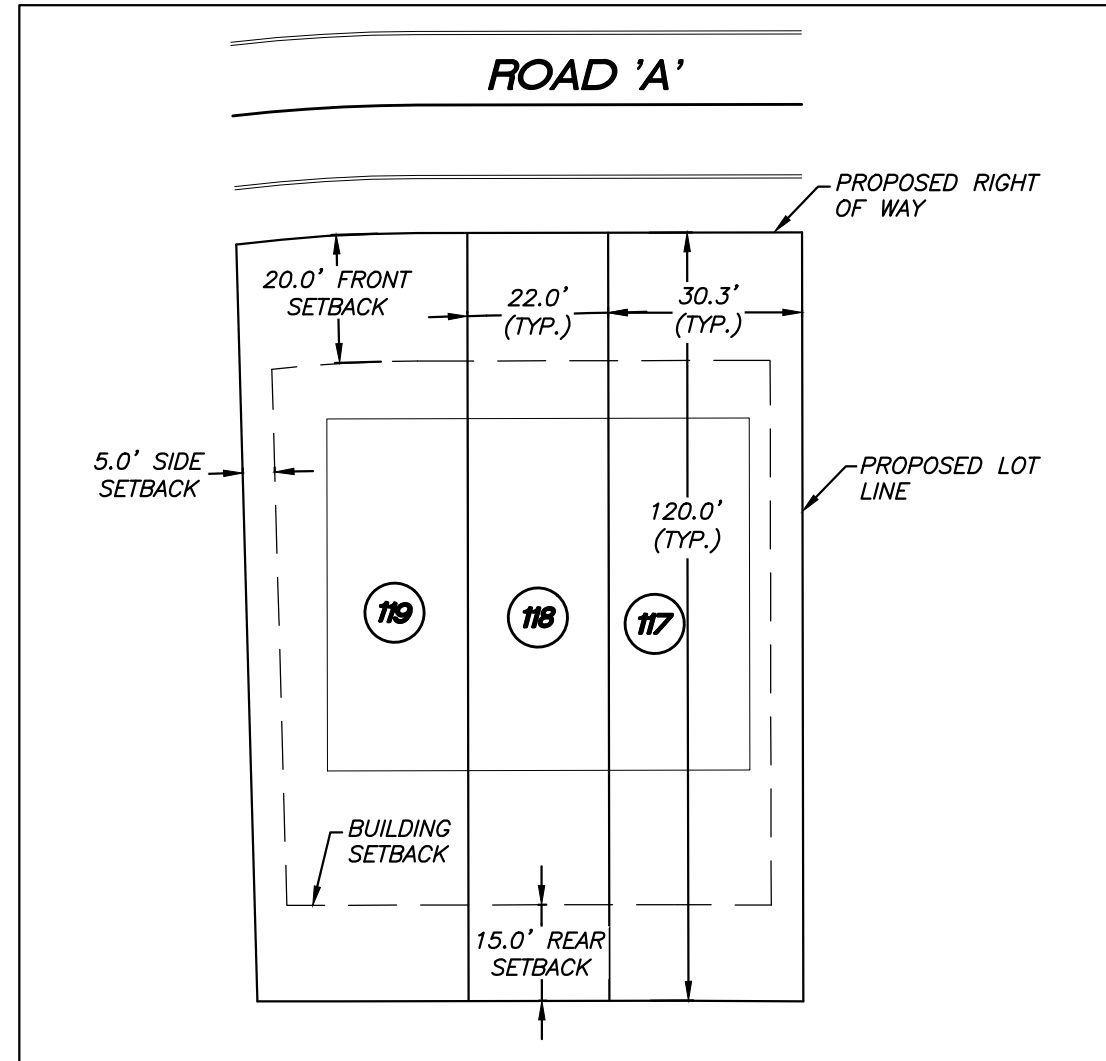
~ZONED 'A'~



LOCATION MAP

SITE PLAN NOTES:

1. THIS PROPERTY IS ZONED 'PR' <4 DU/AC. REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: TWENTY (20) FEET
PERIPHERY: THIRTY FIVE (35) FEET (MINIMUM)
SIDE: FIVE (5) FEET
REAR: FIFTEEN (15) FEET
2. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TOWN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
3. HORIZONTAL COORDINATES ARE TENNESSEE STATE PLANE. VERTICAL DATUM IS NAVD88.
4. ALL WORK SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S SPECIFICATIONS FOR SITE DEVELOPMENT.
5. THE COMBINED AREA OF PHASES 1 AND 2 IS 44.86 ACRES.
6. THERE ARE 57-PROPOSED UNITS IN PHASE 2. PHASE 1 IS 80-UNITS. THE TOTAL COMBINED DENSITY IS 3.05 UNITS PER ACRE.
7. THE PROPOSED LOTS SHALL HAVE VEHICULAR ACCESS TO INTERNAL ROADS ONLY.
8. A HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED TO ADDRESS MAINTENANCE OF THE COMMON AREAS.
9. 10' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL EXTERIOR BOUNDARY LINES AND PUBLIC RIGHT OF WAY. UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL INTERIOR LOT LINES EXCEPT WHEN UNDER BUILDINGS.
10. THE TOTAL AREA OF THE PROPERTY COVERED BY HILLSIDE PROTECTION IN PHASE 2 IS 13.32 ACRE.
12. SEE THIS SHEET FOR LOCAL STREET TYPICAL SECTION.



