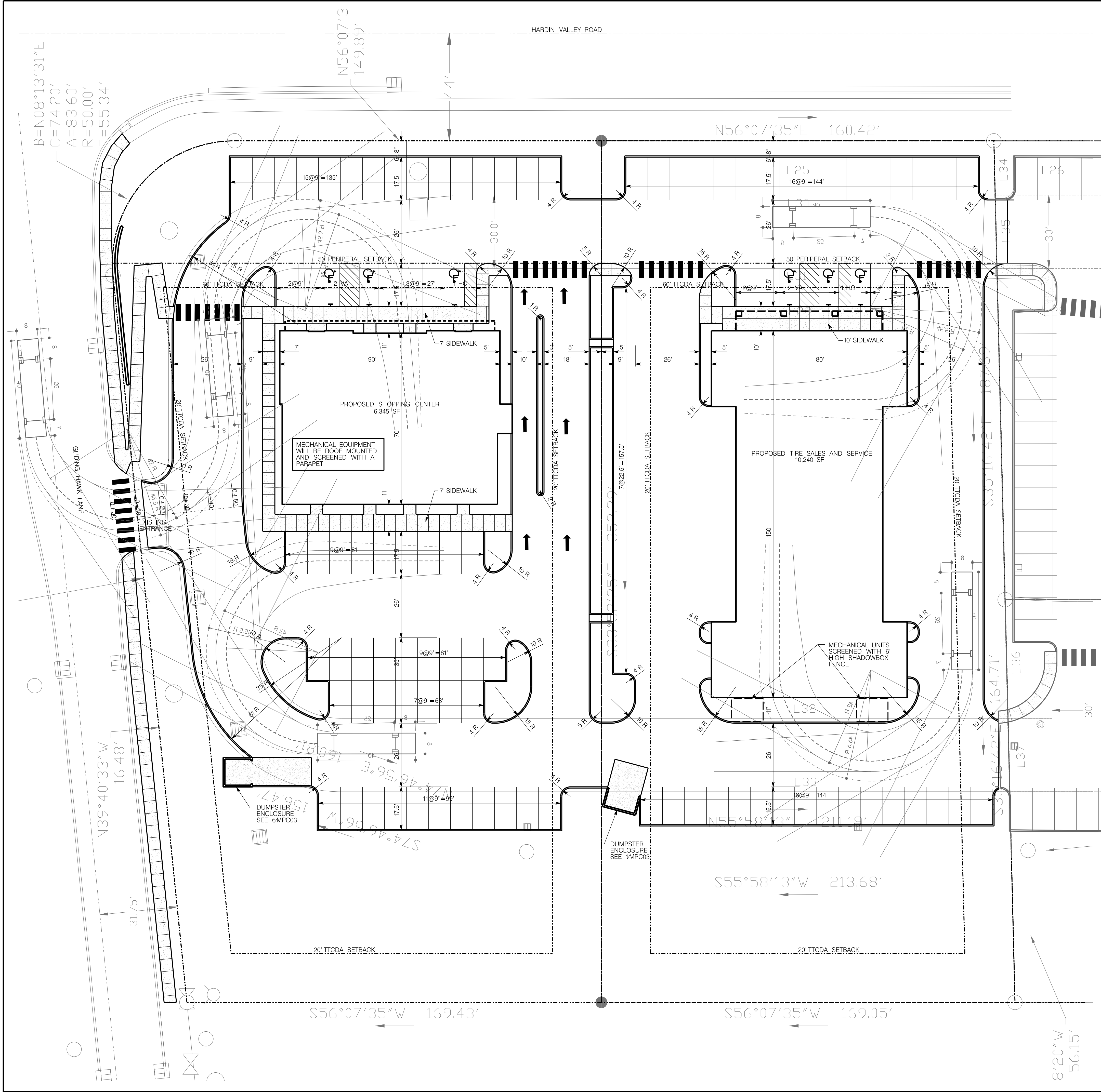




LEGEND:

EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
FW	FW	POTABLE WATER
NG	NG	NATURAL GAS
UE	UE	UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		CONSTRUCTION ENTRANCE
		EROSION CONTROL MAT

PROJECT DATA

USE: SHOPPING CENTER

ZONING: PC/TO

PARCEL: 103 115.09

PARKING SUMMARY:
PARKING REQUIRED: 32 SPACES
PARKING PROVIDED: 59 SPACES (3 ADA)
CALCULATION (COUNTY):
SHOPPING CENTER: 6,345 SF /200 = 32
CALCULATION (TTODA):
RESTAURANT: 4,845/1000X7.5 = 36.34, 4,845/1000X15 = 72.68
RETAIL: 1500/1000 X 3 = 4.5, 1500/1000 X 4.5 = 6.75
TOTAL: 40.84 MIN, 79.43 MAXIMUM

SETBACKS (TTODA):
FRONT: 60'
REAR: 20'
SIDE: 20'

SETBACKS (COUNTY):
PERIPHERAL: 50'

BUILDING AREA: 6,345 SF 1 STORY

PARCEL AREA: 1.50 AC

IMPERVIOUS AREA: 0.98 AC

FLOOR AREA RATIO: 15 %
IMPERVIOUS AREA RATIO: 65 %
GROUND AREA COVERAGE: 15 %

PROJECT DATA

USE: TIRE SALES/SERVICE

ZONING: PC/TO

PARCEL: 103 115.08

PARKING SUMMARY:
PARKING REQUIRED: 45 SPACES
PARKING PROVIDED: 45 SPACES (3 ADA)
CALCULATION (COUNTY):
AUTO REPAIR: 28 STALL OR 1250 SF + 23 EMPLOYEE
2X12 STALLS + 23 X 6 EMPLOYEES = 28
5,280 SF/250 + 23 X 6 EMPLOYEES = 21 + 4 = 25
CALCULATION (TTODA):
ALL OTHER NON-RESIDENTIAL USES: MIN. 2 PER 1000,
MAX. 3.5 PER 1000
MIN. 10.24 X 2 = 20.48 MAX. 10.24 X 3.5 = 35.84

SETBACKS (TTODA):
FRONT: 60'
SIDE: 20'
REAR: 20'

SETBACKS (COUNTY):
PERIPHERAL: 50'

BUILDING AREA: 19,700 SF 1 STORY

PARCEL AREA: 2.82 AC

IMPERVIOUS AREA: 1.65 AC

FLOOR AREA RATIO: 16 %
IMPERVIOUS AREA RATIO: 58 %
GROUND AREA COVERAGE: 16 %

PROJECT DATA

USE: SHOPPING CENTER

ZONING: PC/TO

PARCEL: 103 115.09

PARKING SUMMARY:
PARKING REQUIRED: 32 SPACES
PARKING PROVIDED: 59 SPACES (3 ADA)
CALCULATION (COUNTY):
SHOPPING CENTER: 6,345 SF /200 = 32
CALCULATION (TTODA):
RESTAURANT: 4,845/1000X7.5 = 36.34, 4,845/1000X15 = 72.68
RETAIL: 1500/1000 X 3 = 4.5, 1500/1000 X 4.5 = 6.75
TOTAL: 40.84 MIN, 79.43 MAXIMUM

SETBACKS (TTODA):
FRONT: 60'
REAR: 20'
SIDE: 20'

SETBACKS (COUNTY):
PERIPHERAL: 50'

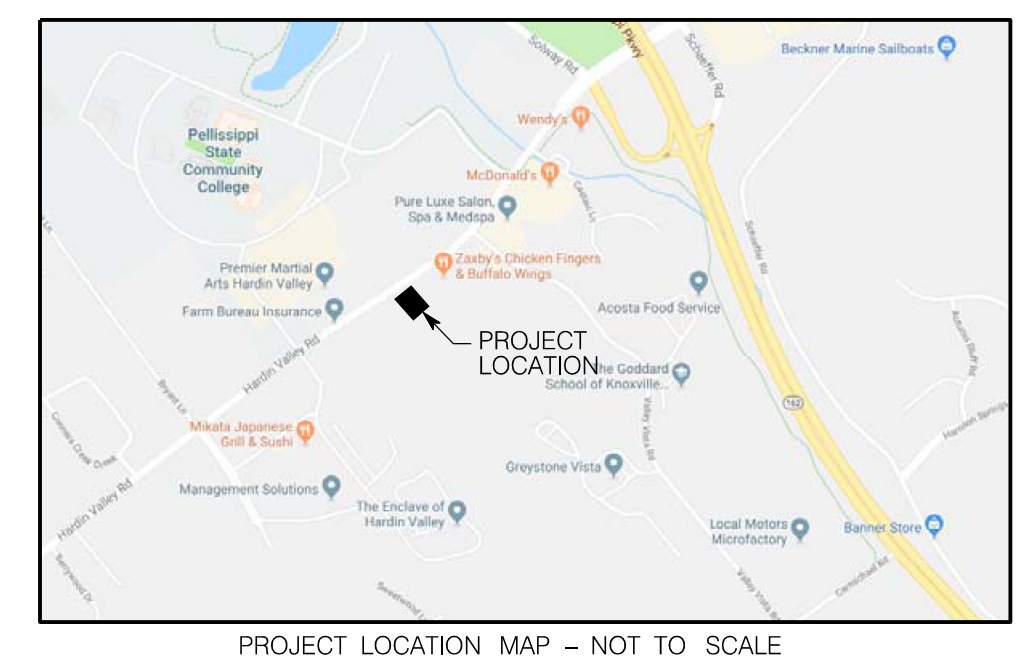
BUILDING AREA: 6,345 SF 1 STORY

PARCEL AREA: 1.50 AC

IMPERVIOUS AREA: 0.98 AC

FLOOR AREA RATIO: 15 %
IMPERVIOUS AREA RATIO: 65 %
GROUND AREA COVERAGE: 15 %

9-A-19-UR
Revised: 8/27/2019



WILL ROBINSON & ASSOCIATES

1248 N. Shorewood Ln
Caryville, TN 37714
(865) 386-4200
wrassociates@bellsouth.net

A New Facility for:

