

- TOP OF MS TOWER
64' - 3 1/4"
- TOP OF SL TOWER
64' - 0 3/4"
- SL SIDE TOWER
52' - 5 1/8"
- MS SIDE TOWER
50' - 2"
- TOP OF PARAPET
48' - 2"
- ROOF BEARING
44' - 2"

LEVEL 4
34' - 4"

LEVEL 3
23' - 8"

LEVEL 2
13' - 0"

LEVEL 1
0' - 0"

1 RIGHT ELEVATION
1/8" = 1'-0"

- TOP OF MS TOWER
64' - 3 1/4"
- TOP OF SL TOWER
64' - 0 3/4"
- SL SIDE TOWER
52' - 5 1/8"
- MS SIDE TOWER
50' - 2"
- TOP OF PARAPET
48' - 2"
- ROOF BEARING
44' - 2"

LEVEL 4
34' - 4"

LEVEL 3
23' - 8"

LEVEL 2
13' - 0"

LEVEL 1
0' - 0"

2 FRONT ELEVATION
1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS:

- FOR SPECIFIC WINDOW ELEVATIONS & DETAILS SEE SHEET A801
- FINISH OF ALL PTAC/VTAC LOUVERS TO MATCH ADJACENT FACADE MATERIAL FINISH UNO.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

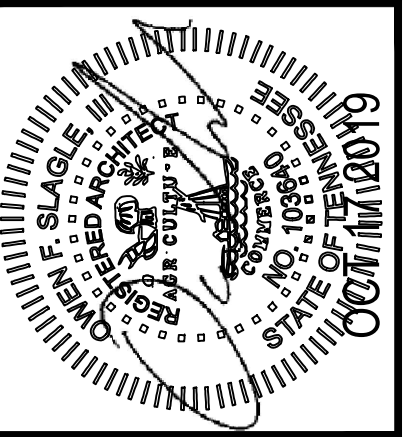
NUMBER	MATERIAL	FINISH
1	EIFS 1"	TEXTURE: 534 SANDFINE; COLOR: REPOSE GRAY - SW 7015 OR COOL SLATE - PPG 1002-3
2	EIFS 2"	TEXTURE: 534 SANDFINE; COLOR: REPOSE GRAY - SW 7015 OR COOL SLATE - PPG 1002-3
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10	CEMENT FIBER BOARD	PRE-FINISHED: NICHHA ROUGHSAWN TOBACCO - EPC241N
11	CEMENT FIBER BOARD	PRE-FINISHED: NICHHA; COLOR: BLACK FOX - SW 7020 OR PHANTOM MIST - PPG 1002-7
12	CEMENT FIBER BOARD	PRE-FINISHED: NICHHA; COLOR: DEWBERRY - SW 6552 OR ROYAL INDIGO - PPG 1174-7
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27	STONE 2-3"	XXX
28	STONE CAP	XXX



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7/28/2020

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☐ FINAL CONST.
DRAWING ISSUE DATE:
2020-XX-XX

EXTERIOR
ELEVATIONS

PROJ. NO.:
FA18-107

DATE:
10/17/19

SHEET NUMBER

A201.a

GENERAL NOTES - EXTERIOR ELEVATIONS:

1. FOR SPECIFIC WINDOW ELEVATIONS & DETAILS SEE SHEET A601
2. FINISH OF ALL PTAC/VTAC LOUVERS TO MATCH ADJACENT FACADE MATERIAL FINISH UNO.

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27	STONE 2-3"	XXX
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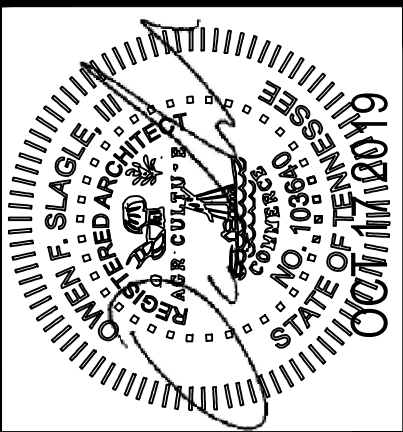


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NO	DATE

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☐ 30%

☒ CLIENT/CORP. REVIEW (90%)

