

- General Notes**
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not subscribe to one call at least 72 hours before any excavation, to request exact field location of the utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
  - Property is located in Knoxville and is Zoned RN-2.
  - Setbacks: Front - 20', Side - 5' min, not less than 15' total, Rear - 25'.
  - Total Acreage = 0.68 Acres
  - Owner: Susannah's House INC  
923 Dameron Ave.  
Knoxville, TN 37920
  - Survey By: Land Development Solutions  
310 Simmons Rd., Ste K  
Knoxville, TN 37922
  - City Block - 21221  
Parcel ID - 094CL018, 094CL012, 094CL020, & 094CL021
  - Vertical Datum is NAVD88
  - File Number: 9-A-21-SU

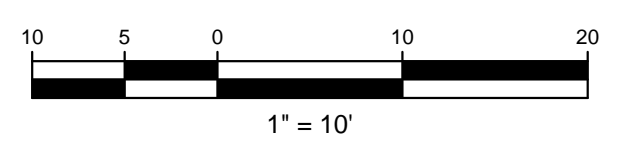
- Layout Notes**
- All dimensions to curb line reference face of curb - see detail.
  - See architectural drawings for building dimensions. All dimensions to building are approximate unless specifically noted as building layout points.
  - See Utility Plan for new and existing utility line locations. See Grading and Drainage Plan for new and existing storm drain locations.
  - Landscaping shall comply with Knoxville Tree Protection Ordinance.

- Site Notes**
- Total site area = 0.68 acres
  - Total disturbed area = 0.58 acres
  - Total existing impervious area = 0.21 acres
  - Total post developed impervious area = 0.33 acres
  - Temporary seeding is required when grading operations are temporarily halted for over 14 days and on soil stockpiles. Permanent seeding is required when grading operations are completed and when construction operations will not impact the disturbed area. Seed areas that show signs of excessive erosion.
  - Contact the City of Knoxville Division of Traffic Engineering (865-215-6136) to obtain traffic control permits for street closures.
  - If existing trees are removed - six trees shall be planted. 3 Dogwoods/Redbuds & 3 Red Maples/Black Gum per Knoxville Tree Ordinance.

Impervious Surface Coverage Maximum = 40%  
Lot Size = 13,075 SF  
Impervious Area = 7,061 SF  
Coverage = 54%

- Notes:**
- New pavement in ROW  
Surface: 1.5" Grading D asphalt  
Binder: 2.5" Grading B asphalt  
Aggregate Base: 8" Class A  
Grade D crushed stone  
or match existing if greater
  - Markings will be thermo and retro-reflective
  - Contact City Sign & Marking group at 865-215-6720 prior to installation for in-field verification

9-A-21-SU  
8/20/2021



Project:

Susannah's House  
Dameron Avenue  
Knoxville, Tennessee

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922  
PH. 865-671-2281

Drawing Description:

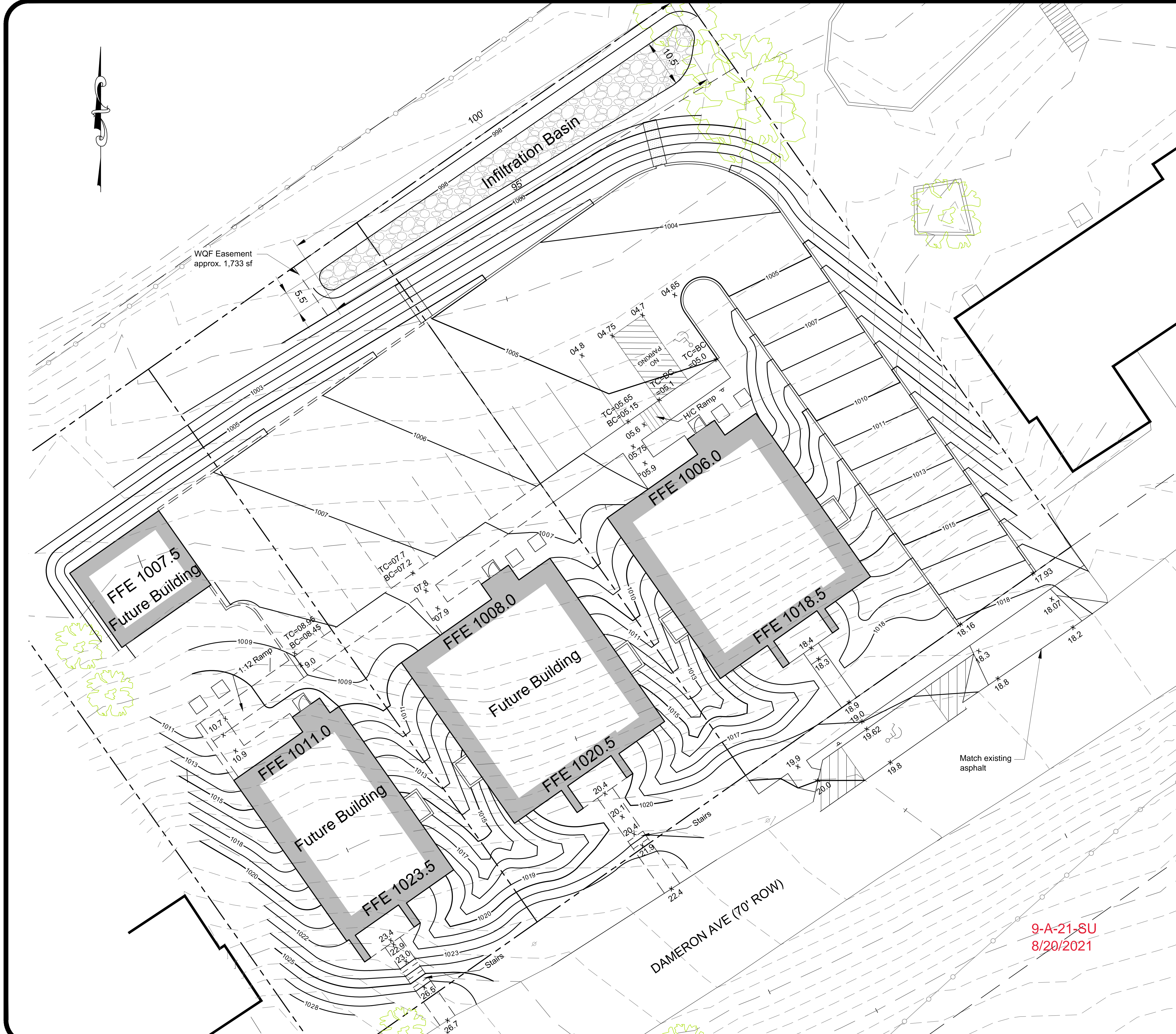
Site Layout Plan

No.	Date	Revision
1	08-13-21	Revisions per COK

Drawn By: CDB  
Checked: EJB  
Approved: EJB  
Job No.: 2021024  
1"=10' Scale: 6/7/21 Date

C101  
Sheet No.





- General Notes
1.

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Owner: Susannah's House INC  
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6.

Survey By: Land Development Solutions  
310 Simmons Rd, Ste K  
Knoxville, TN 37922
7.

City Block - 21221  
Parcel ID - 094CL018, 094CL012, 094CL020, & 094CL021
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Vertical Datum is NAVD88
9.

File Number: 9-A-21-SU

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Contact the City of Knoxville Division of Traffic Engineering (865-215-6136) to obtain traffic control permits for street closures.
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If existing trees are removed - six trees shall be planted. 3 Dogwoods/Redbuds & 3 Red Maples/Black Gum per Knoxville Tree Ordinance.

- Drainage Notes
1.

All storm lines in paved areas shall be backfilled to pavement subgrade with #57 stone.
2.

All trenching and shoring shall comply with OSHA standards.
3.

Storm lines and structures shall be constructed as soon as possible. Inlet Protection shall be used around structures to minimize the silt entering into drainage system. All silt shall be removed from structures and lines.
4.

Pipe lengths and slope are measured from center of structure to center of structure.
5.