Matlock Tire/Bittle Center

10838/10850 Hardin Valley Road
Knox County, TN
9-A-19-UR-9-A-19-TOB

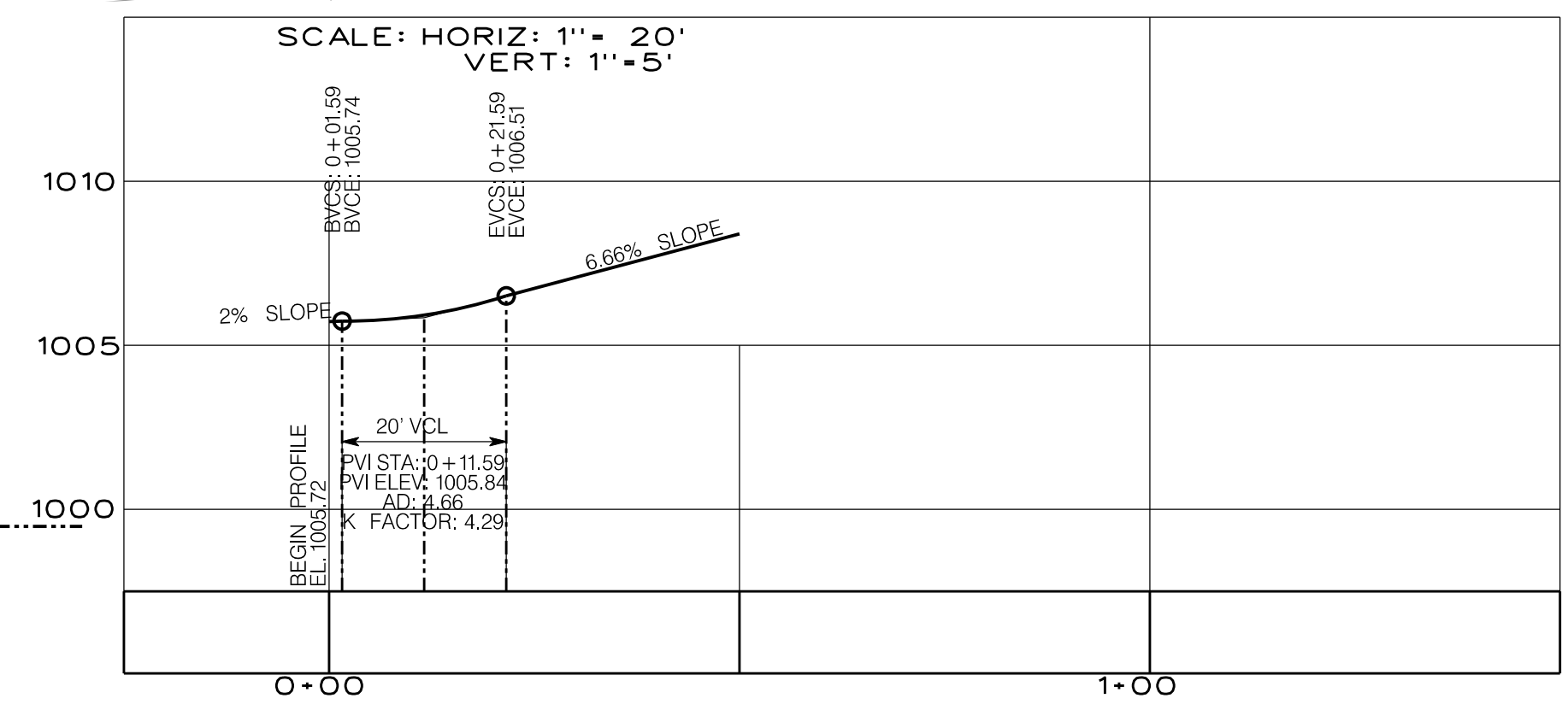
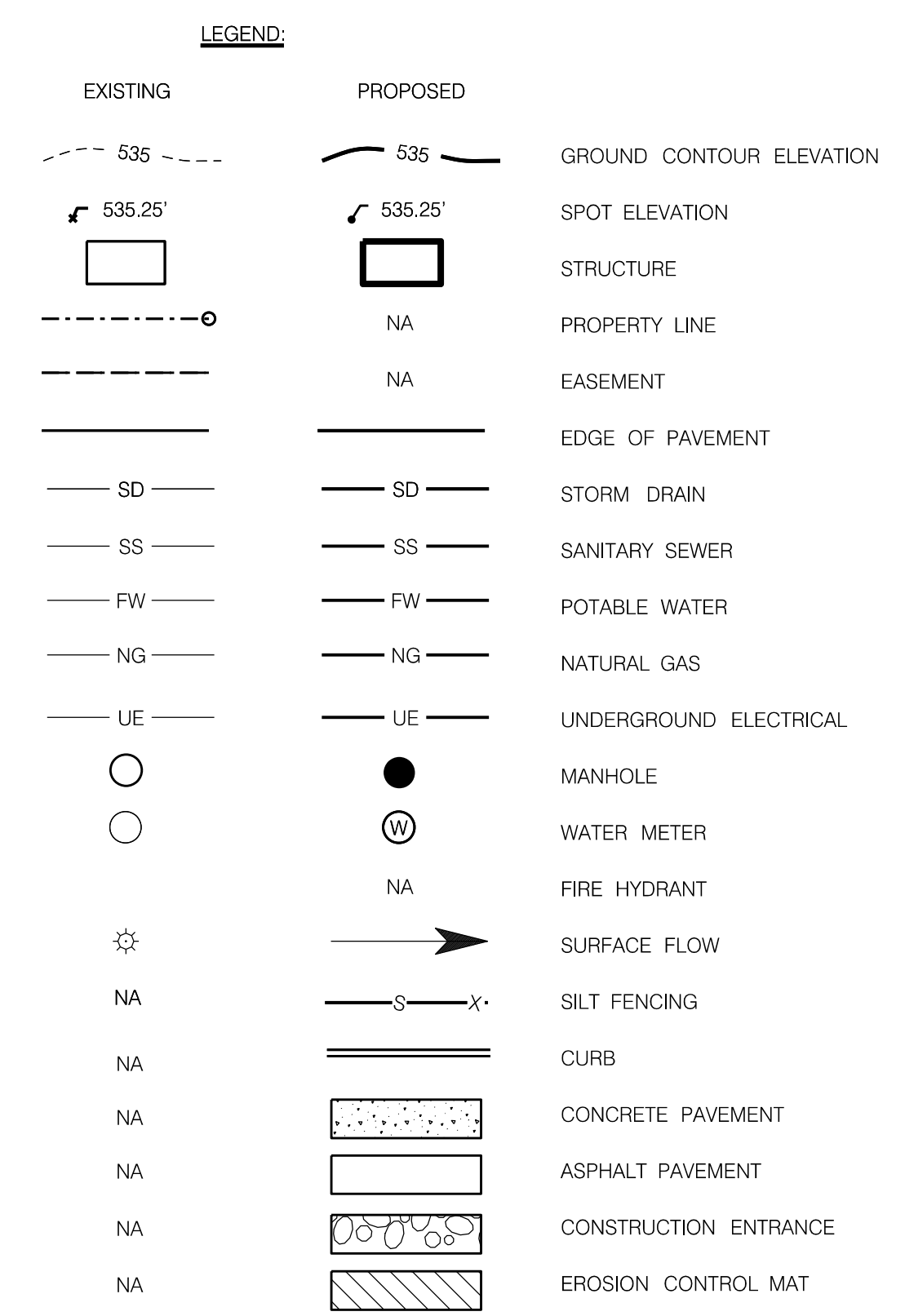
REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08-27-2019

DRAWN: WNR
CHECKED: WNR
DATE: 08-27-2019
FILE NAME:
PROJECT NO:

MPC01

SITE LAYOUT PLAN
DRAWING



DRIVEWAY PROFILE

9-A-19-UR
Revised: 8/27/2019

**WILL ROBINSON
& ASSOCIATES**

A New Facility for:

Matlock Tire/Bittle Center

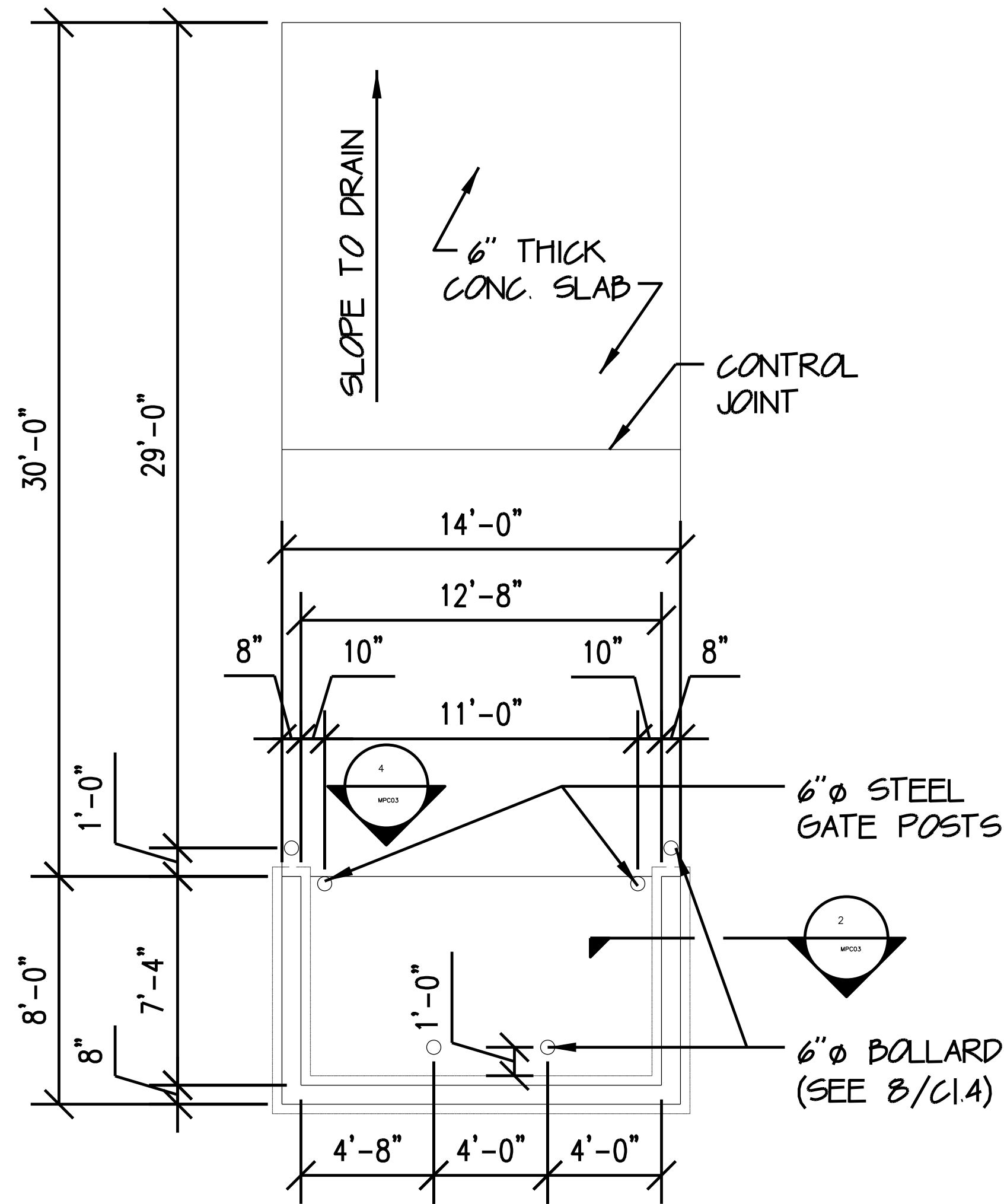
10838/10850 Hardin Valley Road
Knox County, TN

9-A-19-UP9-A-19-TOB

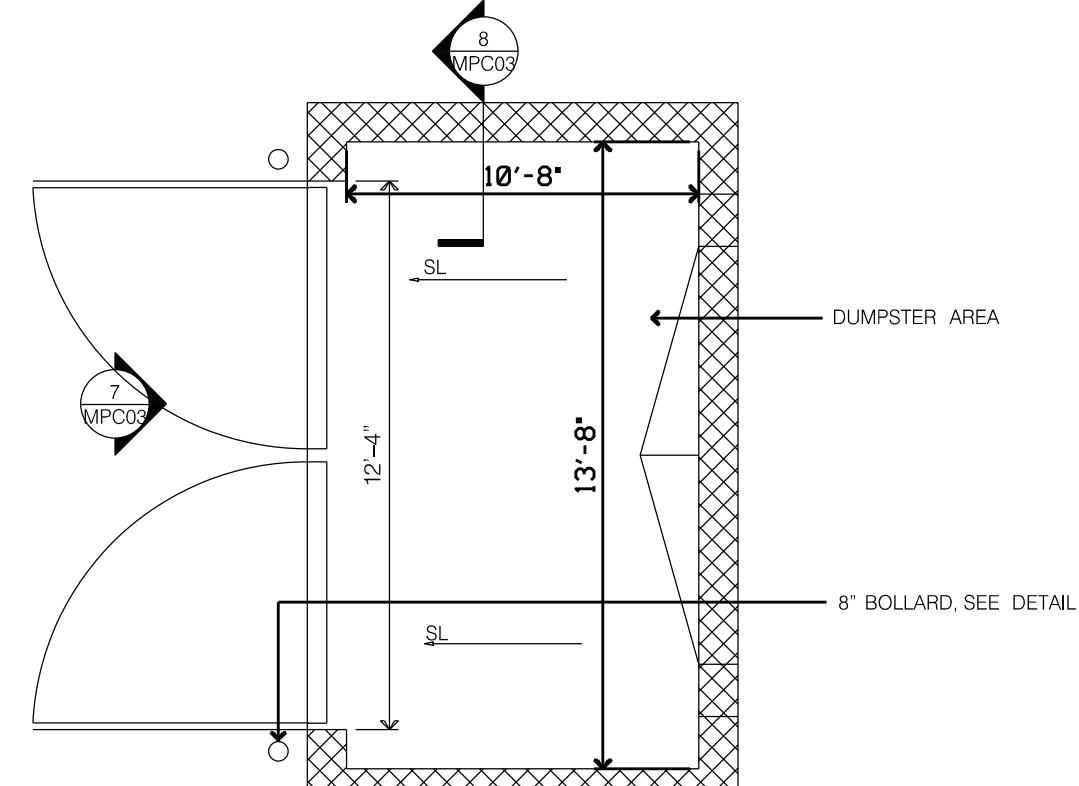
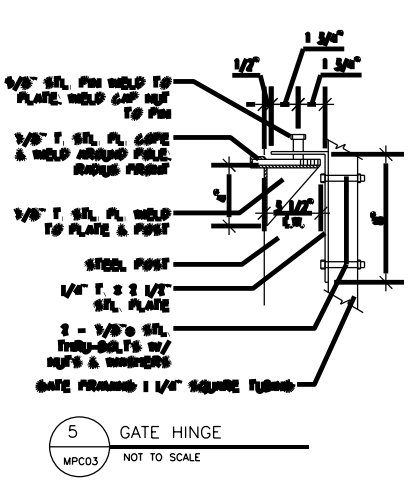
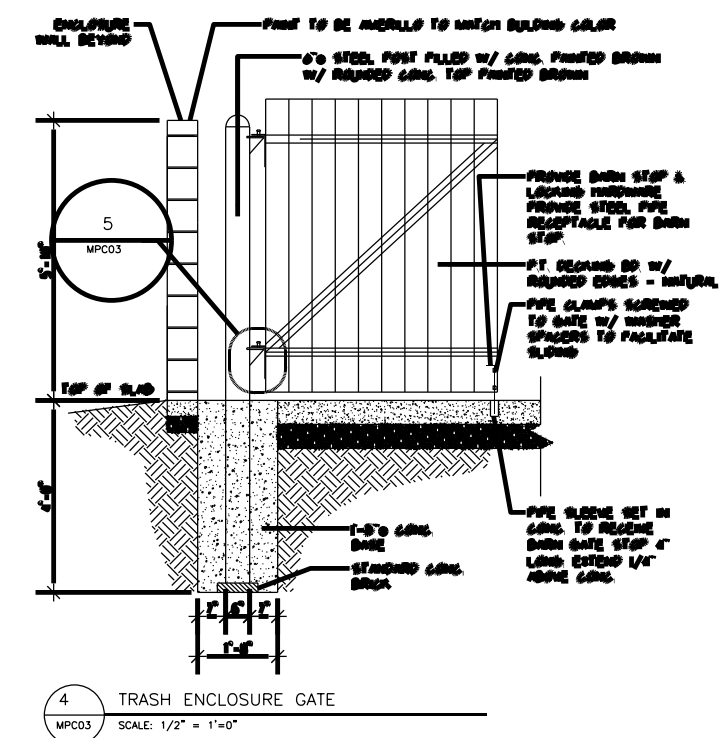
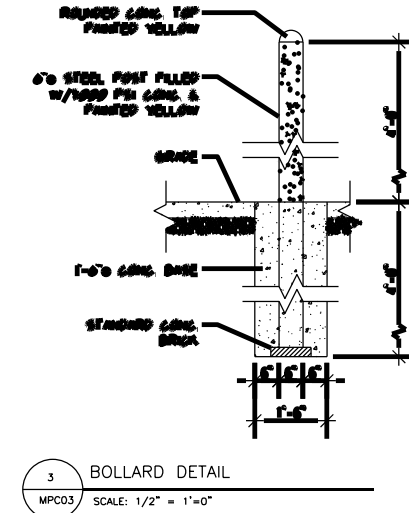
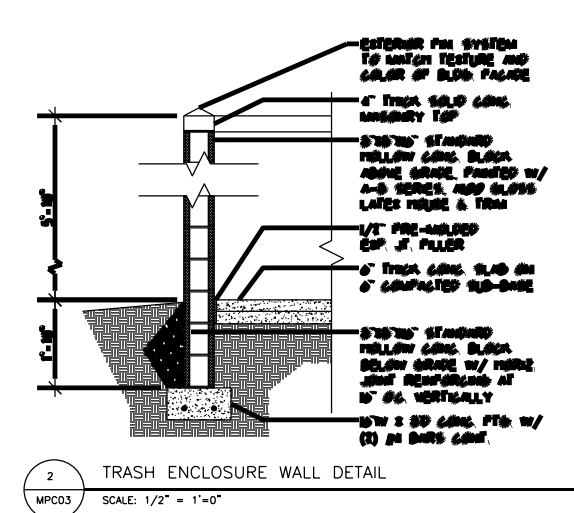
REVISIONS:	
DRAWN:	WNR
CHECKED:	WNR
DATE:	08-27-2019
FILE NAME:	
PROJECT NO:	