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PROJ. NO.:
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DATE:
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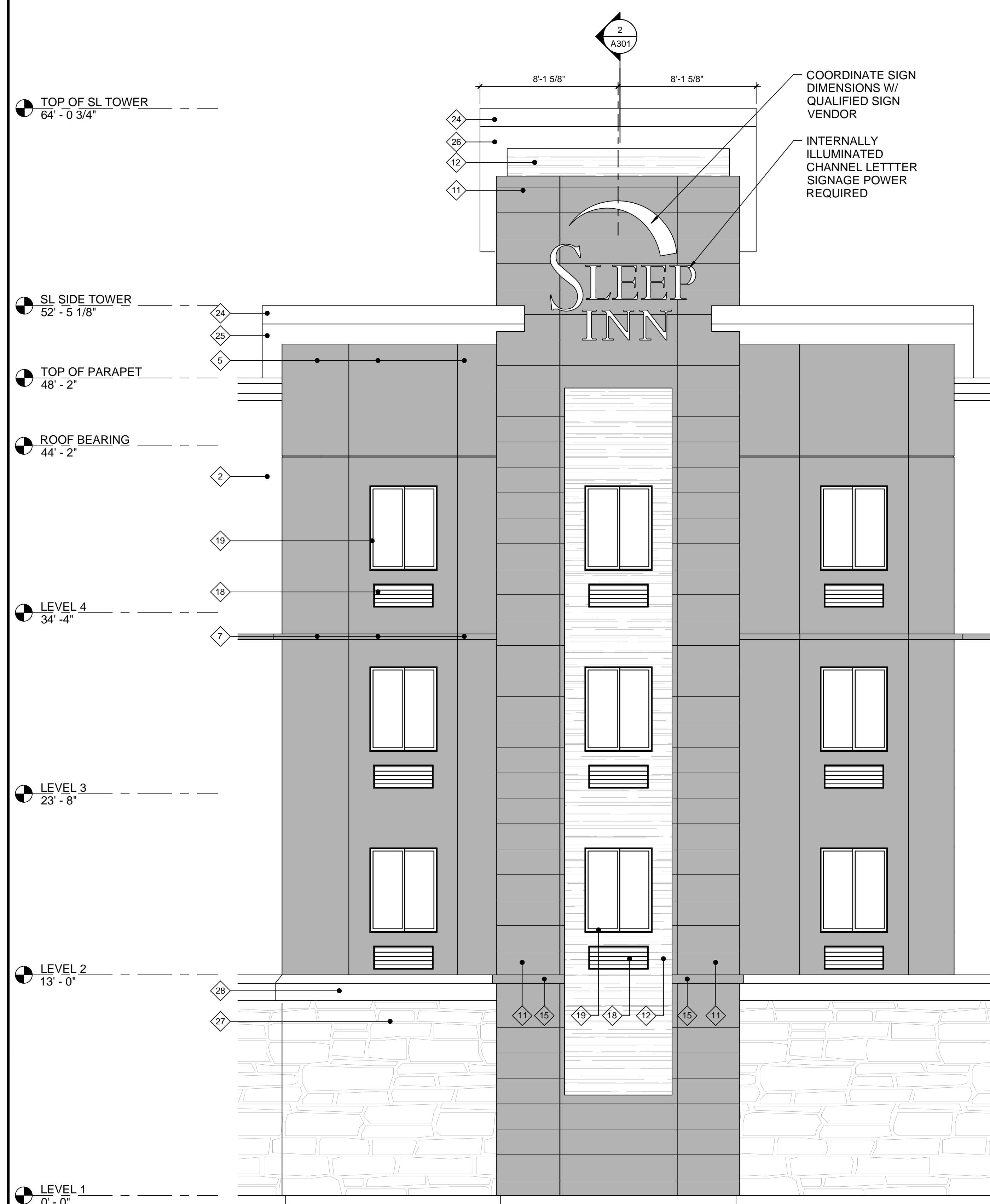
SHEET NUMBER

A201.b

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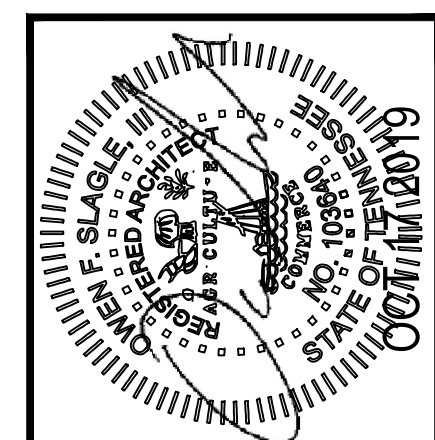
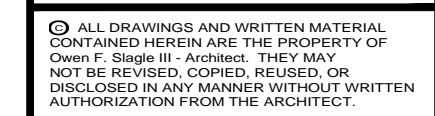
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27	STONE 2-3"	XXX
28	STONE CAP	XXX