TYPICAL LOT LAYOUT
SCALE: 1"=30'

SHEET C-1

SITE PLAN - OVERALL
SPRING LAKE FARMS - PHASE 2

SITE ADDRESS: 0 BOGART LANE (37921)

DIST. NO. W6 KNOX CO., TN.
CLT MAP 92 PARCEL 53
SCALE: 1"=80' JUNE 12, 2023

DEVELOPER:
EAGLE BEND DEVELOPMENT LLC
1920 EBENEZER ROAD
KNOXVILLE, TN 37922

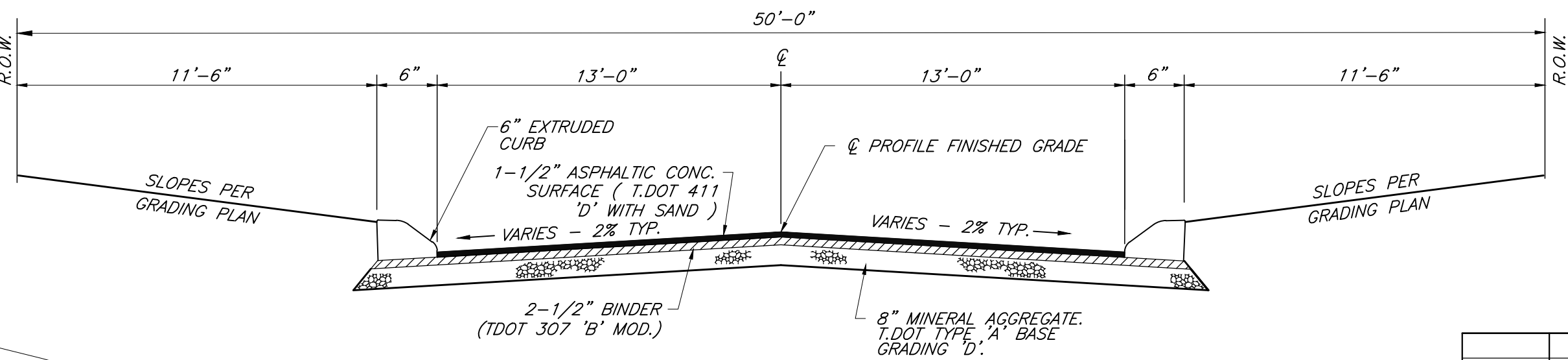
 **URBAN ENGINEERING, INC.**
10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 2303011



REFERENCE:
DEED INST. 201904110059798

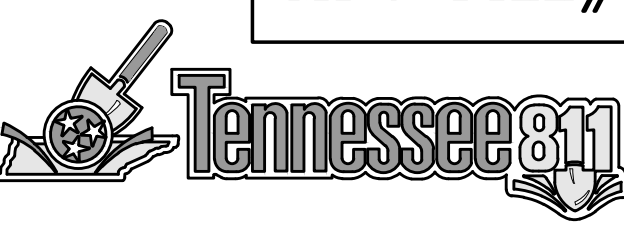
REVISION	DATE	DESCRIPTION	BY
3	8/4/23	SUBMITTAL 3	CAS
2	8/4/23	UPDATED AREA STATISTICS	CAS
1	7/21/23	SUBMITTAL 2	CAS