MPC01

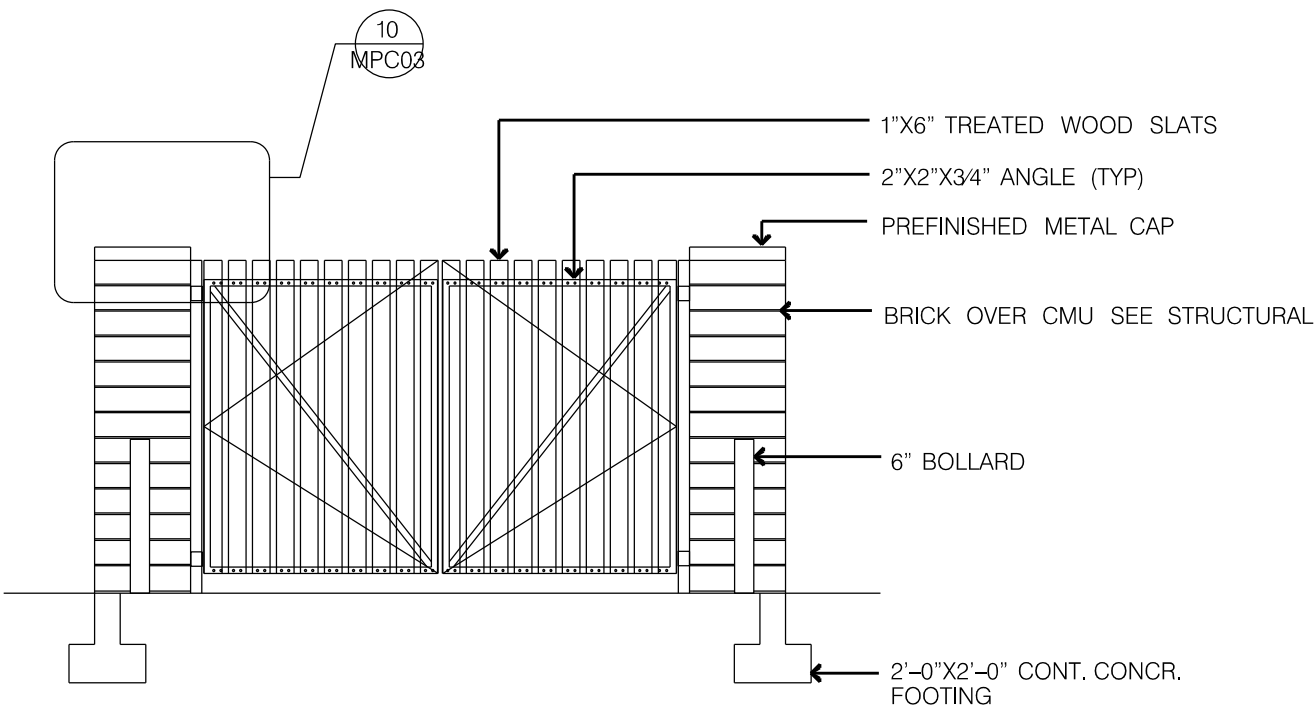
SITE LAYOUT PLAN
DRAWING



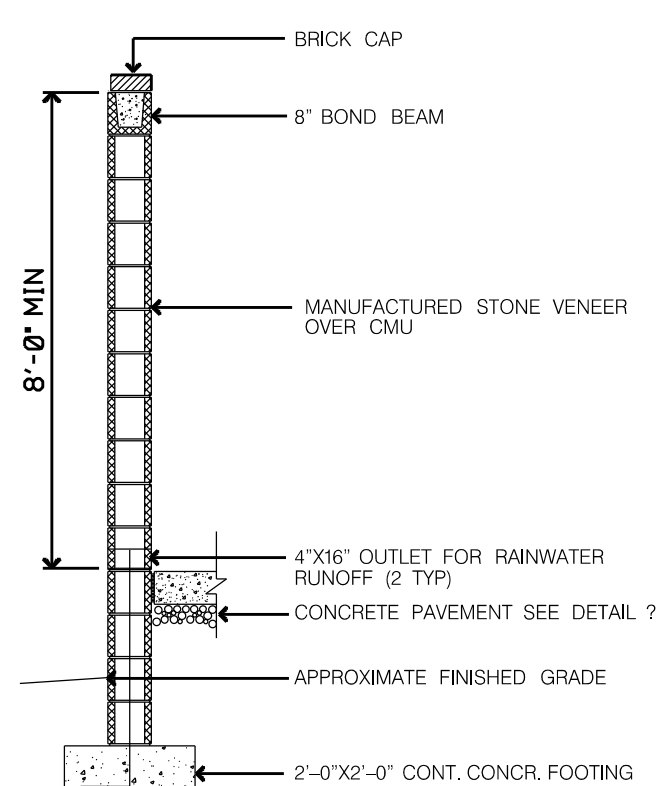
1 TRASH ENCLOSURE PLAN
MPC03 SCALE: 1/8" = 1'-0"



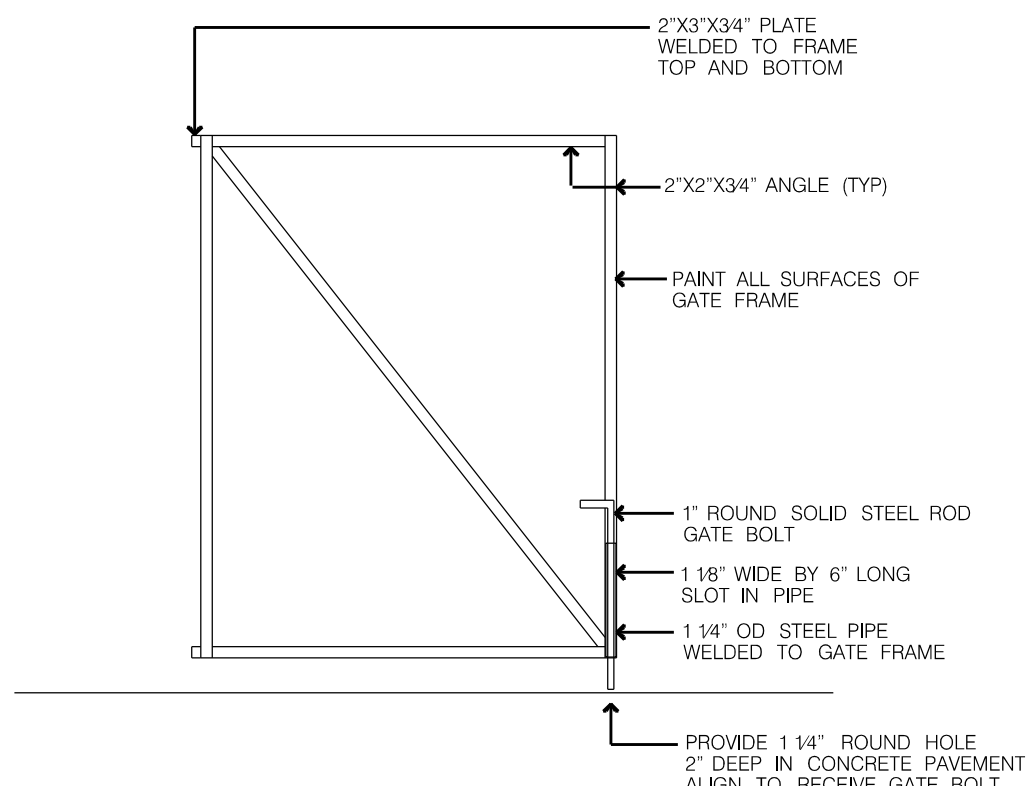
6 DUMPSTER ENCLOSURE PLAN
MPC03 NOT TO SCALE



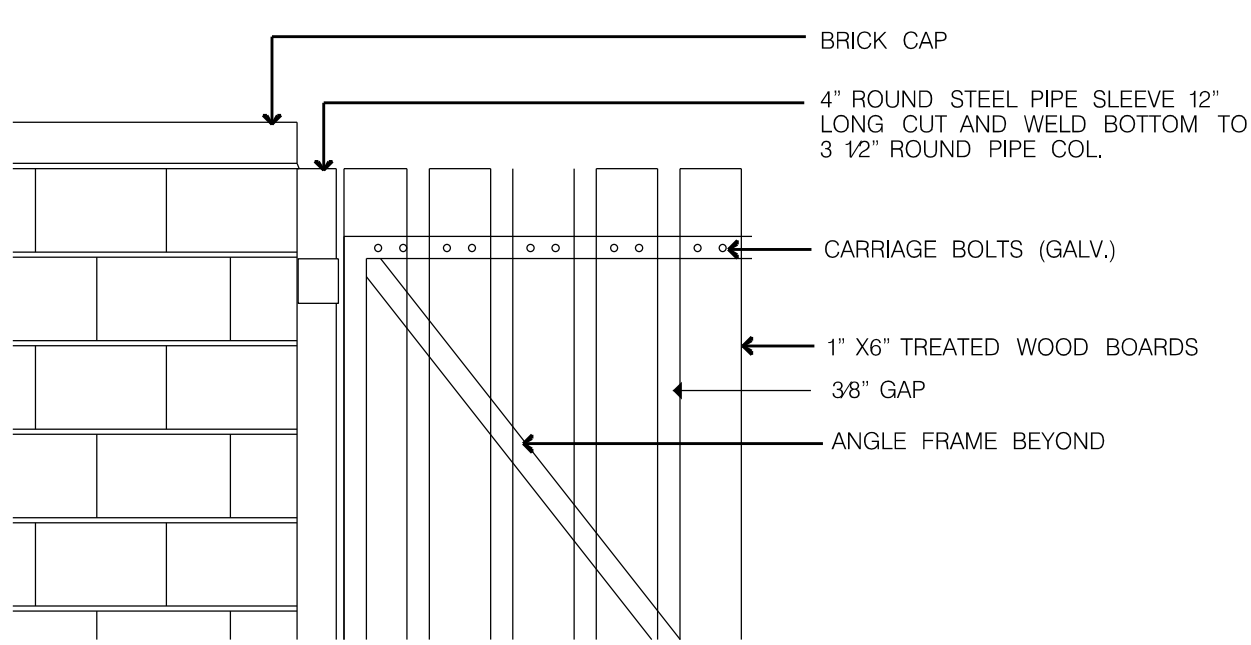
7 DUMPSTER GATE ELEVATION
MPC03 NOT TO SCALE



8 DUMPSTER WALL SECTION
MPC03 NOT TO SCALE



9 GATE FRAMING ELEVATION
MPC03 NOT TO SCALE



10 GATE HINGE ELEVATION
MPC03 NOT TO SCALE

**WILL ROBINSON
& ASSOCIATES**
1248 N. Shoredood Ln
Caryville, TN 37714
(865) 386-4200
wrassociates@bellsouth.net

A New Facility for:
Matlock Tire/Bittle Center
10838/10850 Hardin Valley Road
Knox County, TN
9-A-19-UR9-A-19-TOB

REVISIONS:

DRAWN: WNR
CHECKED: WNR
DATE: 08-27-2019
FILE NAME:
PROJECT NO:

MPC03
SITE DETAILS - 1
DRAWING

9-A-19-UR
Revised: 8/27/2019

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Matlock Tire
10810 Hardin Valley RD.
Knoxville, TN



Date: 07.01.19
Job Number: 19-050
Drawn By: BWS Ck'd By: SHP

Rev	Description	Date
Δ	Updated Site Plan	08.27.19

Sheet Name:

Landscape Plan

Sheet Number:

L100

Plant Key

Key	Botanical Name	Common Name
SHADE TREES		
QP*	Quercus phellos	Willow Oak
UA*	Ulmus americana 'Princeton'	Princeton Elm
EVERGREEN TREES		
IN	Ilex x 'Nellie R. Stevens'	Nellie Stevens Holly
ORNAMENTAL TREES		
LI	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle
SHRUBS		
AR	Abelia x grandiflora 'Rose Creek'	Rose Creek Abelia
JP	Juniperus squamata expansa 'Parsoni'	Parson's Juniper
LC	Loropetalum chinense v. rubrum 'PILC-1'	Crimson Fire Loropetalum
PL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel
PS	Prunus laurocerasus 'Schipkaensis'	Schip Laurel
RM	Rosa 'Mejocos'	Pink Drift Rose
RO	Rosa 'Radrazz'	Knockout Rose
GROUNDCOVERS & PERENNIALS		
HC	Hypericum calycinum	Creeping St. John's Wort
HS	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily
LMV	Liriope muscari 'Variegata'	Variegated Liriope
PAL	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage
ORNAMENTAL GRASSES		
PA	Pennisetum alopecuroides 'Cassian's Choice'	Cassian's Choice Pennisetum
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass

Parking Lot Landscape Requirements (TTCDA)

Stipulation: Mature trees that are preserved within eight (8) feet of the parking area may be used to satisfy up to 50% of the required number of canopy trees.