1 ENLG ELEVATION - MAINSTAY TOWER
1/4" = 1'-0"

9-A-20-UR
7/28/2020

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PROJ. NO.:
FA18-107

DATE: 10/17/19

SHEET NUMBER

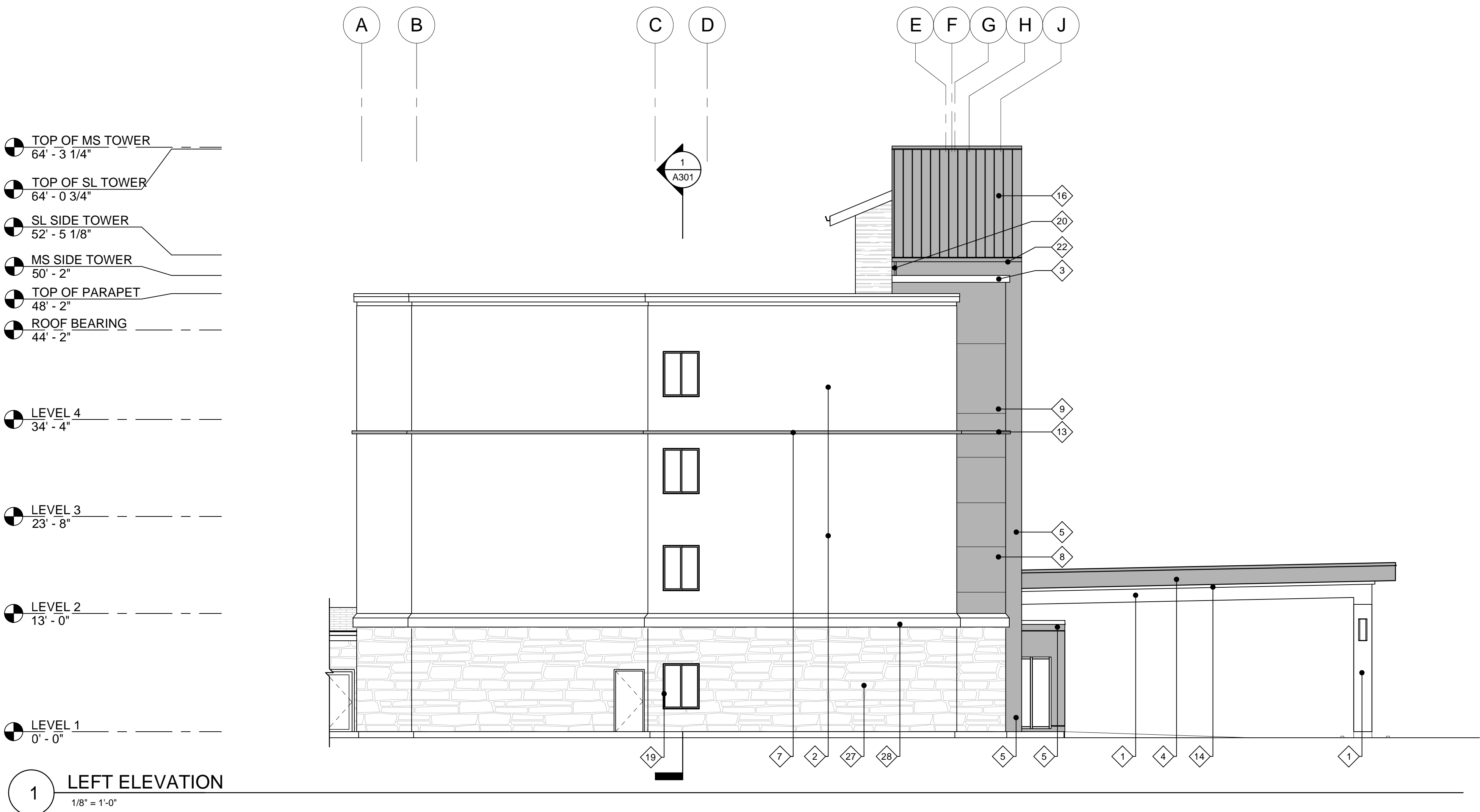
A201.c

GENERAL NOTES - EXTERIOR ELEVATIONS:

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KEYNOTE LEGEND - EXTERIOR ELEVATIONS

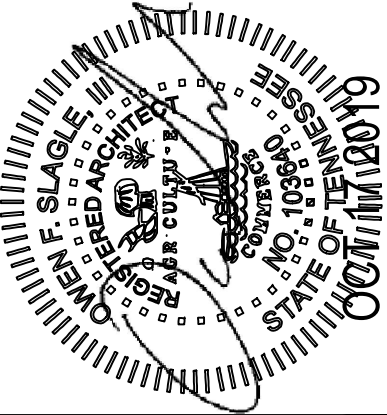
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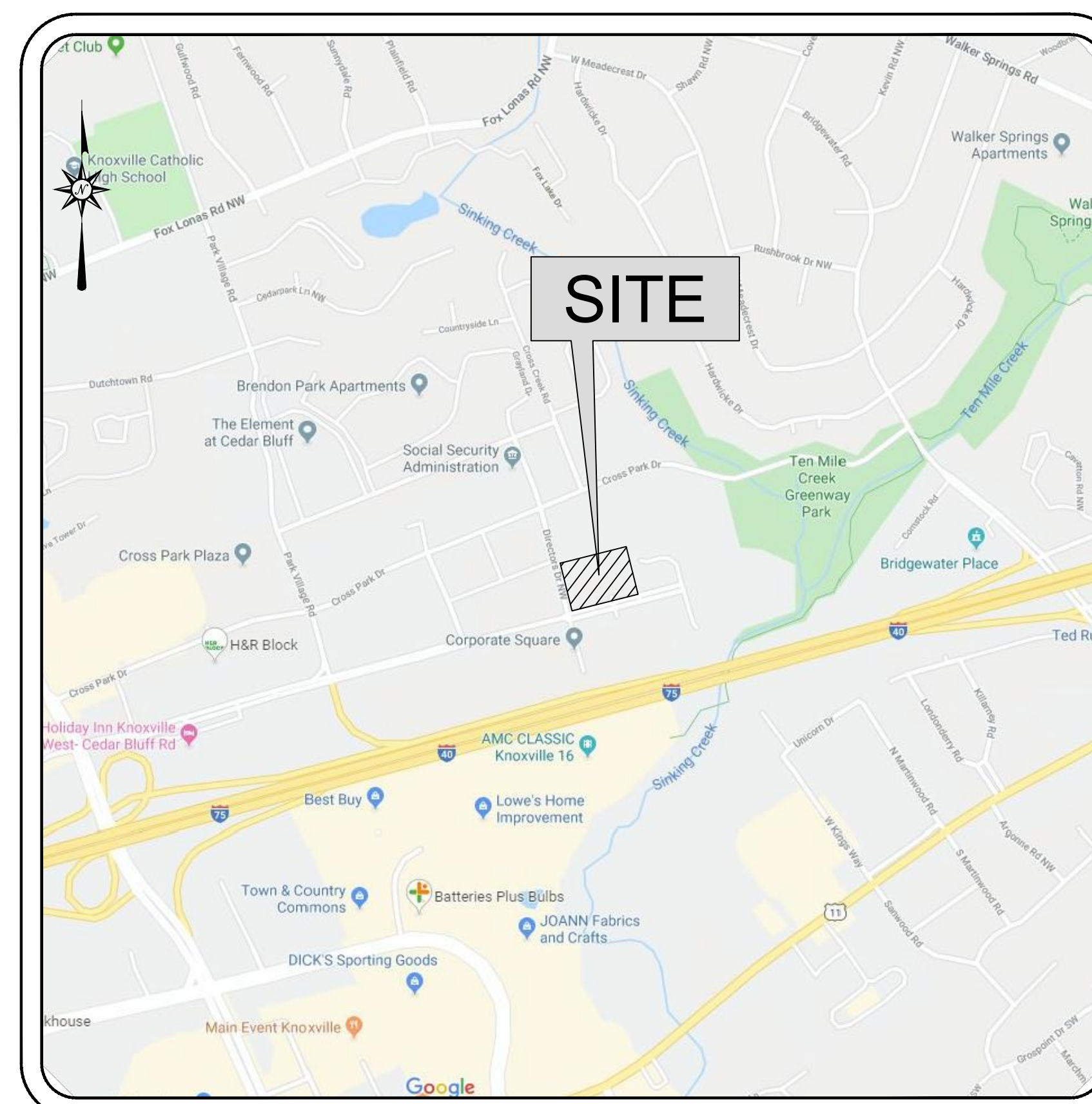
SHEET NUMBER

A202

DEVELOPMENT PLAN FOR SLEEP INN / MAINSTAY SUITES

8949 EXECUTIVE PARK DRIVE
KNOXVILLE, TN 37923

APRIL 3, 2020
REVISED: AUGUST 24, 2020



KNOXVILLE, TN
VICINITY MAP

SHEET

COVER SHEET

C1	EXISTING TOPOGRAPHY ALTA SURVEY - MBI
C2	SITE LAYOUT
C3	SITE GRADING AND DRAINAGE
C4.0	PRE-EROSION CONTROL
C4.1	POST-EROSION CONTROL
C5.0	WATER AND SANITARY SEWER
C5.1	SANITARY SEWER PROFILE
C6	ELECTRIC, TELEPHONE, CABLE & GAS
C7	SITE DETAILS
C8	SITE DETAILS
C9	SITE DETAILS
L1	LANDSCAPE PLAN
SL1	SITE LIGHTING PLAN