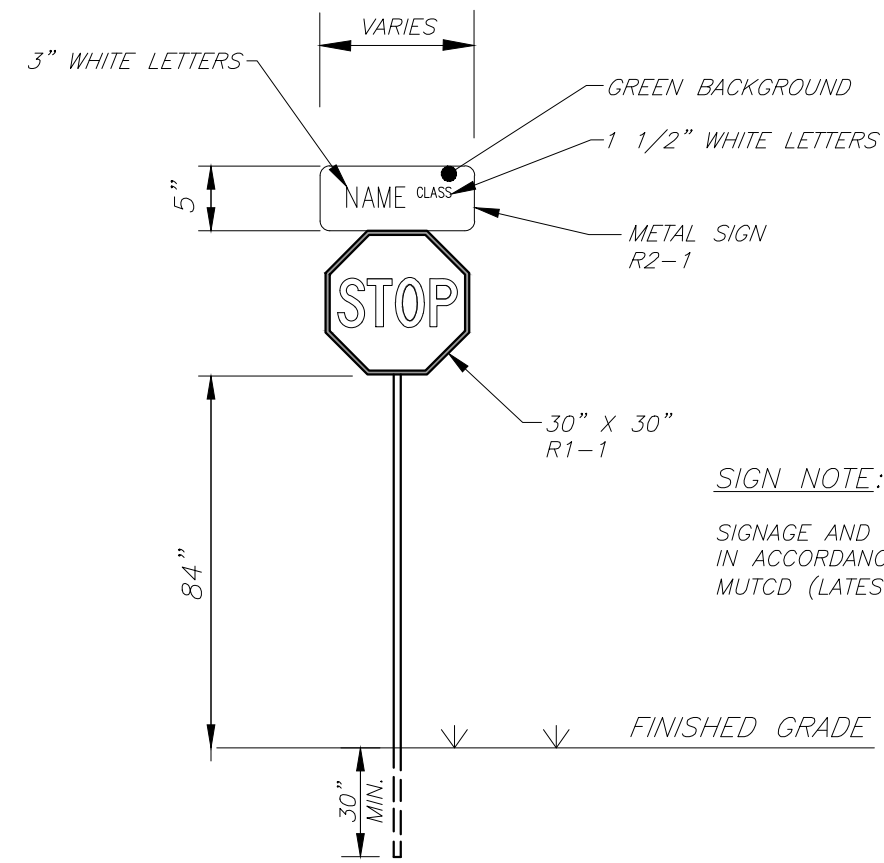


TYPICAL SECTION - LOCAL STREETS
N.T.S.