Total number of trees preserved: 0

Requirement A: Trees shall be required at a rate of one (1) medium or large canopy tree for every ten parking spaces provided. In order to provide year-round greenery, at least 25% of newly planted trees should be evergreen.

Total number of parking spaces: 106

Trees required: 11

Trees provided: 11 (notated on plan with *)

Evergreen trees provided: 3

Requirement B: A roughly equal combination of large, medium and small trees should be planted, with at least 10 large maturing trees per acre of yard space.

Acres of yard space:

Front yard: 9,412 sf

Side Yard: 6,525 sf

Trees Required: 4

Trees provided: 4 (notated on plan with **)

Requirement C: In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.

Total parking surface area: 59,878 sf

Plant bed area required: 2,994 sf

Requirement met, see plan

Building Landscape Requirements

Requirement D: Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery, and bedding plants.

Total building elevation: 16,620 sf

Required plantings: 8,313 sf

Requirement met, see plans.

Note: See Sheet L200 for Planting Notes and Planting Details

All disturbed areas to be seeded.

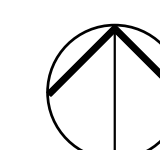
9-A-19-UR

Revised: 8/27/2019

Plan

Scale: 1" = 10'-0"

0 20 40 60

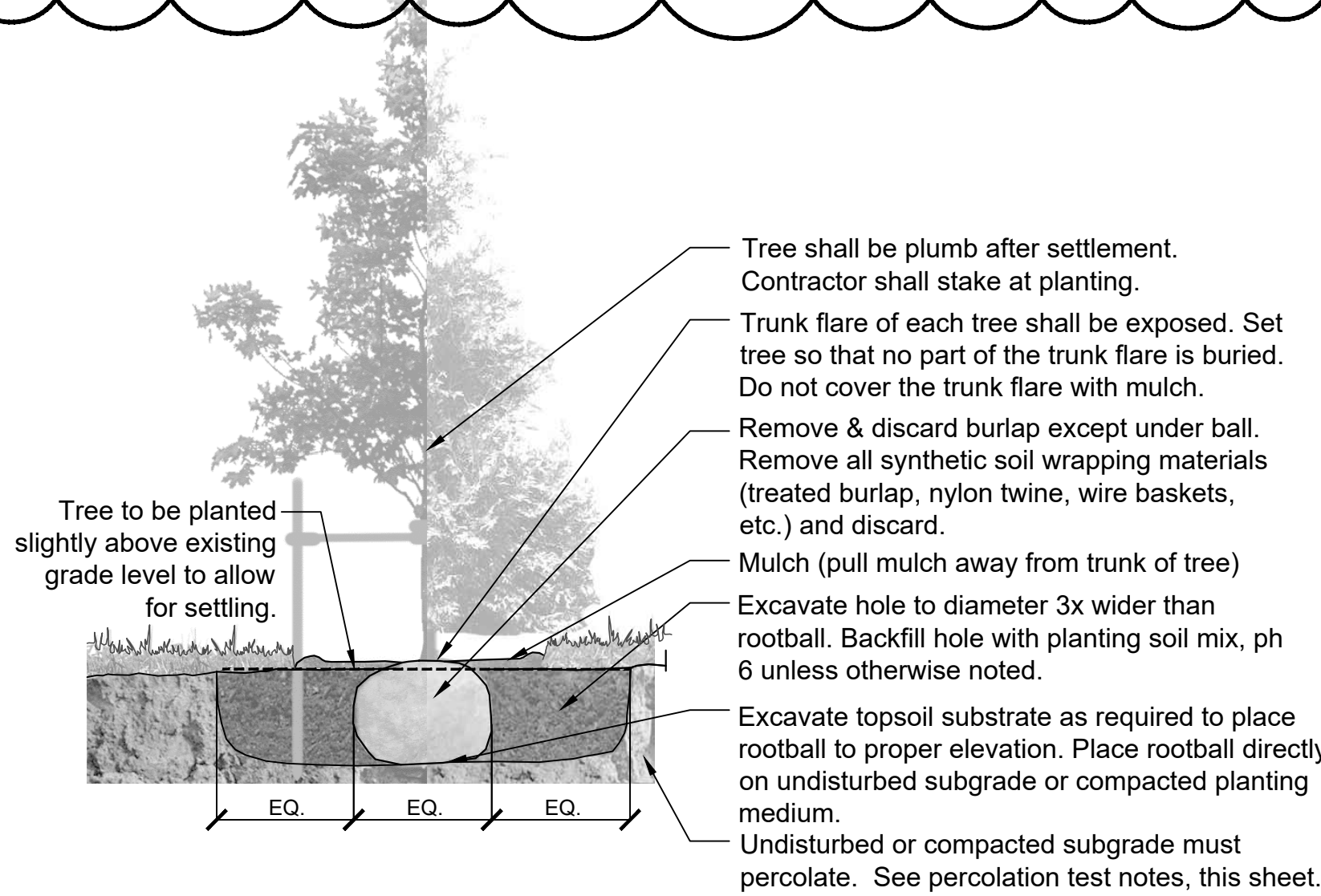


North

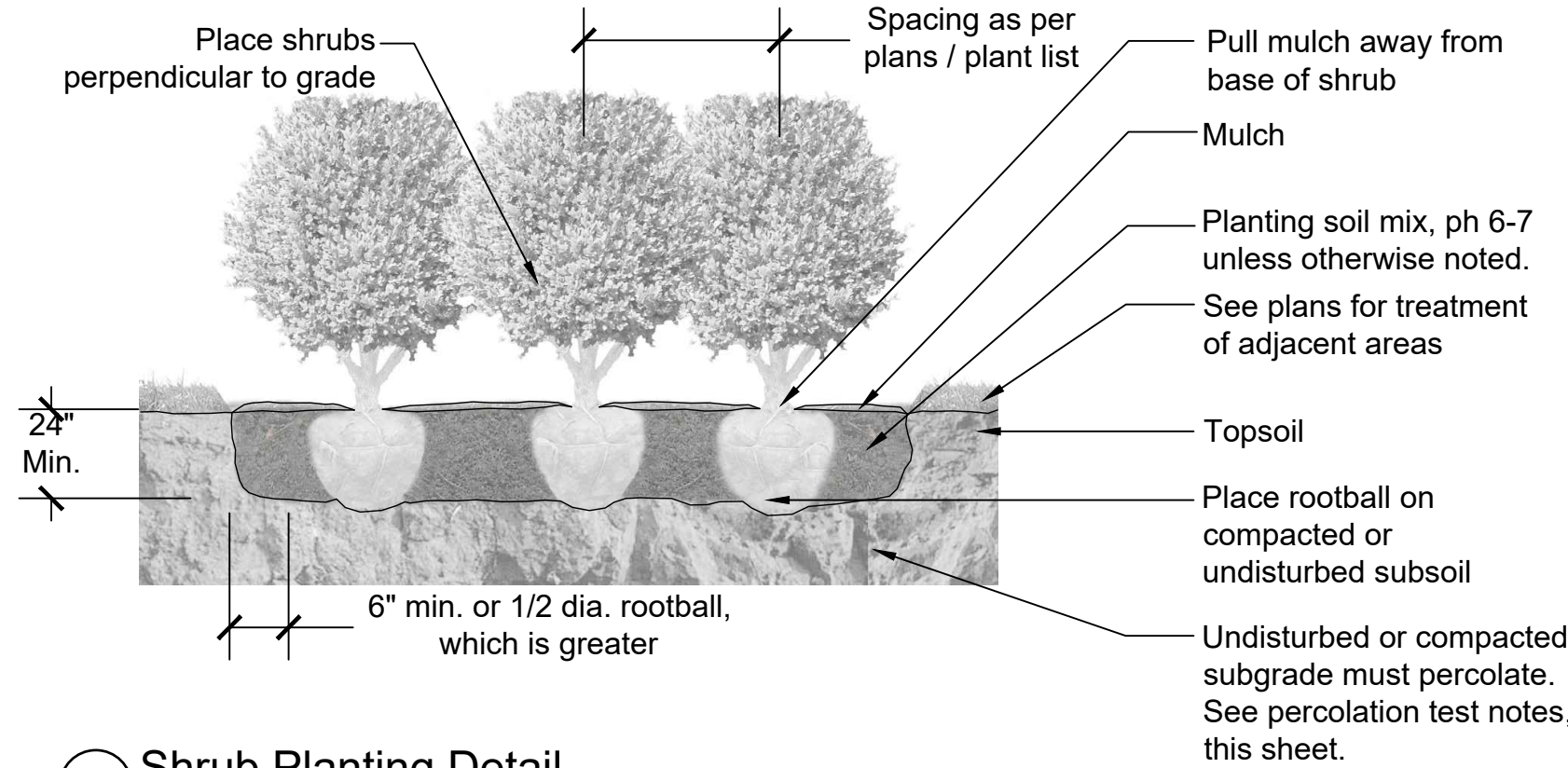
Planting Notes

Key	Quantity	Botanical Name	Common Name	Size	Notes
SHADE TREES					
QP*	5	Quercus phellos	Willow Oak	2" cal.	6' CT -Central leader, full, well branched
UA*	8	Ulmus americana 'Princeton'	Princeton Elm	2" cal.	6' CT -Central leader, full, well and low branched
EVERGREEN TREES					
IN	3	Ilex x 'Nellie R. Stevens'	Nellie Stevens Holly	8' hgt. min.	FTG, open branching
ORNAMENTAL TREES					
LI	8	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	8' hgt. min.	MT, 3 cane min., full & well branched, white flowers
SHRUBS					
AR	125	Abelia x grandiflora 'Rose Creek'	Rose Creek Abelia	3' gal.	3' o.c., full & dense, pink/white flowers
JP	133	Juniperus squamata expansa 'Parsonii'	Parson's Juniper	3 gal. 18" min hgt.	3' o.c., full & dense
LC	107	Loropetalum chinense v. rubrum 'PILLC-I'	Crimson Fire Loropetalum	3 gal.	4' o.c., full & dense, pink flowers
PL	57	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3 gal.	4' o.c., full & dense
PS	16	Prunus laurocerasus 'Schipkaensis'	Schip Laurel	36" hgt. min.	5' o.c., full & dense
RM	17	Rosa 'Meijococ'	Pink Drift Rose	3 gal.	3' o.c., full & dense, pink flowers
RO	26	Rosa 'Radrazz'	Knockout Rose	3 gal.	4' o.c., full & dense, red flowers
GROUNDCOVERS & PERENNIALS					
HC	333	Hypericum calycinum	Creeping St. John's Wort	1gal.	18" o.c., full & dense, yellow flowers
HS	66	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.	24" o.c., full & dense, yellow flowers
LMV	1,400	Liriope muscari 'Variegata'	Variegated Liriope	1 gal.	18" o.c., full & dense
PAL	63	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal.	30" o.c., full & dense, blue flowers
ORNAMENTAL GRASSES					
PA	44	Pennisetum alopecuroides 'Cassian's Choice'	Cassian's Choice Pennisetum	1 gal.	3' o.c., full & dense
PVS	73	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 gal.	30" o.c., full & dense
SEED					
SEED	10,000	Festuca arundinacea	Turf-type Tall Fescue	sf	SF is approximate, contractor to verify in field
HARDSCAPE					
RR	420	River Rock		2-3"	3-4" Depth

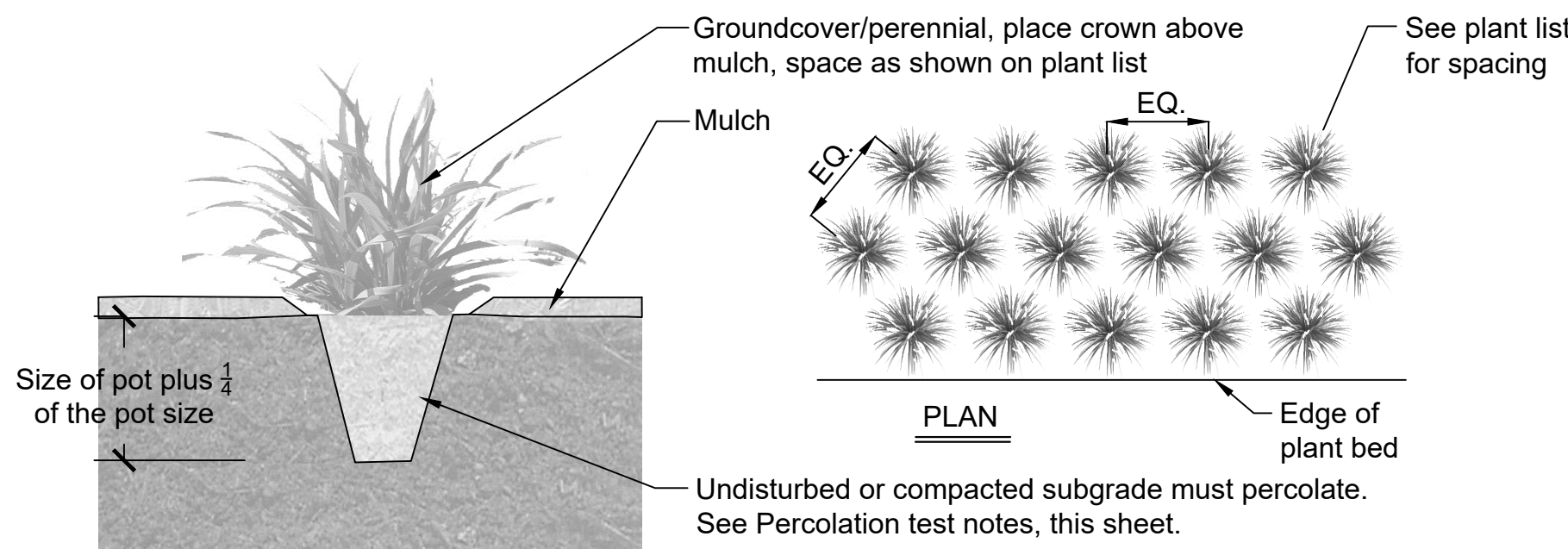
* Contractor to provide quantity for mulch.
* Trees with * to reach 40' minimum at maturity.