OWNER/APPLICANT	ENGINEER & LANDSCAPE ARCHITECT	SURVEYOR	ARCHITECT
SANJAY PATEL / SHRIJI KRUPA, LLC 206 WOODLAND TRACE DRIVE FARRAGUT, TN 37934	ARNOLD CONSULTING ENGINEERING SERVICES P.O. BOX 1338 BOWLING GREEN, KY 42101 CONTACT: DANIEL WHITLEY (270) 780-9445	MICHAEL BRADY INC. 299 N. WEISGARBER ROAD KNOXVILLE, TN CONTACT: WADE LOVEN (865) 584-0999	OWEN F. SLAGLE III - ARCHITECT 2170 HULTON ROAD VERONA (PLUM), PA 15147 (412) 828-5710

9-A-20-UR
Revised: 8/24/2020

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WATER & SEWER: WEST KNOX UTILITIES 2328 LOVELL ROAD, P.O. BOX 51370 KNOXVILLE, TN 37950 CONTACT: JIM REESE, PE TELEPHONE: (865) 690-2521, EXT. 236	ELECTRIC & GAS: KNOXVILLE UTILITIES BOARD 4505 MIDDLEBROOK PIKE KNOXVILLE, TN 37921 CONTACT: AARON JOHNSON TELEPHONE: (865) 558-2426

SURVEY PROVIDED BY:



MICHAEL BRADY INCORPORATED
299 NORTH WEISGARBER ROAD
KNOXVILLE, TN 37919-4013
PHONE: (844) 275-8080



ARNOLD CONSULTING
ENGINEERING SERVICES
P.O. BOX 1338
P.P. BOWLING GREEN, KY 42101
PHONE: (270) 780-9445





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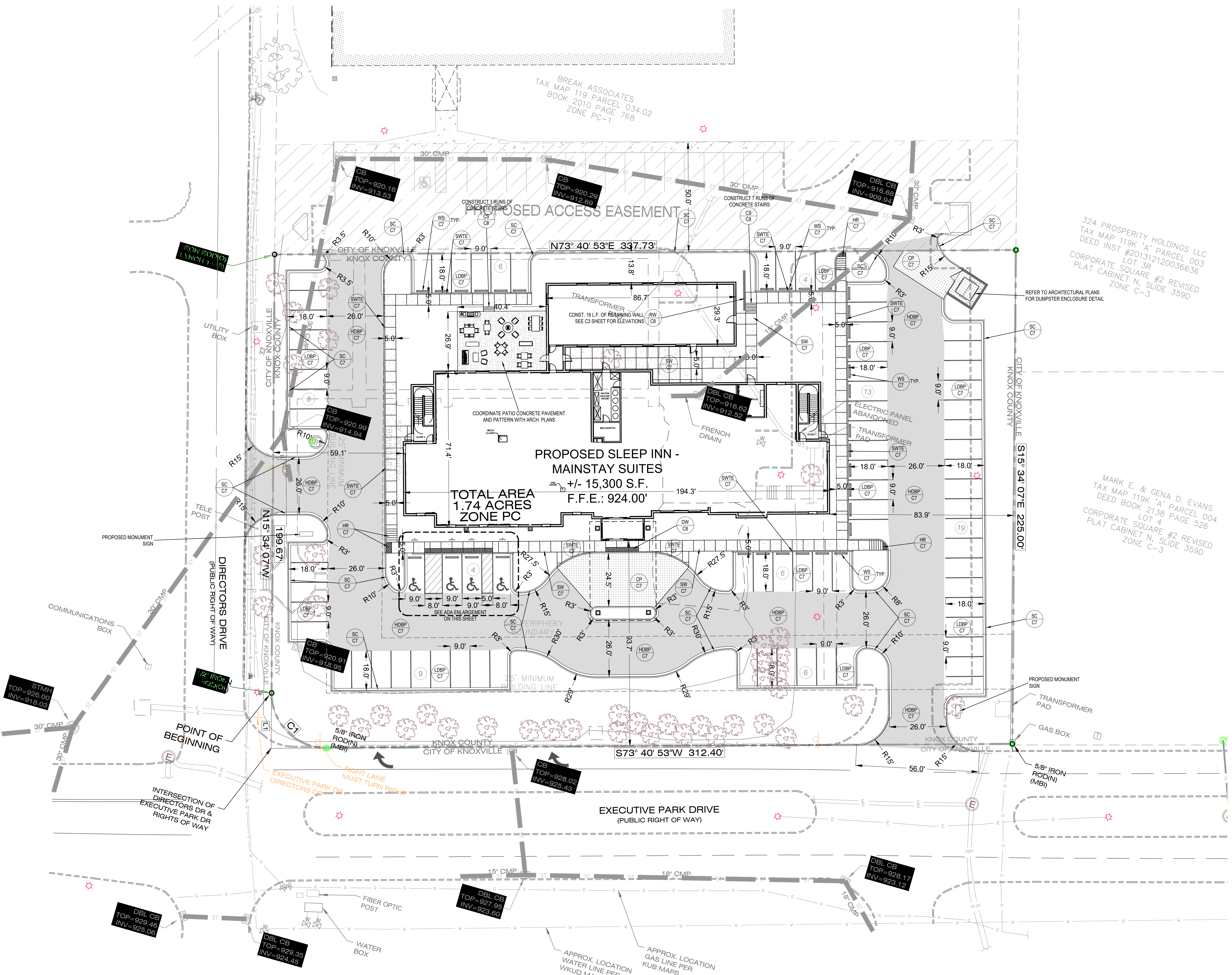
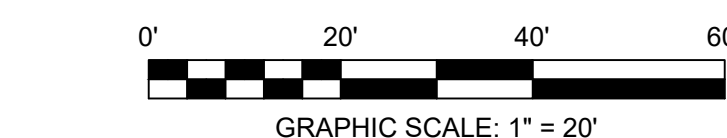
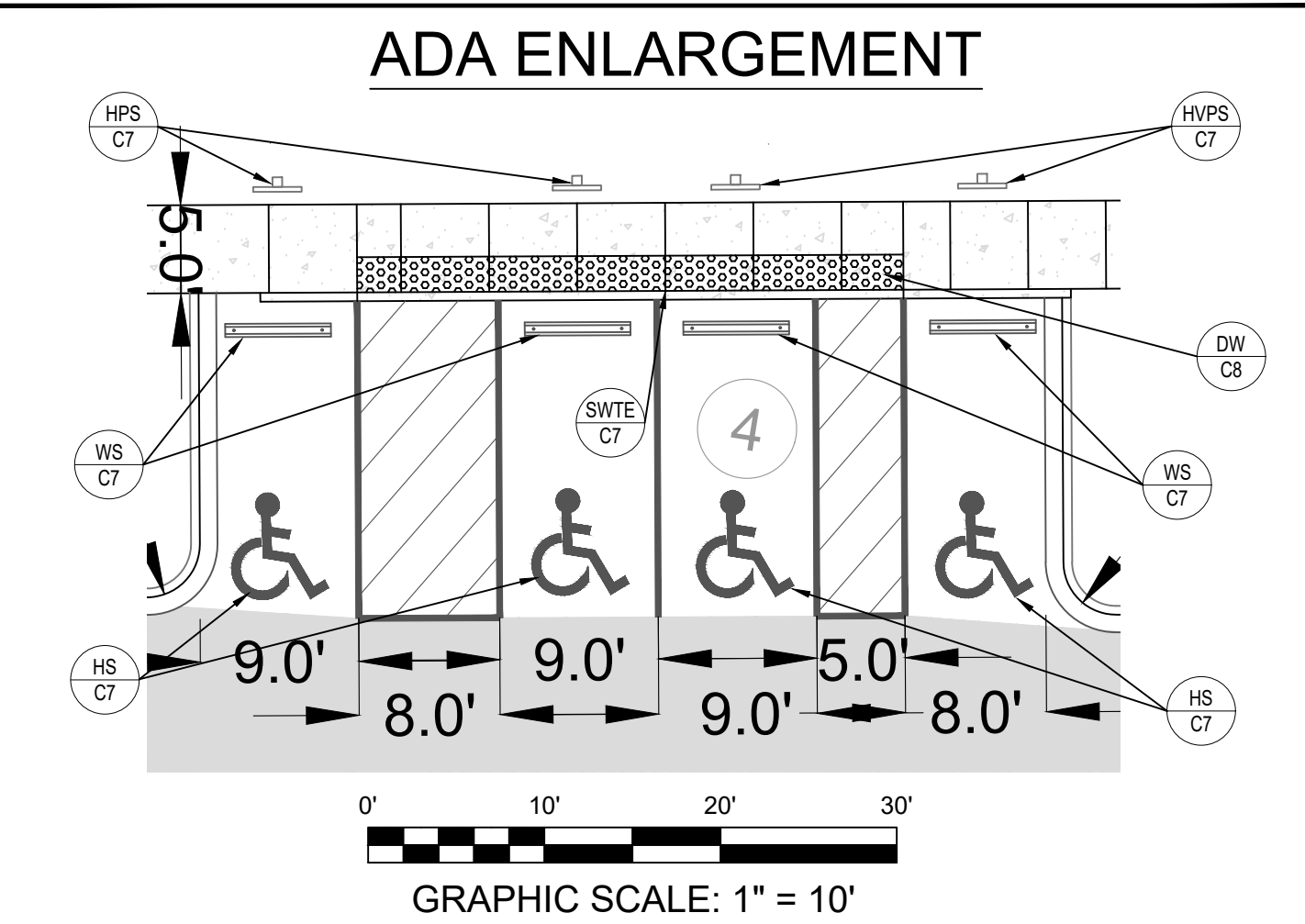
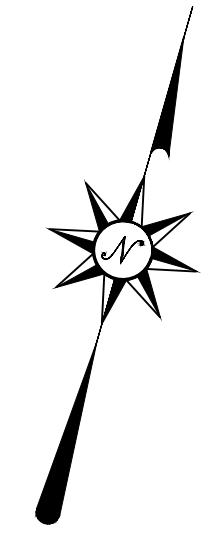
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GENERAL NOTES

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
2. NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND IN PLACE.
3. ALL DIMENSIONS INVOLVING CURB RADII ARE SHOWN TO FACE OF CURB, UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 5.0' UNLESS NOTED OTHERWISE.
4. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
5. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
6. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
8. ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED (AS OUTLINED IN THE LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
9. ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE WHITE PAINT (TWO COATS). HANDICAP SYMBOL COLORS SHALL BE PER LOCAL CODE. APPROVED EXTERIOR PAINTS AREAS FOLLOWS:

PRATT AND LAMBERT TRAFFIC PAINT
SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING
-PAINT B29 SERIES
GLIDDEN ROMARK TRAFFIC PAINT
PPG ZONE AND TRAFFIC MARKING PAINT

*NOTES: THE SITE SHALL COMPLY WITH ALL ACCESSIBILITY STANDARDS.