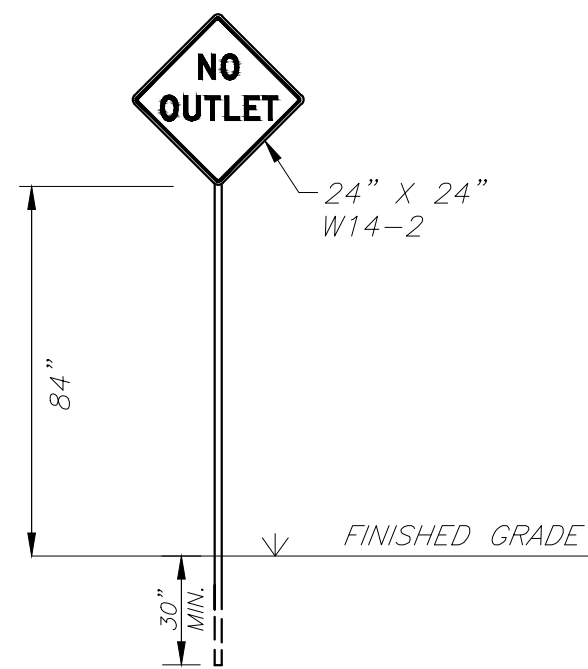
MPC FILE# 8-SA-23-C / 8-B-23-DP

Revised: 8/4/2023

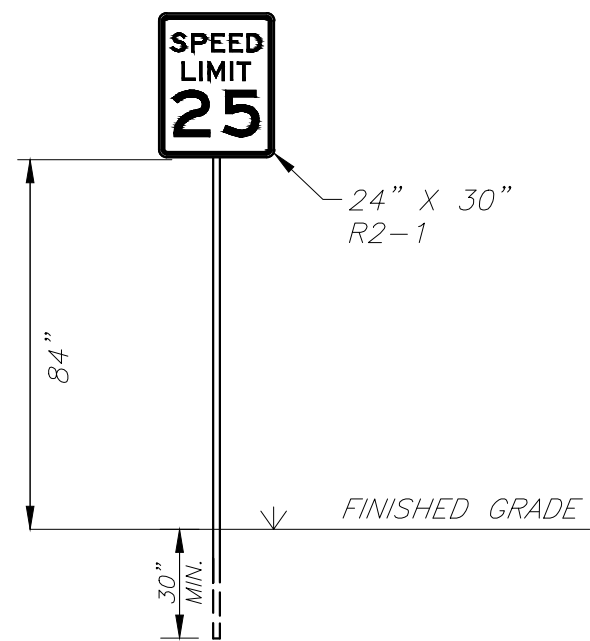




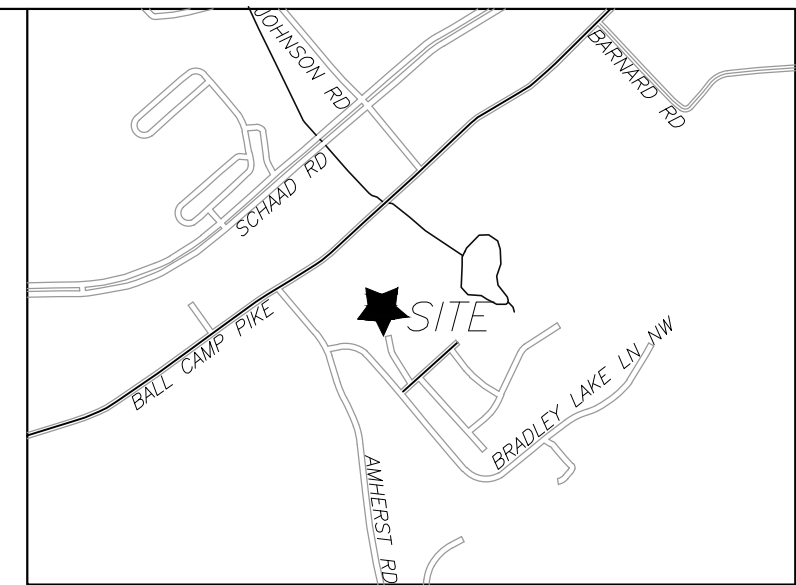
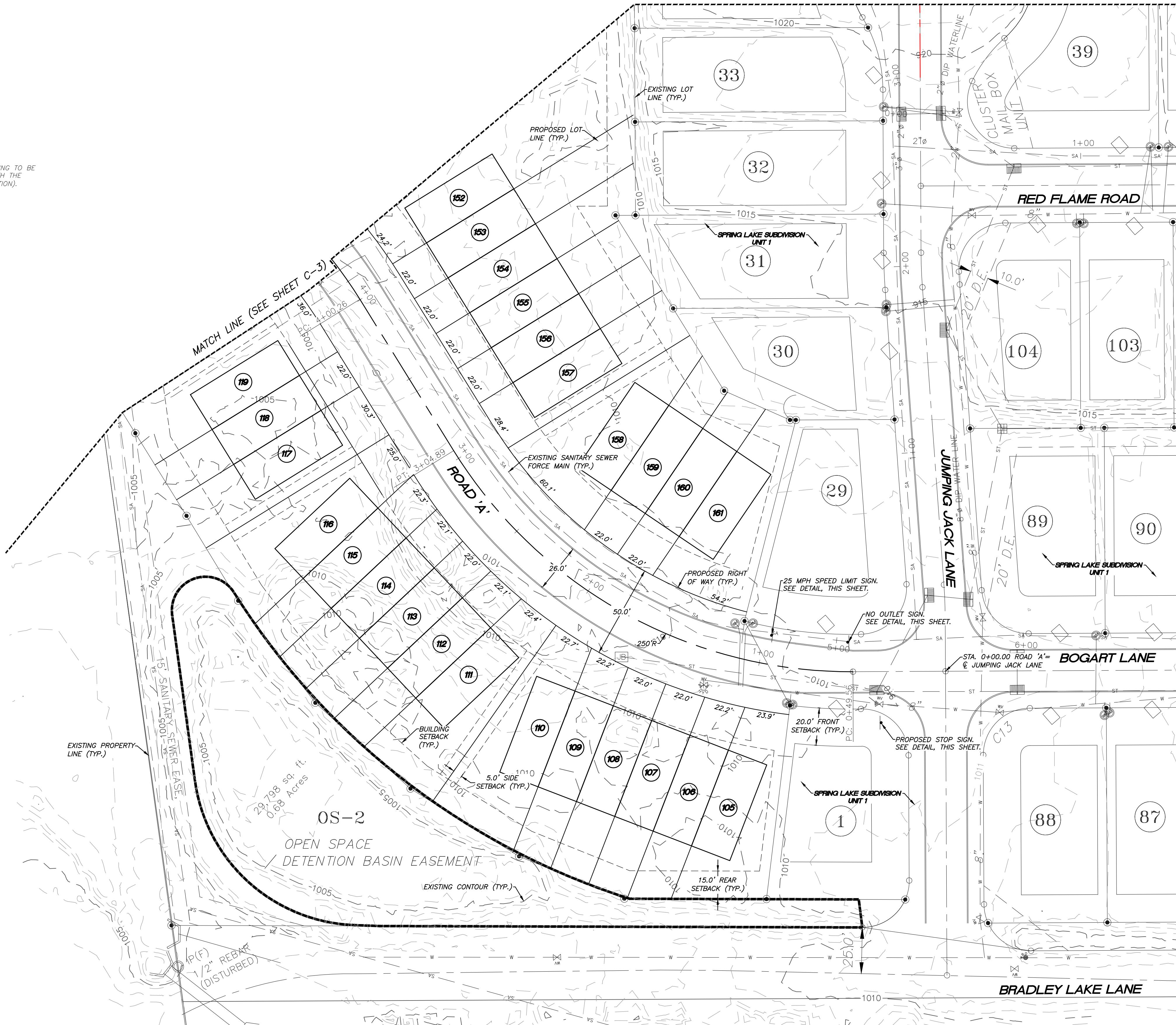
COMBINATION STOP SIGN / STREET NAME SIGN DETAIL