All HDPE storm lines shall be smooth interior.
6.

Contractor shall provide as-built survey of storm system PRIOR to paving. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).
7.

After construction is complete, contractor shall provide as-built survey as noted above. Survey shall be updated to reflect any changes or modifications to the storm system since the first as-built survey. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).

Curb

Pavement

1"R

6"R

1'

2'

SECTION

Construct sod swale at all curb cuts a min. length of 10'

3'-0"

100" or to Infiltration Basin

Pavement

PLAN

1

N.T.S.

Curb Cut

10

5

0

10

20

1" = 10'

Susannah's House  
Dameron Avenue  
Knoxville, Tennessee

Project:

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922  
PH. 865-671-2281

Drawing Description:

Site Grading Plan

No.	Date	Revision
1	08-13-21	Revisions per COK

BAKSA, J. A.  
REGISTERED PROFESSIONAL ENGINEER  
No. 01622  
STATE OF TENNESSEE

8/20/21

Drawn By: CDB

Checked: EJB

Approved: EJB

Job No.: 2021024

1"=10' Scale

6/7/21 Date

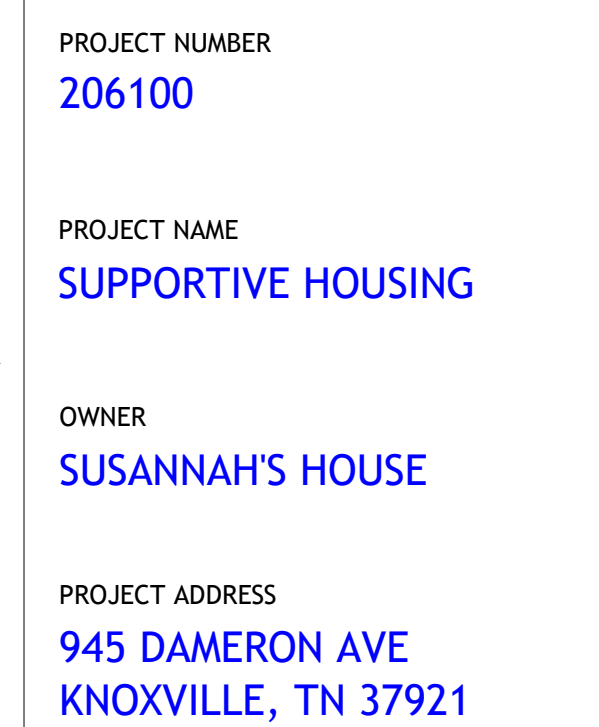
C201

Sheet No.









1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
2. NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
3. DIMENSIONS ARE TO FACE OF MASONRY, SYNCAST, COMPOSITE METAL PANELS, CURTAINWALL, OR EDGE OF OPENING UNLESS OTHERWISE NOTED.
4. LOCATE VERTICAL VENEER EXPANSION JOINTS (VEJ) AT MAX 26 FEET ON CENTER WITHIN EACH WINDOW OR DOOR.
5. COORDINATE LOCATIONS WITH THE ARCHITECT.
6. NOT USED
7. SEE SHEET A70 FOR EXTERIOR WINDOW TYPES AND DETAIL REFERENCES.
8. NOT USED
9. NOT USED
10. PROVIDE MASONRY VENEER EXPANSION JOINTS (VEJ) AT INSIDE CORNERS AND INTERSECTIONS WITH OTHER MATERIALS.
11. SEE STRUCTURAL DRAWINGS FOR SIZE, DEPTH, AND REINFORCING OF ALL FOOTINGS
12. SEE STRUCTURAL DRAWINGS FOR SIZES AND CONNECTIONS OF ALL STRUCTURAL STEEL FRAMING MEMBERS

PLANNING FILE NUMBER: 9-A-21-SU	
PARTNER-IN-CHARGE	CVG
PROJECT MANAGER	MGJ
DRAWN BY	MGJ JBM
REVIEWED BY	TWM
ISSUE DATE	07 JUNE 2021
REVISIONS	
1	19 AUG 2021

# A301

ELEVATIONS & SECTIONS