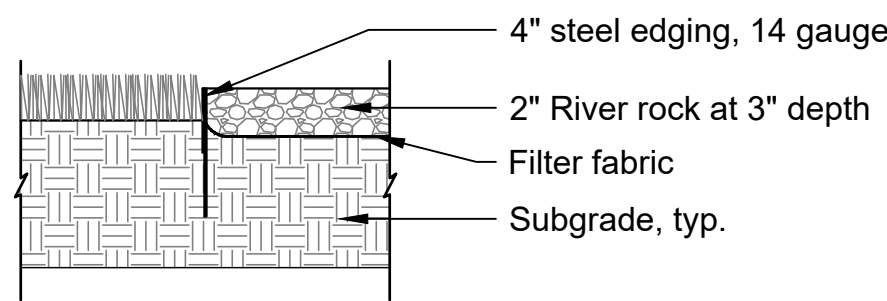
1 Tree Planting Detail
Scale: NTS



2 Shrub Planting Detail
Scale: NTS



3 Groundcover/Perennial Planting Detail
Scale: NTS



- Notes:
- 1) Top of river rock to be flush with curb
 - 2) Top of metal edging to be flush with top of river rock

5 Steel Edge & River Rock
Scale: NTS



River Rock
-By: Local Source
-Size: 2"
-Depth: 3"
-Color: Browns and Greys
-Quantity: 420 SF

All river rock shall come from the same local source and be washed before being brought on site



Steel Edging
-By: COL-MET or Equal
-Size: 4"
-Gauge: 14
-Color: Brown
-Quantity: 280 LF

www.colmet.com
800-829-8225

Planting Notes

1. Contractor shall verify all existing conditions in the field and report any discrepancies to the Owner's Representative prior to starting work.
2. No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling instructions.
3. No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.
4. All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner's Representative.
5. Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
6. No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting detail.
7. All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
8. The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Owner's Representative.
9. Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Landscape Architect prior to any changes.
10. All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and seeded.
11. Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls; prepare perennial beds with a minimum of 12" planting loam; prepare groundcover beds with a minimum of 6" planting loam.
12. All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
13. Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet.
14. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Owner's Representative.
15. All areas to be seeded shall receive soil preparation as specified prior to seeding or sodding, unless otherwise noted on plan.
16. Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
17. Contractor to complete work within schedule established by Owner.
18. Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative. Application of insecticides/herbicides must be approved by the Owner's Representative prior to use on site.
19. See civil drawings for further information regarding:
 - Erosion and sediment control.
 - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
 - Limits of construction.
 - Locations of existing and proposed utilities or easements.
20. Plant beds to join walks or walls at an angle between 90° & 60°.
21. Shade trees to be planted a minimum of 5' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
22. Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3' around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
23. Square footage of seed quantities is approximate and is an estimate of the disturbed areas. Contractor to verify quantities prior to purchase and installation.

Instructions For Existing Soil Sampling:

1. Using a spade, dig a v-shape hole to a 6" depth; then cut a thin slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be ziploc bags that are labeled with the project name and sample number.
2. A well mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
3. Mark the plan to show soil sample locations.
4. Send samples to A & L Analytical Labs, Inc., 2790 Whitten Road, Memphis, Tennessee 38133, 800-264-4522, www.al-labs.com.
5. Results to be copied to the Owner.

Percolation Test Notes

1. Dig a hole 18- 24" deep & a minimum of 6" wide.
2. Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet over night and test the following day.
3. Refill hole to within a couple inches of the top.
4. To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark soil on side of hole with nail or stick.
5. Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
6. Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.



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Matlock Tire
10810 Hardin Valley RD.
Knoxville, TN



Date: 07.01.19
Job Number: 19-050
Drawn By: BWS CK'd By: SHP

Rev	Description	Date
1	Updated Site Plan	08.27.19

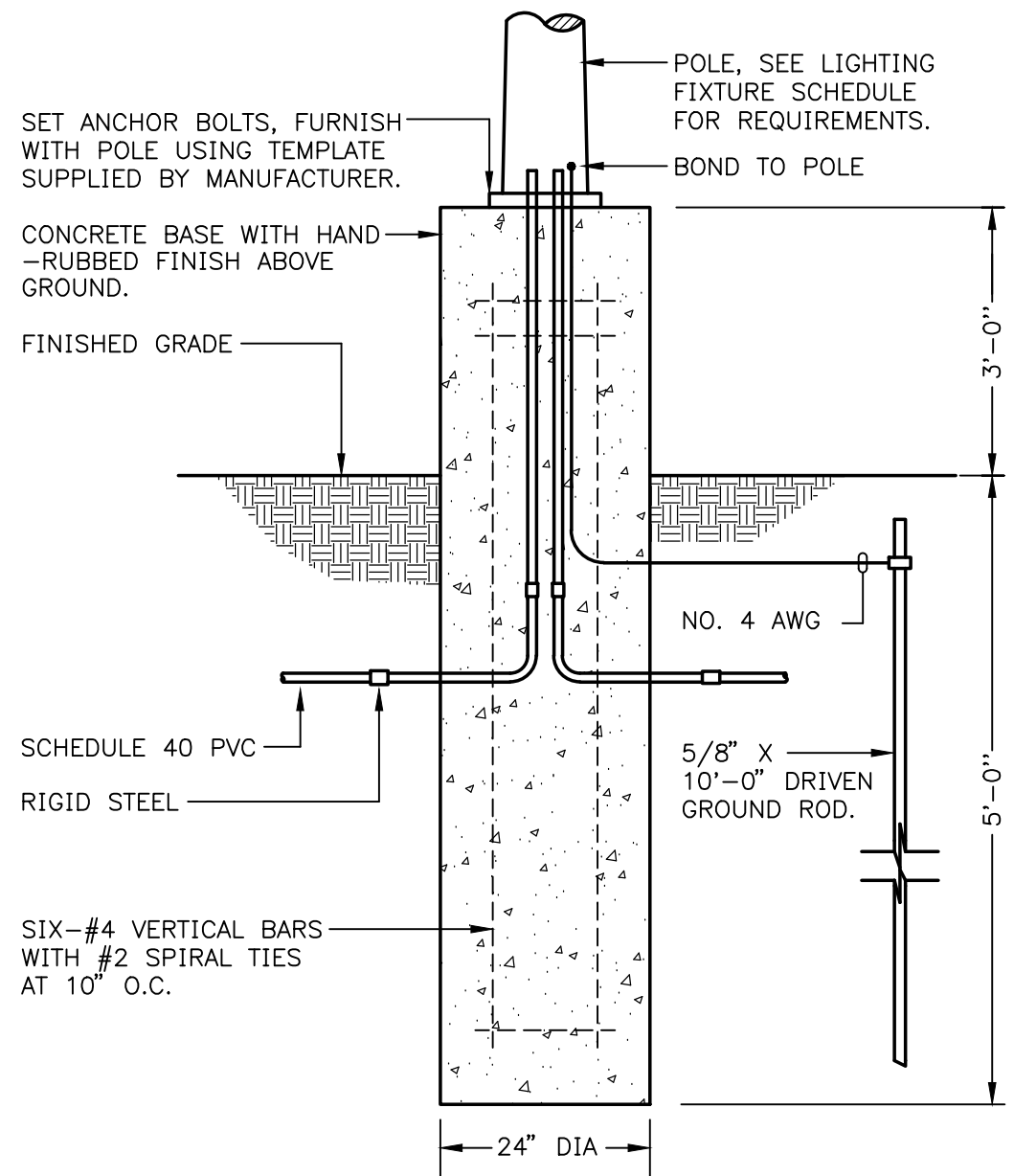
Sheet Name:

Plant Schedule,
Notes, & Details

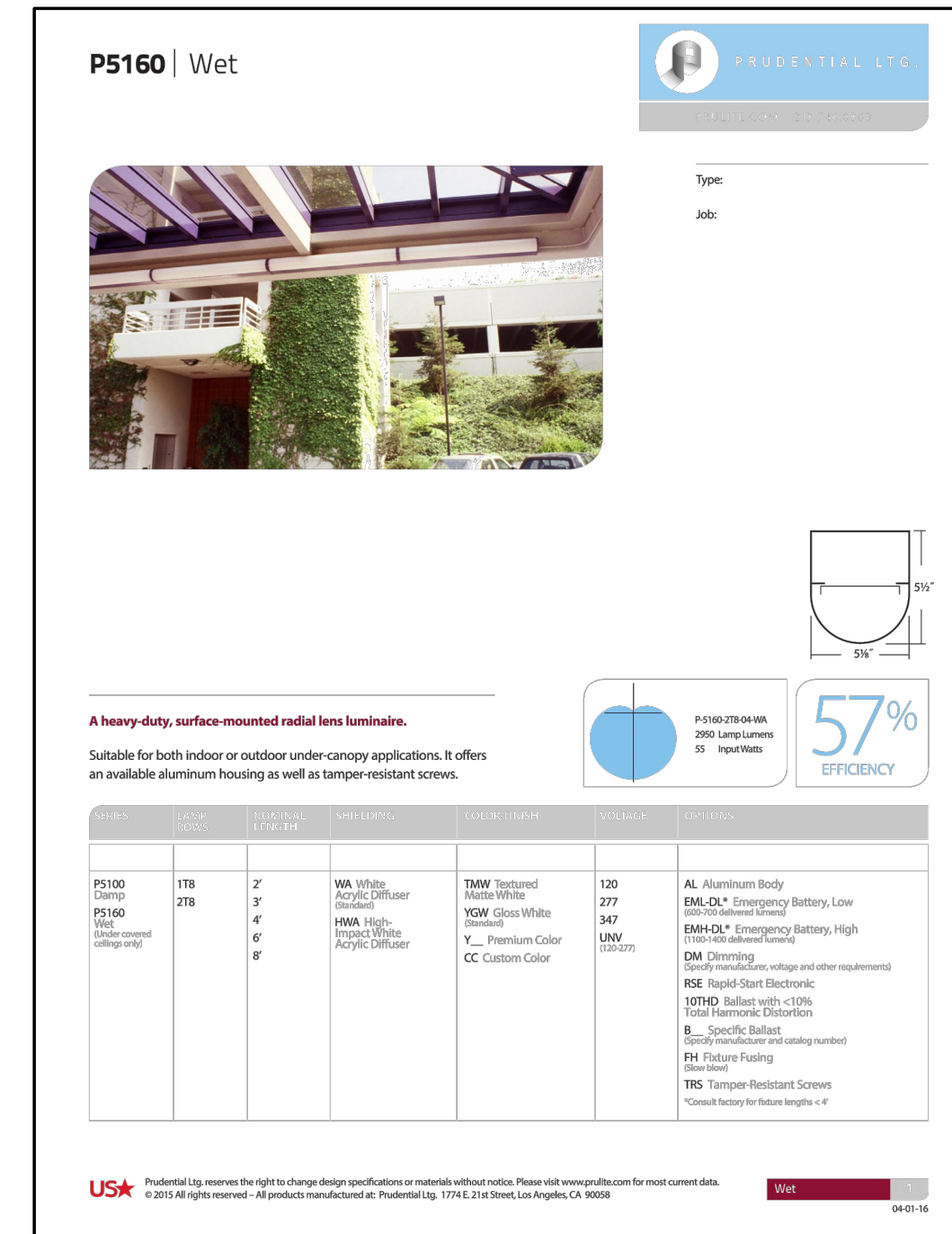
Sheet Number:

L200

SITE LIGHTING FIXTURE SCHEDULE															
LAMPS					POLE DESCRIPTION: MATERIAL, SHAPE,			DESCRIPTION: SHIELDING, TYPE MATERIALS, FINISH, MOUNTING	MANUFACTURER'S PRODUCT ITEM	REMARKS					
DESIGNATION	METAL HALIDE	HIGH PRESS. SODIUM	LED	QUANTITY	WATTS	ALUMINUM	STEEL				ROUND	SQUARE	HEIGHT ABOVE FINISHED GRADE		
S A			•	1	134	•	•			30 FT	L.E.D., POLE ARM MOUNTED, TYPE 4 DISTRIBUTION, FULL CUT-OFF, HOUSE-SIDE SHIELD, 4000K	LITHONIA	RSA 27 6G 4 DM19 DDB	CSX1 LED 60C 700 40K T4M HS	DARK BRONZE FINISH
S B			•	2	134	•	•			30 FT	L.E.D., POLE ARM MOUNTED, TYPE 4 DISTRIBUTION, FULL CUT-OFF, 4000K, TWO FIXTURES AT 180°	LITHONIA	RSA 27 6G 4 DM28 DDB	CSX1 LED 60C 700 40K T4M HS	DARK BRONZE FINISH
S C			•	1	14					14 FT	L.E.D., WALL MOUNTED, 1,349 LUMENS, FULL CUT-OFF, 4000K, BATTERY BACKUP EGRESS LIGHTING	LITHONIA		DSXW1LED 10C 350 40K T2M ELCW	DARK BRONZE FINISH
S D			•	1	51					9 FT	WALL MOUNTED, LINEAR, 6-FT., WET LOCATION LISTED, BATTERY BACKUP EGRESS LIGHTING	PRUDENTIAL		P5160 128 06' HWA 120 EM-DL	VERIFY FINISH W/ ARCHITECT



POLE BASE DETAIL
NO SCALE



Vreeland Engineers Inc.