NO OUTLET SIGN DETAIL



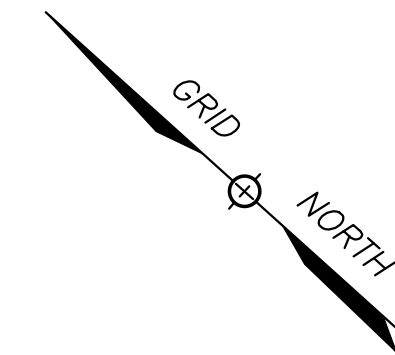
SPEED LIMIT SIGN DETAIL



LOCATION MAP

SITE PLAN NOTES:

1. THIS PROPERTY IS ZONED "PR" <4 DU/AC. REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: TWENTY (20) FEET
PERIPHERY: THIRTY FIVE (35) FEET (MINIMUM)
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REAR: FIFTEEN (15) FEET
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3. HORIZONTAL COORDINATES ARE TENNESSEE STATE PLANE. VERTICAL DATUM IS NAVD88.
4. ALL WORK SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S SPECIFICATIONS FOR SITE DEVELOPMENT.
5. THE COMBINED AREA OF PHASES 1 AND 2 IS 44.86 ACRES.
6. THERE ARE 57-PROPOSED UNITS IN PHASE 2. PHASE 1 IS 80-UNITS. THE TOTAL COMBINED DENSITY IS 3.05 UNITS PER ACRE.
7. THE PROPOSED LOTS SHALL HAVE VEHICULAR ACCESS TO INTERNAL ROADS ONLY.
8. A HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED TO ADDRESS MAINTENANCE OF THE COMMON AREAS.
9. 10' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL EXTERIOR BOUNDARY LINES AND PUBLIC RIGHT OF WAY. UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL INTERIOR LOT LINES EXCEPT WHEN UNDER BUILDINGS.
10. THE TOTAL AREA OF THE PROPERTY COVERED BY HILLSIDE PROTECTION IN PHASE 2 IS 13.32 ACRE.
12. SEE SHEET C-1 FOR LOCAL STREET TYPICAL SECTION.



SHEET C-2

SITE PLAN

SPRING LAKE FARMS - PHASE 2

SITE ADDRESS: 0 BOGART LANE (37921)

DIST. NO. W6 KNOX CO., TN.
CLT MAP 92 PARCEL 53
SCALE: 1"=30' JUNE 12, 2023

DEVELOPER:
EAGLE BEND DEVELOPMENT LLC
1920 EBENEZER ROAD
KNOXVILLE, TN 37922



URBAN ENGINEERING, INC.
10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 2303011

MPC FILE# 8-SA-23-C / 8-B-23-DP

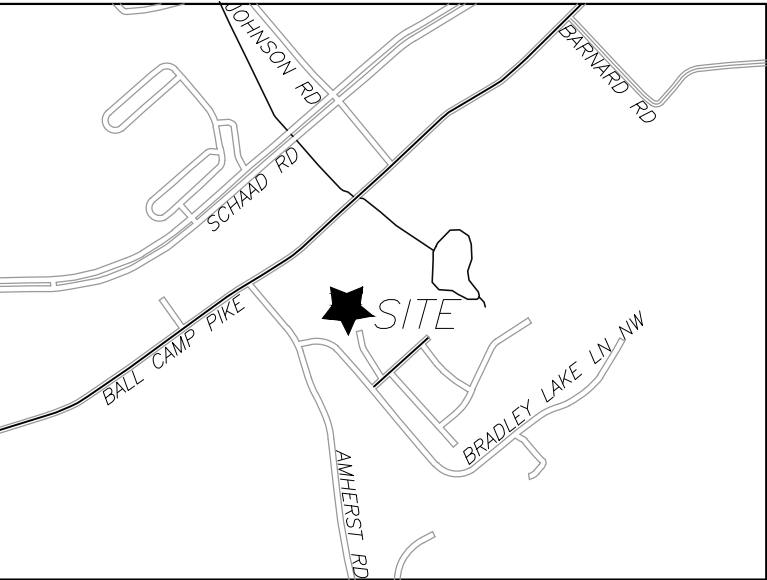
Revised: 8/4/2023

ALL WORKMANSHIP AND MATERIALS SHALL BE PER KNOX COUNTY STANDARD SPECIFICATIONS FOR SITE DEVELOPMENT PERMITS.