DEVELOPMENT SUMMARY		
	PERMITTED / REQUIREMENT	PROVIDED
CURRENT ZONING	PC - PLANNED COMMERCIAL ZONE	PC - PLANNED COMMERCIAL ZONE
PROPOSED USE	COMMERCIAL	COMMERCIAL
SITE AREA	N/A	75,876 SQ. FT. 1.74 +/- ACRES
LOT COVERAGE	NO MORE THAN 50%	20.2% (0.35 ACRES)
BUILDING SETBACKS	SOUTH (EXECUTIVE PARK DRIVE): 50' EAST (SIDE): N/A WEST (DIRECTORS DRIVE): 50' NORTH (BACK): N/A	SOUTH (EXECUTIVE PARK DRIVE): 93.7' EAST (SIDE): 88.9' WEST (DIRECTORS DRIVE): 59.1' NORTH (BACK): 13.8'
TOTAL PARKING	1 SPACE PER 2 ROOMS, PLUS 2 SPACES PER 3 EMPLOYEES TOTAL ROOMS = 82 NUMBER OF EMPLOYEES = 10 TOTAL SPACES REQUIRED = 46	STANDARD PARKING SPACES = 76 ADA SPACES = 4 TOTAL SPACES PROVIDED = 80
LANDSCAPE PLAN	SEE SHEET L1	SEE SHEET L1
DRAINAGE PLAN	SEE SHEET C3	SEE SHEET C3
TRAFFIC STUDY	N/A	N/A
SITE ACCESS	PER KNOX COUNTY	2 ACCESS POINTS: EXECUTIVE PARK DRIVE AND DIRECTORS DRIVE
DEVELOPMENT SUMMARY		
	PERMITTED / REQUIREMENT	PROVIDED
F.A.R.	N/A	0.201
BUILDING AREA	N/A	15,300 SQ. FT.
BUILDING HEIGHT	45'	64' - 3" (4 STORIES)

CONSTRUCTION LEGEND

- | | |
|----------------------------------|-----------------------------|
| - LIGHT DUTY BITUMINOUS PAVEMENT | - HANDICAP VAN PARKING SIGN |
| - HEAVY DUTY BITUMINOUS PAVEMENT | - HANDICAP PARKING SIGN |
| - SIDEWALK TURN-DOWN EDGE | - STANDARD CURB & GUTTER |
| - STANDARD SIDEWALK | - WHEELSTOP |
| - CONCRETE PAVEMENT | - HANDICAP RAMP |
| - HANDICAP SYMBOL | - RETAINING WALL |
| - DETECTABLE WARNING | - CONCRETE STAIR |

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Franchisee Information
SANJAY PATEL /
SHRIJI KRUPA, LLC
206 Woodland Trace Drive
Farragut, TN 37934

Project location
Sleep Inn/Mainstay Suites -
8949 EXECUTIVE PARK DRIVE
KNOXVILLE, TN 37923

REVISIONS

NO	DATE
1	5-13-2020

DRAWINGS ISSUED FOR:

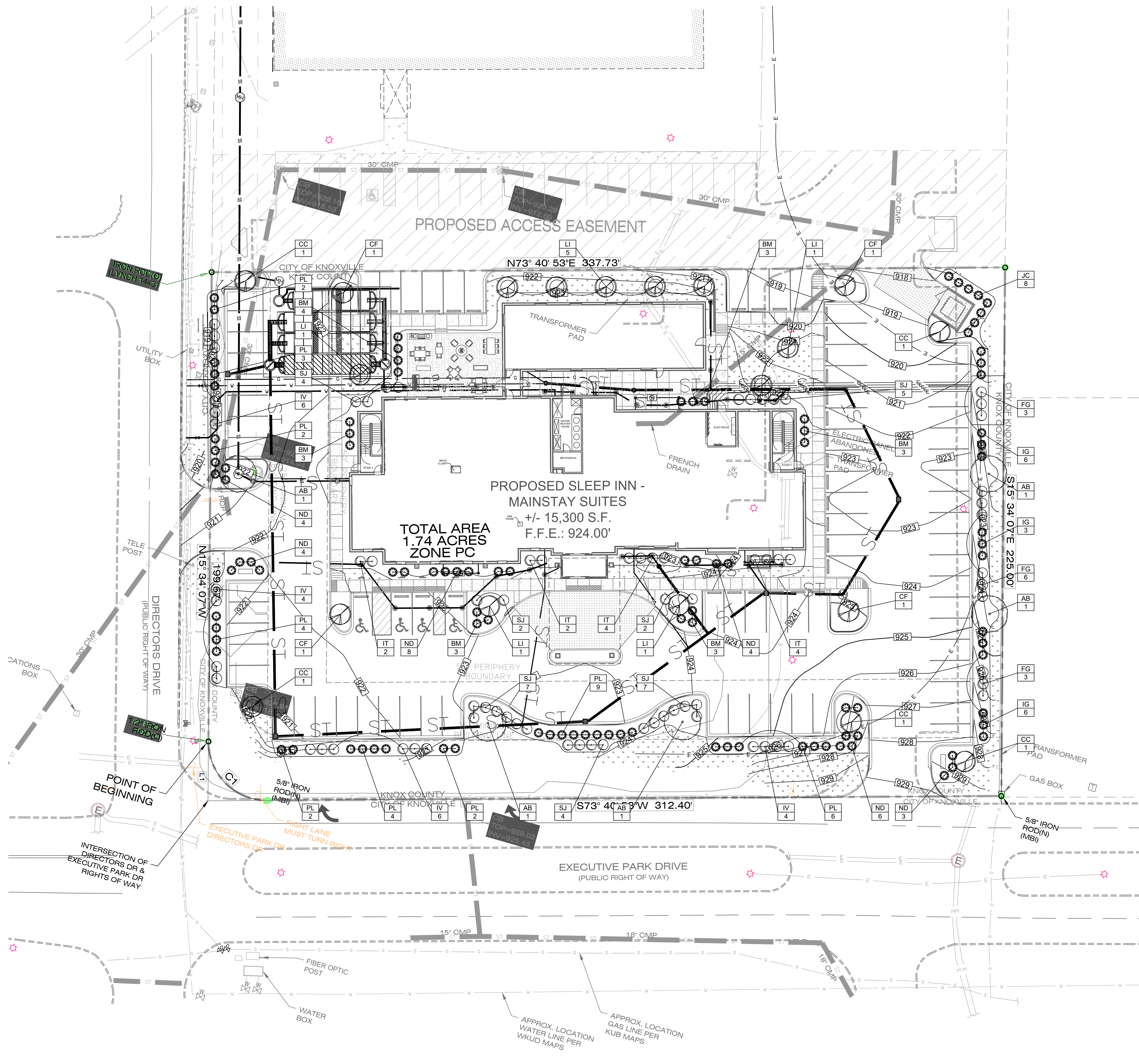
- ☐ PRELIM. FLOOR PLAN
- ☐ 30%
- ☐ CLIENT/CORP. REVIEW (90%)
- ☐ BIDDING
- ☐ PERMITTING
- ☐ PERMIT REVISIONS
- ☐ FINAL CONST.