3107 Sutherland Ave.
P.O. Box 10648
Knoxville, TN 37939
865-637-4451
1-800-362-9789
vreelandengineers.com

131 Brentwood Dr
Oak Ridge, TN 37830
(865) 386-4200



DRAWN: VEI
CHECKED: CNL
DATE: 06-28-2019
FILE NAME:
PROJECT NO:

SITE ILLUMINATION PLAN, DETAILS

9-A-19-UR
Revised: 8/27/2019

PAINTING AND STAINING NOTES

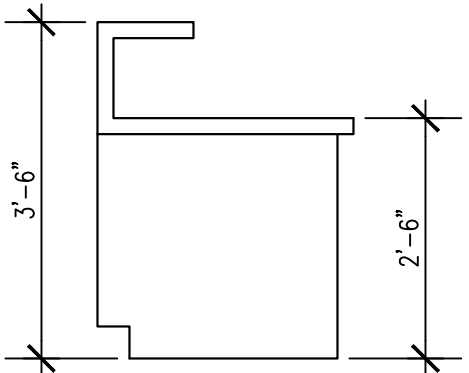
- 1 - ALL PAINTING AND STAINING SHALL BE PERFORMED BY QUALIFIED JOURNEYMEN AND SHALL BE FREE OF ANY BUBBLES AND DEBRIS.
- 2 - ALL PAINTING SHALL BE A 3 COAT PROCESS WITH A PRIMER COAT AND 2 FINISH COATS. PAINT TO BE SHERWIN WILLIAMS PROMAR SERIES.
- 3 - ALL STAINING SHALL BE A 3 COAT PROCESS WITH EACH COAT SANDED PRIOR TO THE APPLICATION OF THE NEXT COAT.
- 4 - ALL WALLS AND CEILINGS ARE TO RECEIVE FLAT PAINT WITH ALL DOORS AND TRIM TO RECEIVE A SEMI GLOSS LATEX ENAMEL.
- 5 - ALL SURFACES SHALL BE REASONABLY FREE OF BRUSH MARKS AND ORANGE PEEL.
- 6 - ALL COLORS WILL BE CHOSEN BY THE OWNER. SAMPLES OF STAIN COLORS ON THE PROPER WOOD WILL BE REQUIRED.
- 7 - ARCHITECT RESERVES THE RIGHT TO REQUEST A SAMPLE WALL BE PAINTED TO SHOW COLOR CHOICES.

GYPSUM BOARD NOTES

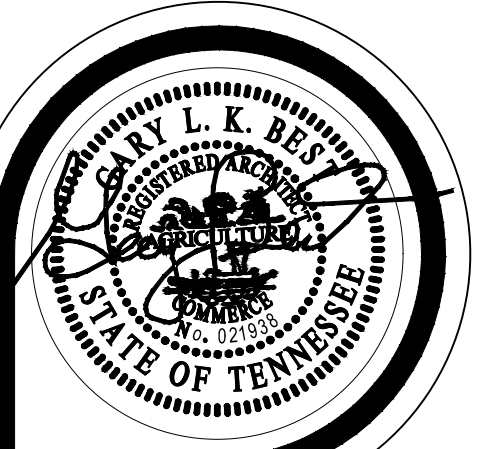
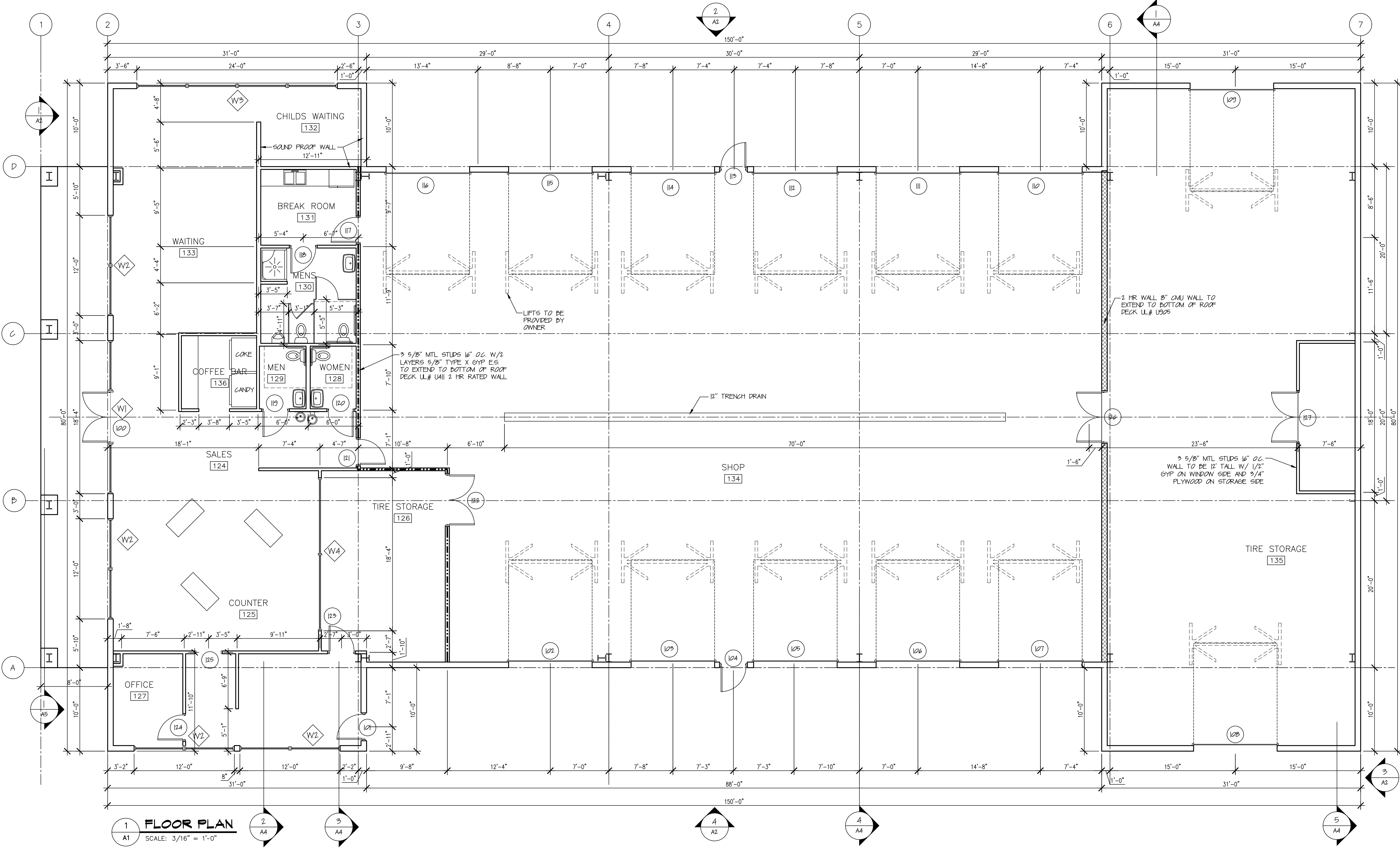
- 1 - ALL GYPSUM TO BE INSTALLED BY QUALIFIED JOURNEYMEN AND INSTALLED TO MANUFACTURER SPECIFICATIONS.
- 2 - ALL HIGH TRAFFIC AREAS TO RECEIVE GOLD BOND FIRE-SHIELD HI-IMPACT WALL BOARD PANELS OR EQUAL (SEE PLANS FOR THICKNESS).
- 3 - ALL OTHER AREAS ARE TO RECEIVE GOLD BOND FIRE SHIELD (SEE PLANS FOR THICKNESS REQUIRED).
- 4 - ALL BATHROOMS AND RESTROOMS TO RECEIVE MOISTURE RESISTANT GYP.
- 5 - ALL EXTERIOR GYP SHEATHING IS TO BE DENS-GLASS GOLD SHEATHING BY G-P GYPSUM CORP. OR EQUAL.
- 6 - ALL GYP. PRODUCTS MUST MEET ASTM C36 STANDARDS.
- 7 - ALL ACCESSORY PIECES SHALL BE MANUFACTURE BY UNITED STATES GYPSUM COMPANY OR EQUAL.

TOILET ENCLOSURE NOTES

- 1 - ALL TOILET ENCLOSURES TO BE METPAR TYPE FP-500 BAKED ENAMEL OVERHEAD BRACED.
- 2 - MATERIAL TO BE BONDERIZED, GALVANIZED STEEL.
- 3 - DOORS ARE TO BE 22 GAUGE, FINISHED TO 1".
- 4 - PANELS ARE TO BE 20 GAUGE, FINISHED TO 1".
- 5 - PLASTERS ARE TO BE 20 GAUGE FINISHED TO 1 1/4".
- 6 - FITTINGS ARE TO BE ANODIZED ALUM. 125" WALL THICKNESS.
- 7 - HARDWARE: EACH COMPARTMENT TO HAVE DOOR HINGES, LATCH, STOP AND KEEPER, COAT HOOK, AS WELL AS ALL FITTINGS AND FASTENINGS FOR A COMPLETE INSTALLATION.
- 8 - FINISH ALL RUST INHIBITIVE COATED MATERIAL SHALL BE CHEMICALLY CLEANED AND PAINTED WITH MULTIPLE COATS OF HIGH SOLID ENAMEL AND APPLIED ELECTROSTATICALLY.
- 9 - COLOR TO BE CHOSEN BY OWNER.



2 COUNTER DETAIL
A1 SCALE: 1/2" = 1'-0"



Best & Associates Architects

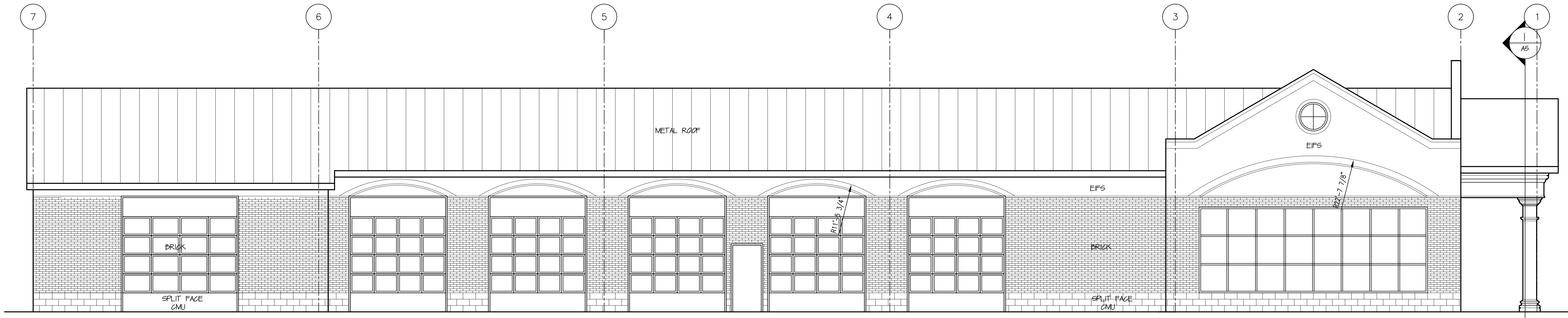
1726 W LAMAR ALEX PKY, MARYVILLE, TN 37801
PHONE 865-977-1600 FAX 865-981-1678