REFERENCE:
DEED INST. 201904110059798

3	8/4/23	SUBMITTAL 3	CAS
2	8/4/23	UPDATED AREA STATISTICS	CAS
1	7/21/23	DESCRIPTION	BY
REVISION	DATE	DESCRIPTION	BY

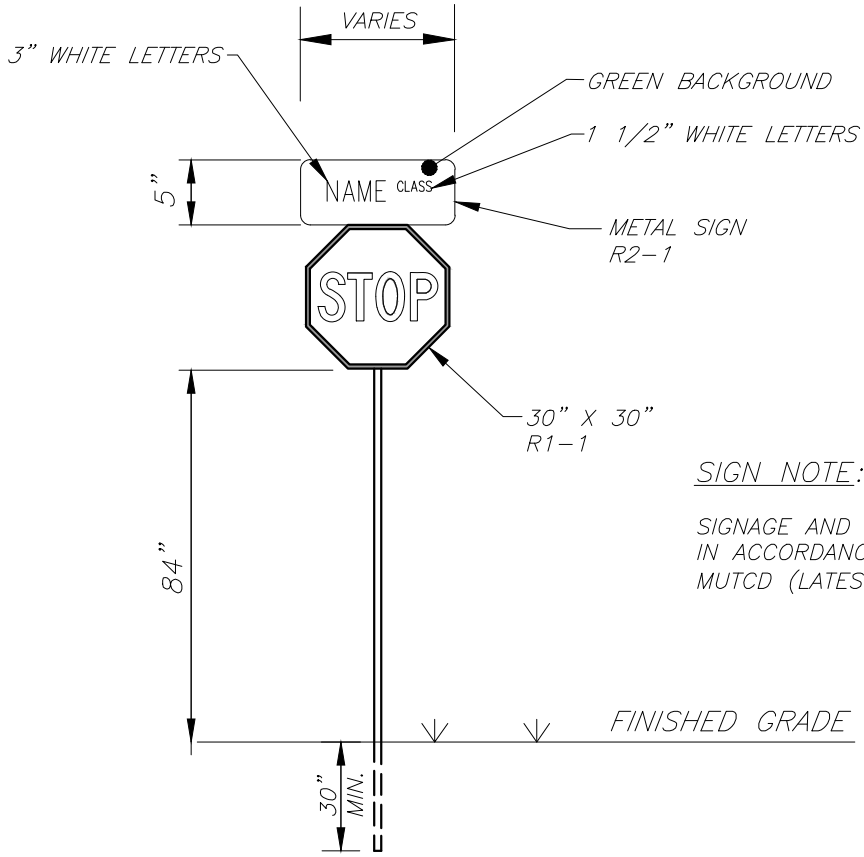
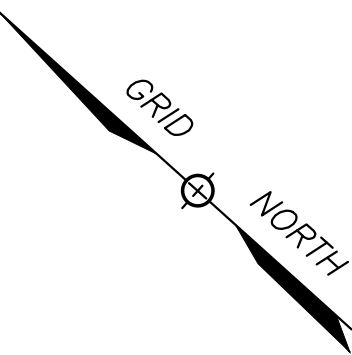




LOCATION MAP

SITE PLAN NOTES:

1. THIS PROPERTY IS ZONED 'PR' <4 DU/AC. REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: TWENTY (20) FEET
PERIPHERY: THIRTY FIVE (35) FEET (MINIMUM)
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12. SEE SHEET C-1 FOR LOCAL STREET TYPICAL SECTION.



SIGN NOTE:
SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MUTCD (LATEST EDITION).

COMBINATION STOP SIGN / STREET NAME SIGN DETAIL

Revised: 8/4/2023

MPC FILE# 8-SA-23-C / 8-B-23-DP

ALL WORKMANSHIP AND MATERIALS SHALL BE PER KNOX COUNTY STANDARD SPECIFICATIONS FOR SITE DEVELOPMENT PERMITS.

REFERENCE:
DEED INST. 201904110059798

3	8/4/23	SUBMITTAL 3	CAS
2	8/4/23	UPDATED AREA STATISTICS	CAS
1	7/21/23	SUBMITTAL 2	CAS
REVISION	DATE	DESCRIPTION	BY

SHEET C-3

SITE PLAN

SPRING LAKE FARMS - PHASE 2

SITE ADDRESS: 0 BOGART LANE (37921)

DIST. NO. W6

CLT MAP 92

SCALE: 1"=30'

KNOX CO., TN.

PARCEL 53

JUNE 12, 2023

DEVELOPER:

EAGLE BEND DEVELOPMENT LLC

1920 EBENEZER ROAD

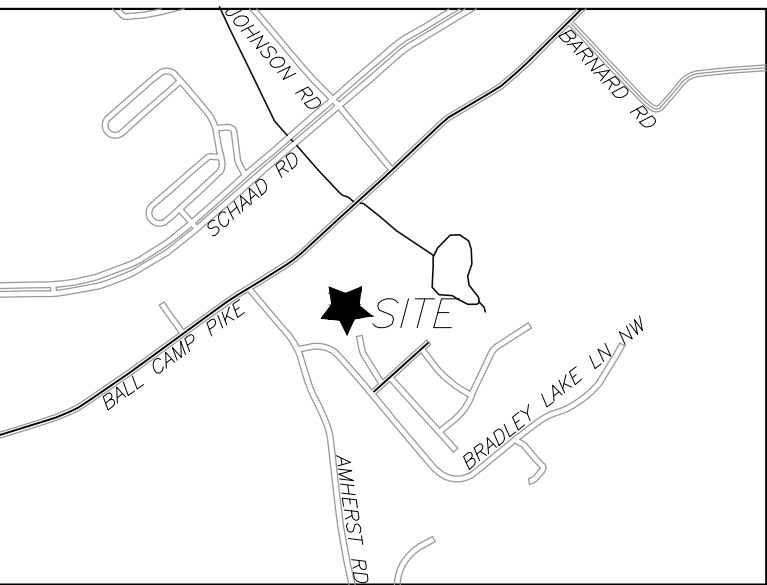
KNOXVILLE, TN 37922

URBAN ENGINEERING, INC.