DRAWING ISSUE DATE:
08-24-2020

SITE LAYOUT

PROJ. NO.:
20-1430
DATE:
08/24/2020
SHEET NUMBER
C2

THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY.



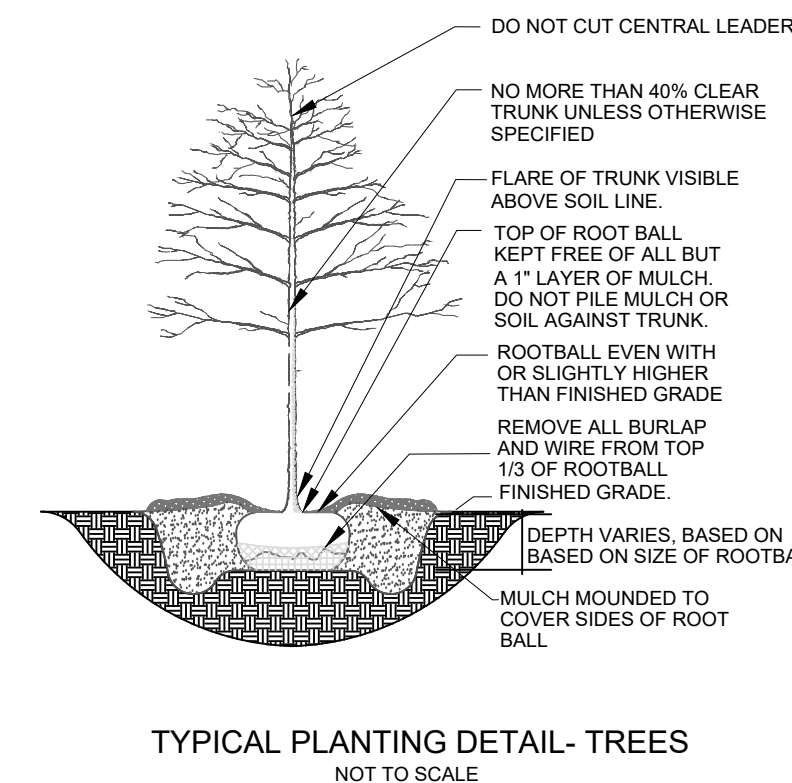
LANDSCAPE NOTES:

1. PLANT MATERIALS SHALL CONFORM IN SIZE AND GRADE TO AMERICAN STANDARDS FOR NURSERY STOCK. PLANT MATERIALS SHALL BE OF STANDARD QUALITY TRUE TO NAME AND TYPE, AND FIRST CLASS REPRESENTATIVES OF THEIR SPECIES OR VARIETY. PLANTS SHALL BE CAREFULLY LABELED AND SIZES NOTED. RIGHT IS RESERVED TO REJECT PLANTS CONSIDERED AS UNSATISFACTORY. REJECTED PLANTS SHALL BE REMOVED FROM SITE. PLANTS SHOULD NOT BE PRUNED PRIOR TO DELIVERY. HEADING-BACK PLANTS TO MEET SIZES INDICATED IN DRAWING'S SCHEDULE WILL NOT BE PERMITTED.
2. PLANTS & TREES
 - 2A. CONTRACTOR SHALL STAKE THE LOCATION OF EACH TREE AND SHRUB IN ACCORDANCE WITH THE LOCATIONS SHOWN ON THE DRAWINGS. STAKING AND LAYOUT WORK SHALL BE DONE SUFFICIENTLY IN ADVANCE OF PLANTING OPERATION TO PERMIT THE LANDSCAPE DESIGNER TO CHECK, REVISE IF DESIRED, AND APPROVE THE LOCATIONS BEFORE DIGGING OPERATIONS BEGIN.
 - 2B. EXCAVATE PLANTING BEDS AND POCKETS TO A DEPTH REQUIRED FOR PLANTINGS.
 - 2C. ANY ROCK OR OTHER UNDERGROUND OBSTRUCTION SHALL BE REMOVED TO DEPTH NECESSARY TO PERMIT PLANTING ACCORDING TO THESE SPECIFICATIONS.
 - 2D. IN GENERAL, CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTED AREAS AFTER PLANTING AND IN DRY WEATHER USE ENOUGH WATER TO THOROUGHLY SOAK ALL TREE PITS BEFORE PLANTING. CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS IN ADVANCE OF START OF THE WORK TO INSURE THAT AN ADEQUATE SUPPLY OF WATER AND WATERING EQUIPMENT ARE AVAILABLE WHEN REQUIRED.
3. MULCHING
 - 3A. MULCH TOP OF ROOT BALL AND SAUCER WITHIN 48 HOURS TO A MINIMUM DEPTH OF 2" AND TO A DEPTH NOT TO EXCEED 3".
 - 3B. ALL SHADE AND FLOWERING TREES SHALL BE MULCHED WITH THREE (3) INCHES THICK (SETTLED) AND COVERING AN AREA TWELVE (12) INCHES GREATER THAN THE DIAMETER OF PIT.
4. PLANT MAINTENANCE
 - 4A. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR 90 DAYS AFTER THE LAST PLANT HAS BEEN INSTALLED.
 - 4B. ALL PLANTS SHALL BE KEPT IN A GROWING, HEALTHY CONDITION BY WATERING, PRUNING, SHEARING, SPRAYING, TIGHTENING OF GUYS, STRAIGHTENING OF PLANTS WHICH LEAN OR SAG, LIFTING PLANTS WHICH DEVELOP MORE THAN NORMAL SETTLEMENT, WEEDING, AND BY ANY OTHER NECESSARY OPERATION OF MAINTENANCE. KEEP ALL PLANTING AREAS FREE OF WEEDS AND UNDESIRABLE GRASSES.
 - 4C. DURING THE MAINTENANCE PERIOD, PLANTS IN AN UNHEALTHY OR BADLY IMPAIRED CONDITION, SHALL BE REMOVED AND REPLACED IMMEDIATELY USING SPECIFIED MATERIAL.
5. ACCEPTANCE AND GUARANTEE
 - 5A. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR WITHOUT SATISFACTORY GROWTH, AS DETERMINED BY THE LANDSCAPE ARCHITECT, SHALL BE REMOVED AND REPLACED IN NEXT SPECIFIED PLANTING SEASON. ANY REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED AND REPLANTED IN SAME LOCATION FROM WHICH DEAD PLANT WAS REMOVED AND SHALL BE REPLACED AT NO ADDITIONAL COST.
 - 5B. ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY FOR REPLACEMENT.
6. DURING THE BIDDING PROCESS, NO PLANTS MAY BE SUBSTITUTED FOR A DIFFERENT PLANT. THE PLAN MUST BE BID AS DRAWN.
7. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO COME BACK AFTER ONE YEAR OF ACCEPTANCE OF THE PLANTING TO REMOVE ANY STAKES OR GUY WIRES THAT MAY HAVE BEEN USED.
8. ANY DISCREPANCY BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE.
9. THE OWNER RESERVES THE RIGHT TO ALTER THE PLANTING PLAN AS SHOWN IN THE AREA OF THE FOUNDATION.