MATLOCK TIRE
HARDIN VALLEY
KNOX COUNTY, TN

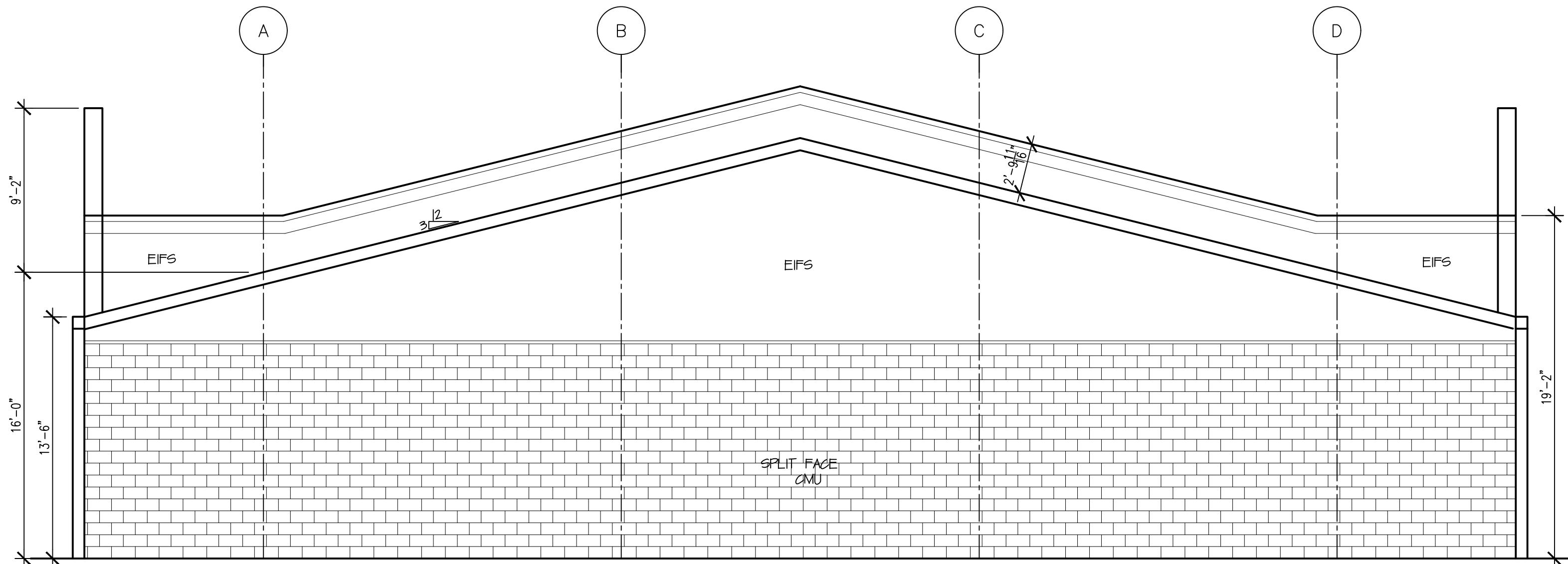
REVISIONS	
DRAWN BY ZF	
CHECKED BY GP	
DATE 8/19/19	
SCALE 3/16"=1'-0"	
DESCRIPTION	

FLOOR PLAN

SHEET
A1
OF



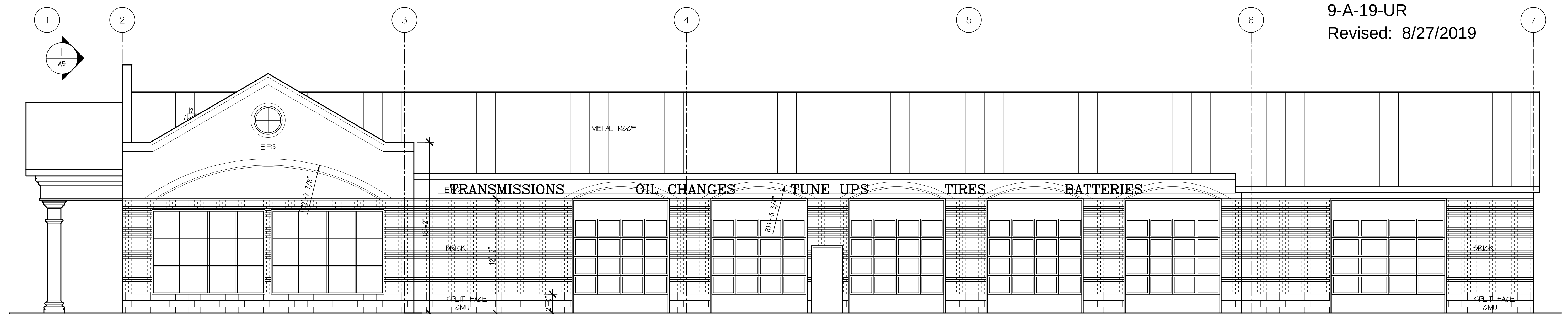
4 **LEFT ELEVATION**
A2 SCALE: 3/16" = 1'-0"



3 **REAR ELEVATION**
A2 SCALE: 3/16" = 1'-0"

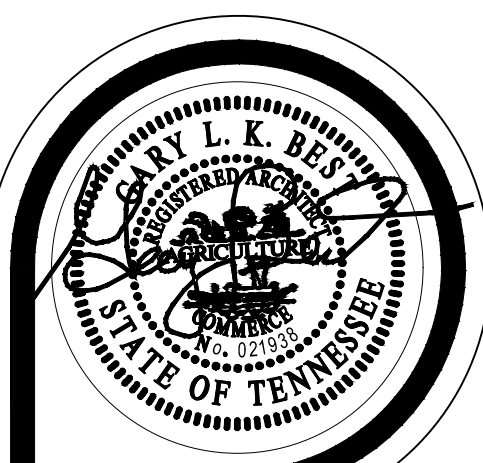


2 **FRONT ELEVATION**
A2 SCALE: 3/16" = 1'-0"



1 **RIGHT ELEVATION**
A2 SCALE: 3/16" = 1'-0"

9-A-19-UR
Revised: 8/27/2019



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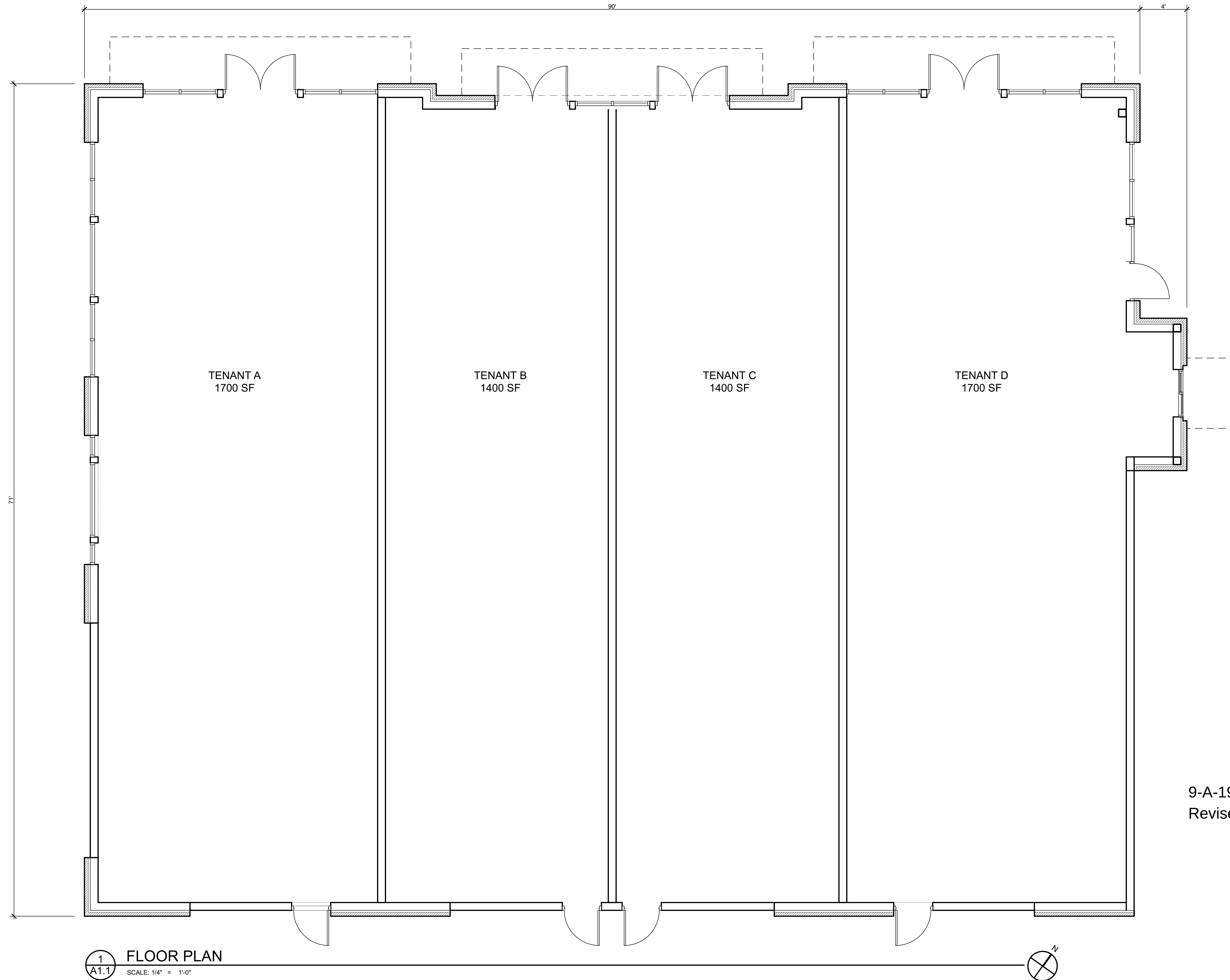
1726 W LAMAR ALEX PKY, MARYVILLE, TN 37801
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MATLOCK TIRE
HARDIN VALLEY,
KNOX COUNTY, TN

REVISIONS	
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ELEVATIONS





1 FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"



**GEORGE
ARMOUR
EWART
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404 Bearden Park Circle
Knoxville, TN 37919
865.602.7771
Fax 865.602.7742
www.georgeewart.com

Bittle Retail
KNOX COUNTY, TENNESSEE



FOR TTDC REVIEW ONLY

**FLOOR PLAN -
RESTAURANT/RETAIL BLDG.**

9-A-19-UR
Revised: 8/27/2019

DATE: 27 AUG 2019
PROJECT NO.: 19100
PROJECT MGR.: RMH

A1.1



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KNOX COUNTY, TN

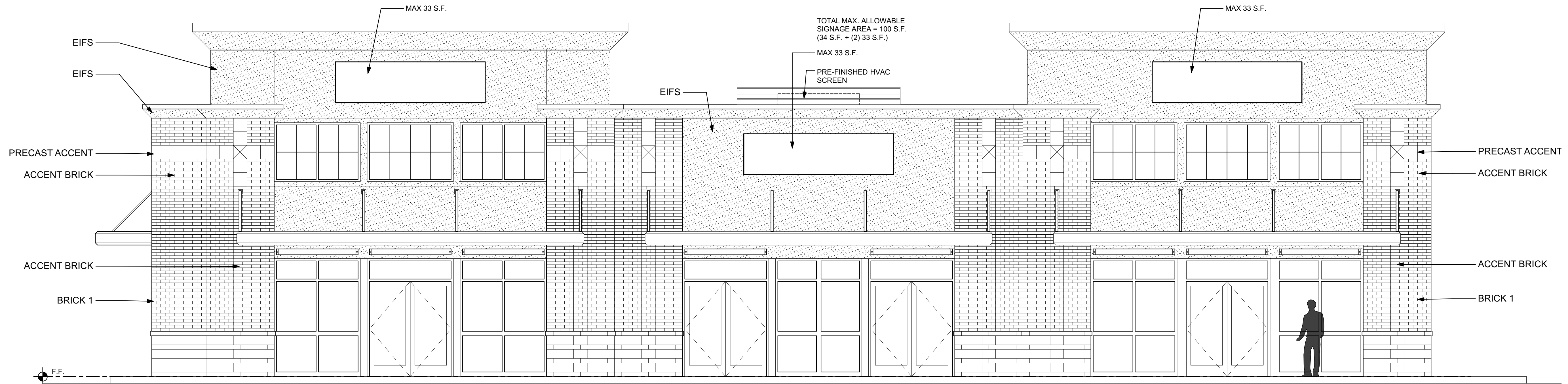


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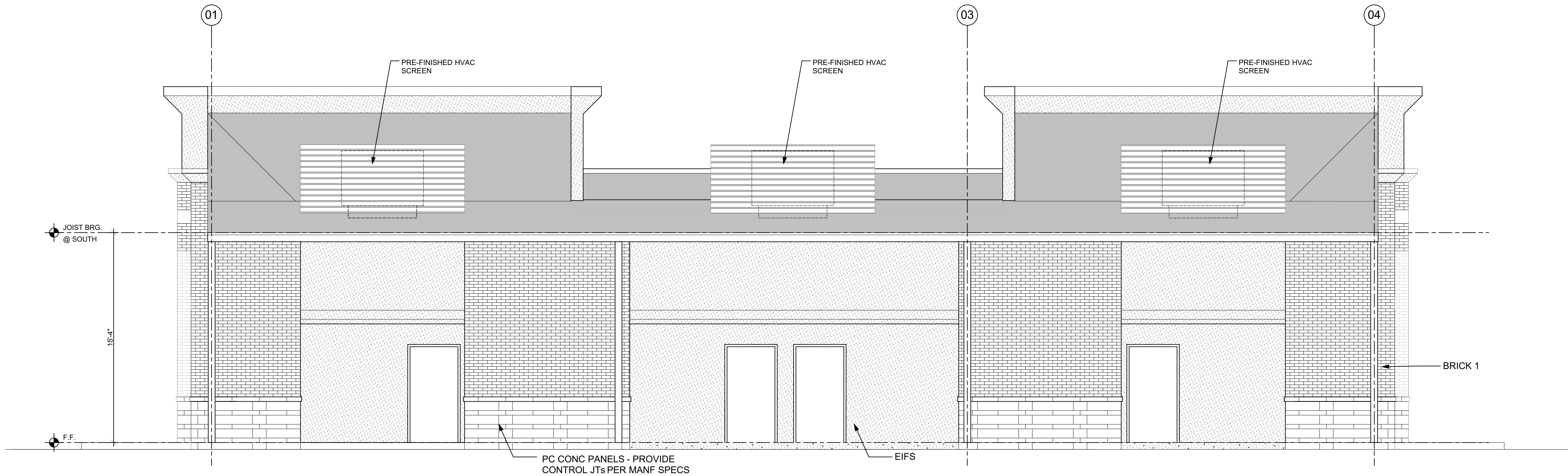
EXTERIOR ELEVATIONS