10330 HARDIN VALLEY RD, #201

KNOXVILLE, TENNESSEE 37932

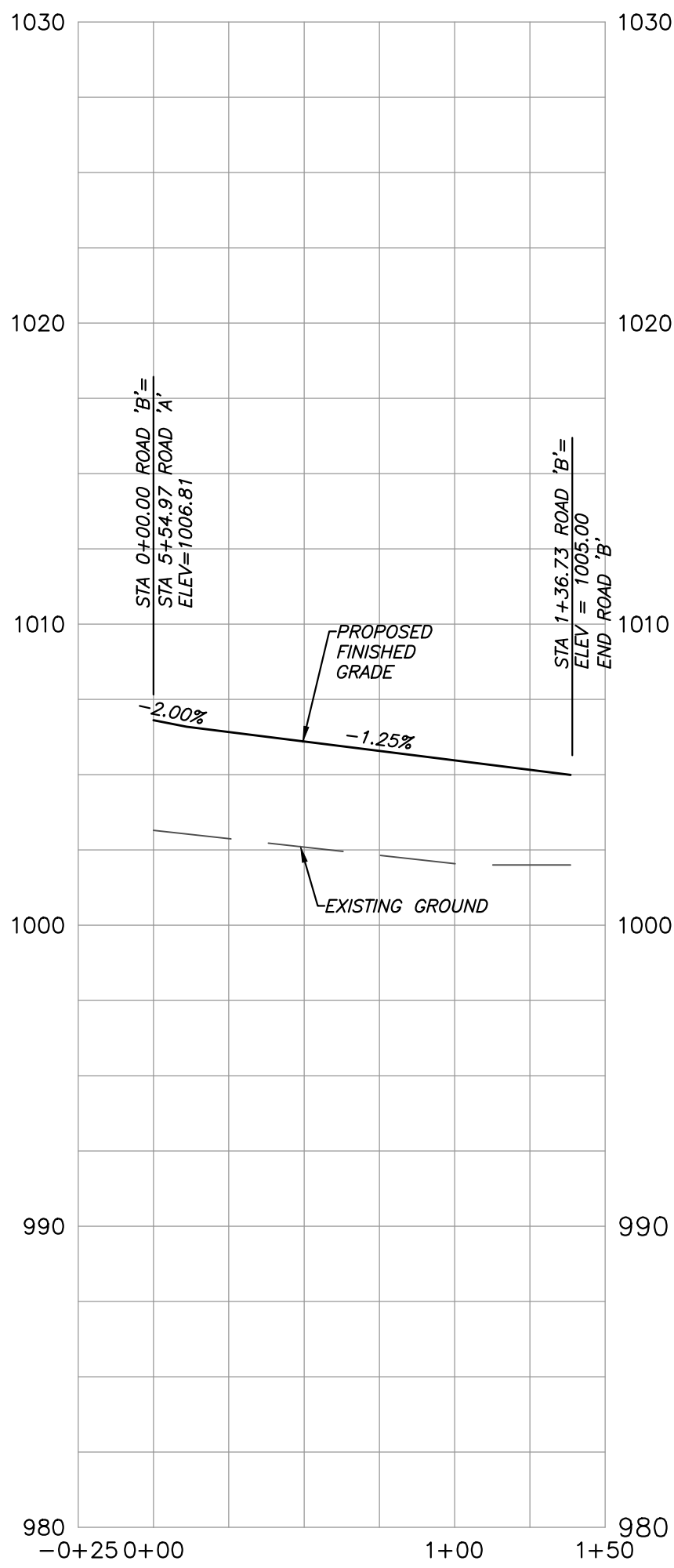
(865) 966-1924



LOCATION MAP



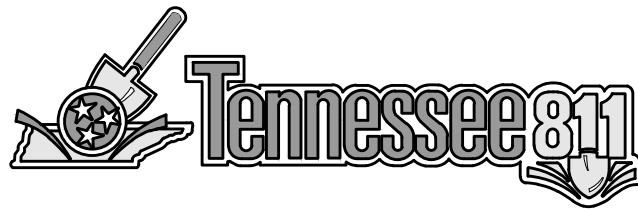
PROFILE-ROAD 'A'
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)



PROFILE-ROAD 'B'
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)

Revised: 8/4/2023

MPC FILE# 8-SA-23-C / 8-B-23-DP



REVISION	DATE	DESCRIPTION	BY
2	8/4/23	SUBMITTAL 3	CAS
1	7/21/23	SUBMITTAL 2	CAS

SHEET C-4

ROAD PROFILES

SPRING LAKE FARMS - PHASE 2

SITE ADDRESS: 0 BOGART LANE (37921)

DIST. NO. W6

CLT. MAP 92

SCALE: AS NOTED

KNOX CO., TN.