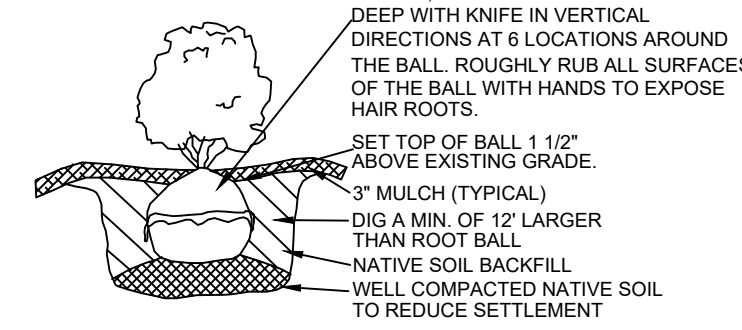
SEED: ALL DISTURBED AREAS NOT COVERED WITH SOD OR IN PLANT BEDS ARE TO BE HAND RAKED SMOOTH AND SEEDING WITH A TURF TYPE FESCUE AT A RATE OF 5 LBS / 1,000 SF. COVERED IN STRAW UNTIL 95% COVER IS PROVIDED. SEED AREAS SHALL BE KEPT DAMP TO PROVIDE SUITABLE ENVIRONMENT FOR SEED GERMINATION.

MULCH: ALL SHRUBS THAT ARE SHOWN IN GROUPINGS SHALL BE MULCHED IN A PLANT BED WITH SHREDDED HARDWOOD MULCH TO A MINIMUM OF 2" AND NOT GREATER THAN 3" IN DEPTH. IN AREAS OF STEEP SLOPES A FINE GRADE (NEARLY INVISIBLE) PLASTIC NETTING MAY BE USED TO STABILIZE THE MULCH BED.

ANNUALS AND PERENNIALS: ANY DESIRED ANNUALS AND PERENNIALS MAY BE DETERMINED BETWEEN THE PROPERTY OWNER AND THE LANDSCAPE CONTRACTOR FOR DESIRED COLOR PALETTE.



TYPICAL PLANTING DETAIL - TREES
NOT TO SCALE



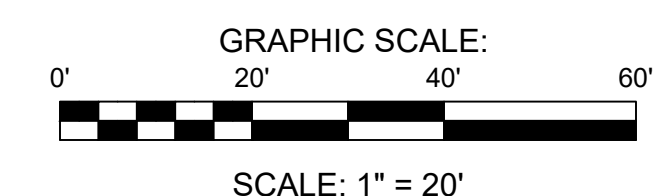
TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

PLANT SCHEDULE

KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
TREES						
AB	5	ACER BIERGERIANUM 'STREETWISE'	TRIDENT MAPLE	1 3/4\"	B & B	WELL BRANCHED
CC	5	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	5\"	B & B	WELL BRANCHED
CF	4	CORNUS FLORIDA	FLOWERING DOGWOOD	5\"	B & B	WELL BRANCHED
LI	9	LAGERSTROEMIA INDICA	CREPE MYRTLE	5\"	B & B	WELL BRANCHED
SHRUBS						
BM	19	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLELEAF BOXWOOD	24\"	CONT. / B & B	WELL BRANCHED
FG	12	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24\"	CONT. / B & B	WELL BRANCHED
IG	15	ILEX GLABRA	INKBERRY	24\"	CONT. / B & B	WELL BRANCHED
IV	20	ILEX VERTICILLATA 'RED SPRITE'	COMMON WINTERBERRY	24\"	CONT. / B & B	WELL BRANCHED
IT	12	ITEA VIRGINICA 'HENRY'S GARNET'	COMMON WINTERBERRY	24\"	CONT. / B & B	WELL BRANCHED
JC	8	JUNIPERUS CHINENSIS 'BLUE POINT'	CHINESE JUNIPER	36\"	CONT. / B & B	WELL BRANCHED
ND	29	NANDINA DOMESTICA 'GULF STREAM'	HEAVENLY BAMBOO	24\"	CONT. / B & B	WELL BRANCHED
PL	34	PRUNUS LAUROCEARUS 'OTTO LUYKEN'	CHERRY LAUREL	24\"	CONT. / B & B	WELL BRANCHED
SJ	31	SPIRAEA JAPONICA 'LITTLE PRINCESS'	SPIREA	24\"	CONT. / B & B	WELL BRANCHED

AREA OF SOD: 781 SQUARE YARDS. SOD TO BE A LOCALLY GROWN TYPE FESCUE. SOD TO BE PLACED WITHIN 24 HOURS OF HARVEST.

9-A-20-UR
Revised: 8/24/2020



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