DATE: 27 AUG 2019
PROJECT NO.: 19100
PROJECT MGR.: RMH

A4.1



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

9-A-19-UR
Revised: 8/27/2019



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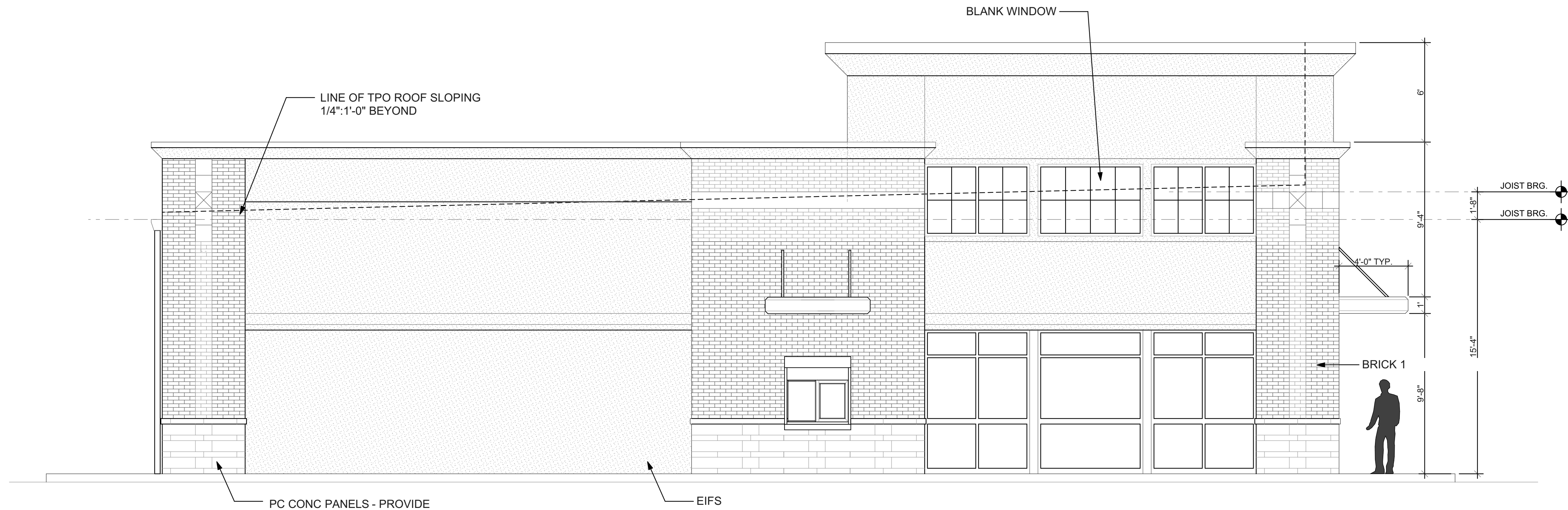


FOR TTDC REVIEW ONLY

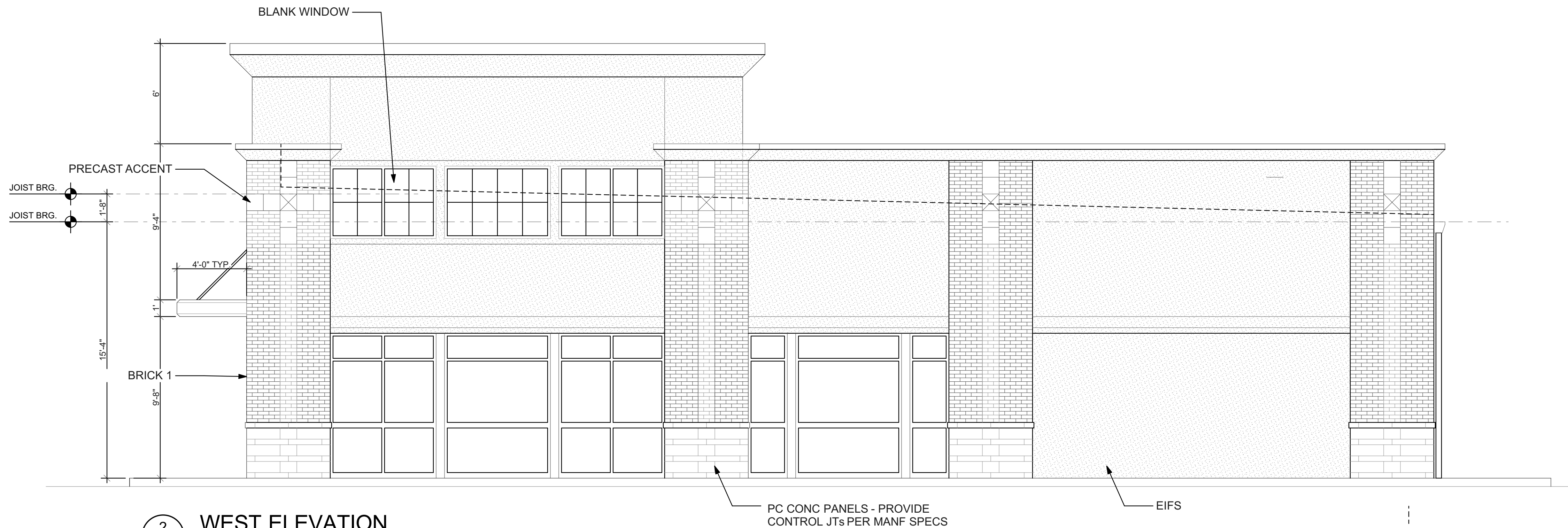
EXTERIOR ELEVATIONS

DATE: 27 AUG 2019
PROJECT NO.: 19100
PROJECT MGR.: RMH

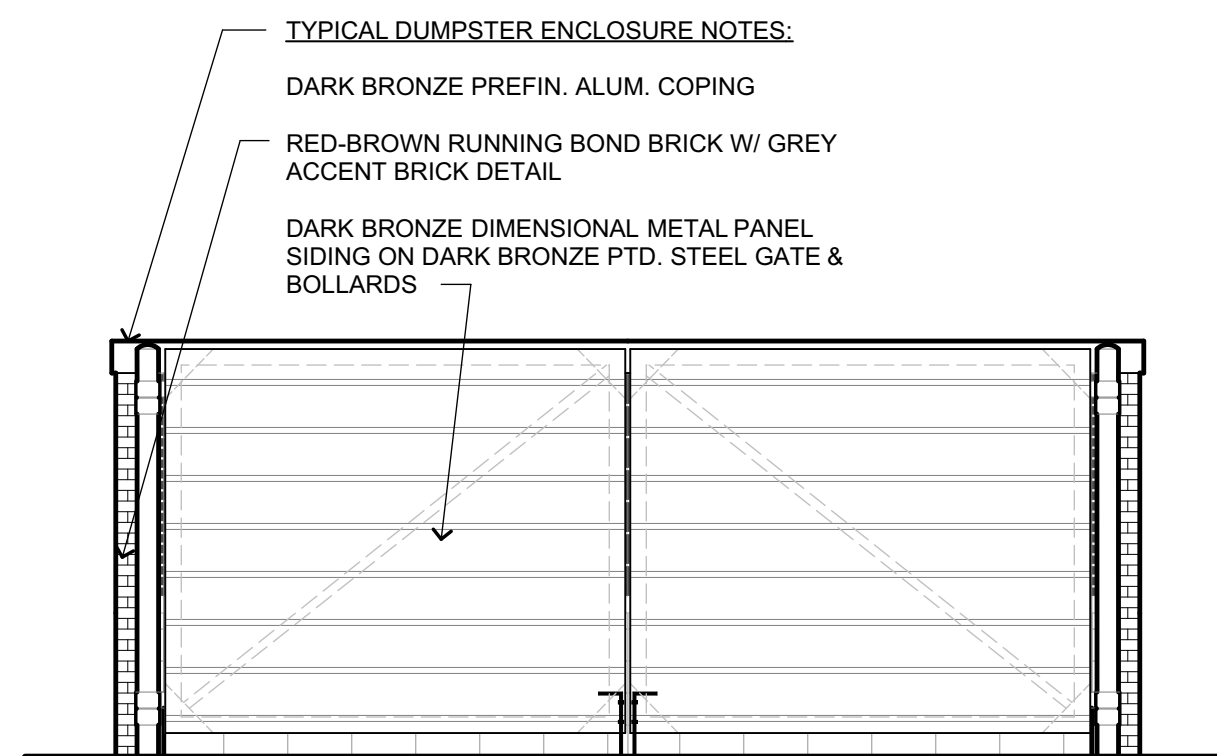
A4.2



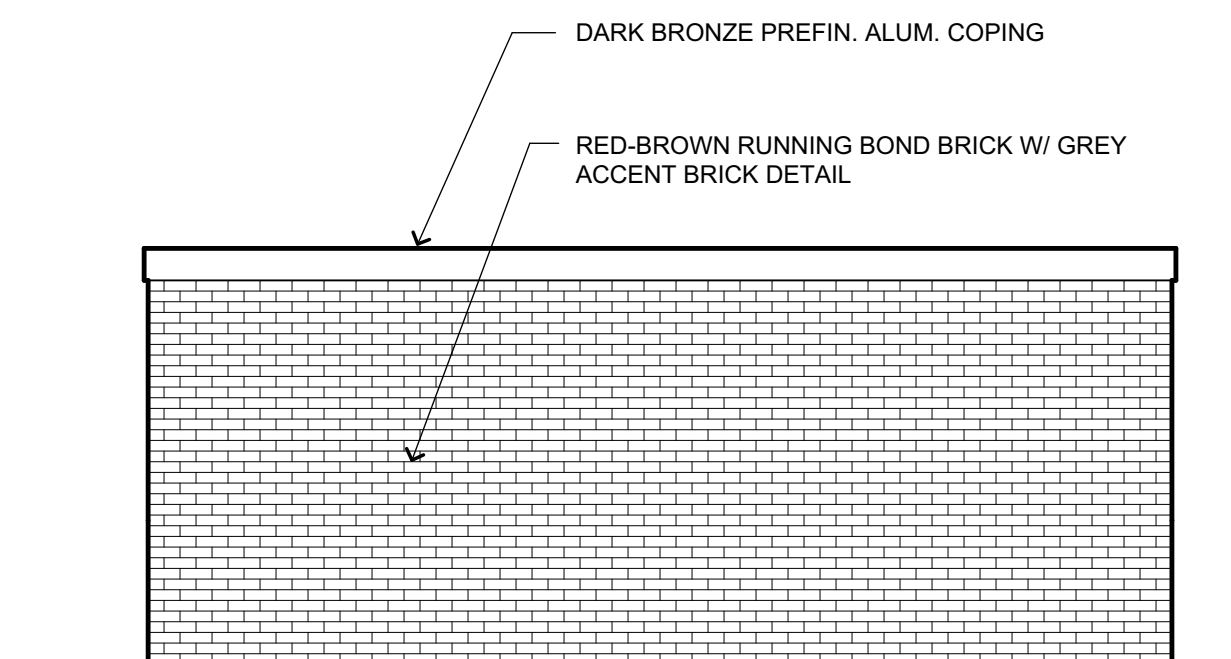
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



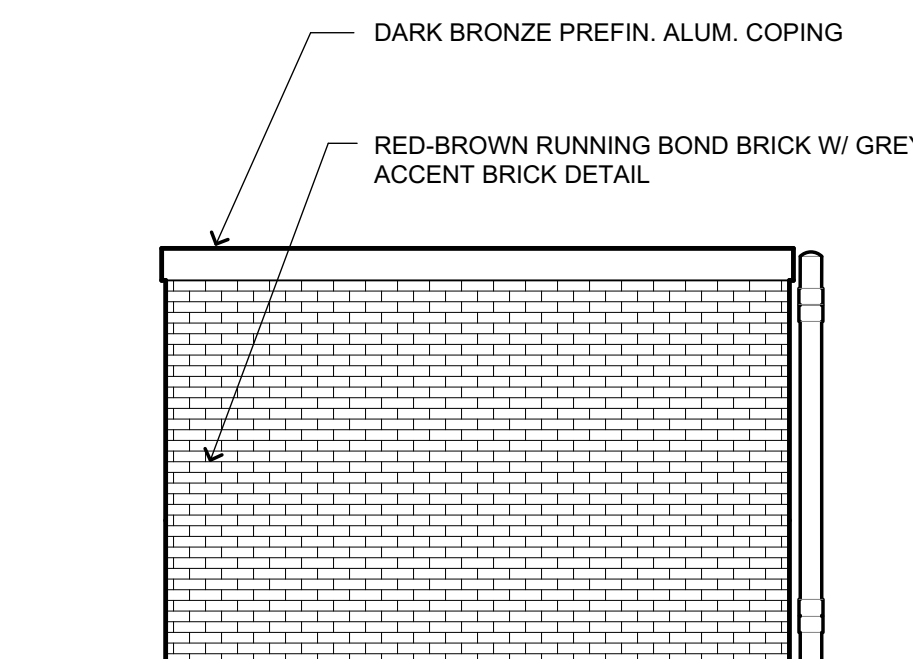
2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 DUMPSTER ENCLOSURE - FRONT
SCALE: 1/4" = 1'-0"



4 DUMPSTER ENCLOSURE - BACK
SCALE: 1/4" = 1'-0"



DUMPSTER ENCLOSURE - SIDES, TYP.
SCALE: 1/4" = 1'-0"

9-A-19-UR
Revised: 8/27/2019