PARCEL 53

JUNE 22, 2023

DEVELOPER: EAGLE BEND DEVELOPMENT LLC
1920 EBENEZER ROAD
KNOXVILLE, TN 37922

URBAN ENGINEERING, INC.

10330 HARDIN VALLEY RD, #201

KNOXVILLE, TENNESSEE 37932

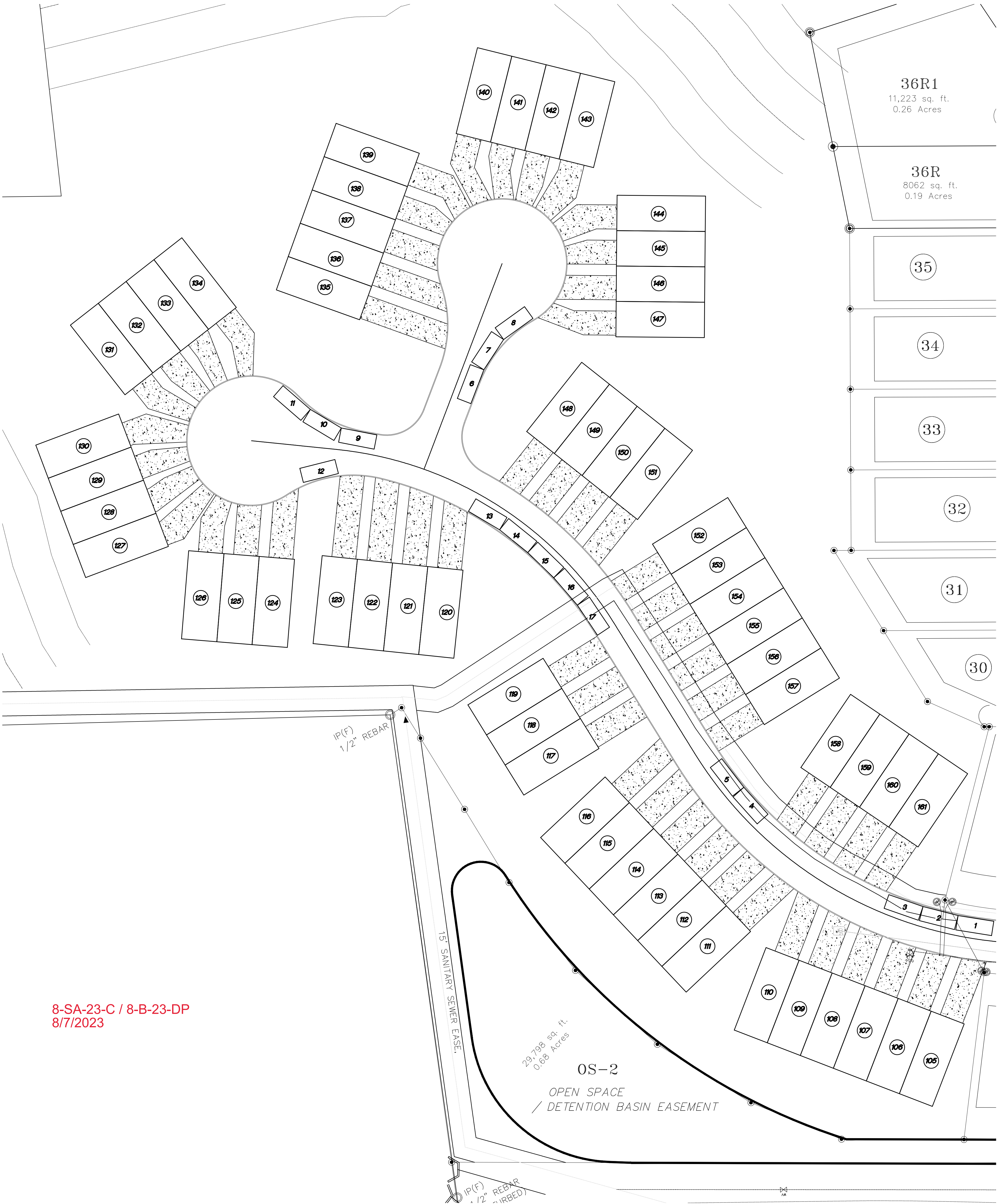
(865) 966-1924

DWN: CLM

CHK: CAS

DWG. NO. 2303011

EXHIBIT A -- On-street parking opportunities



8-SA-23-C / 8-B-23-DP
8/7/2023