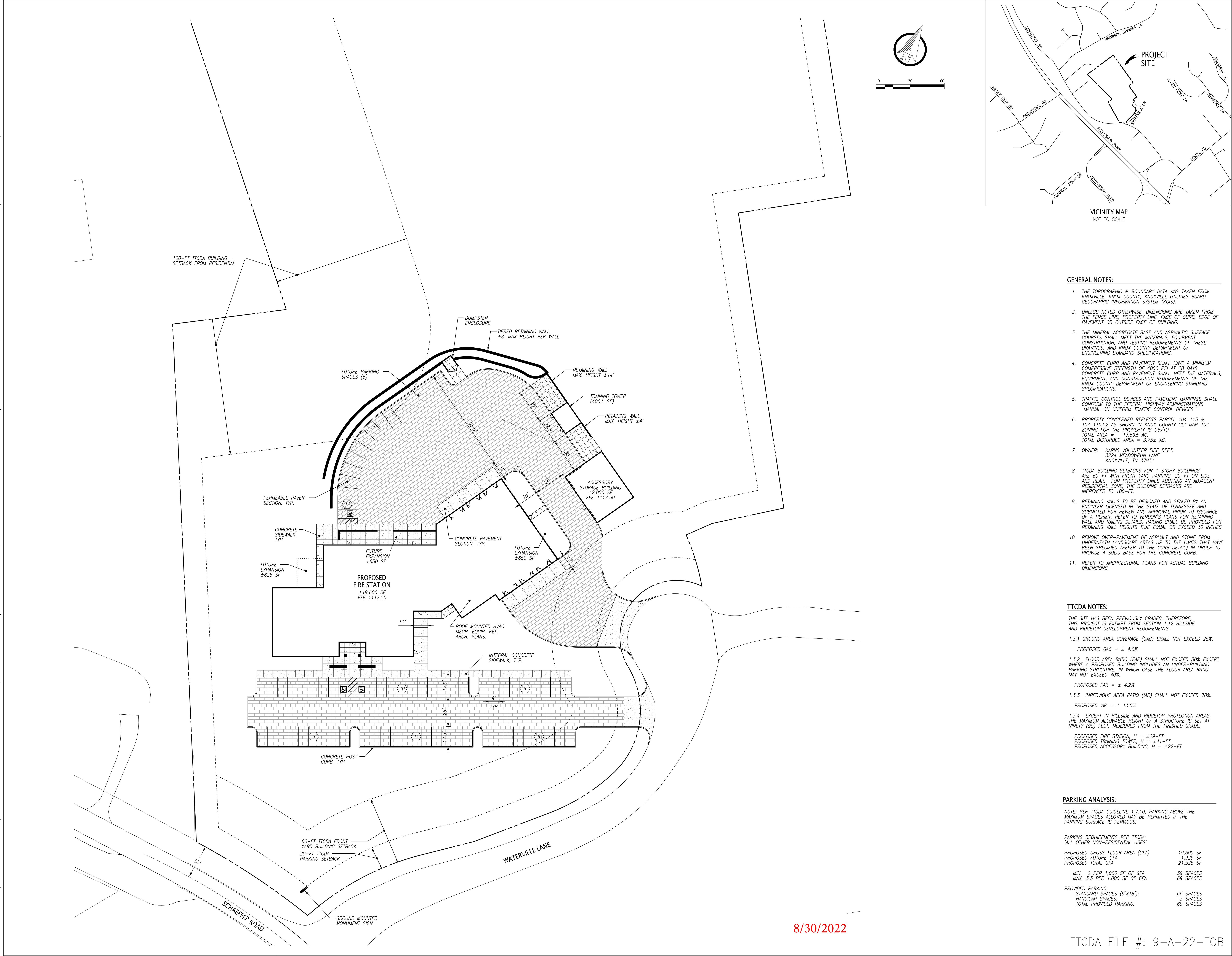


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File Name: A:\2021\2021-040\DWG\22050406-002_0.dgn
Plot Date: 8/30/2022



GENERAL NOTES:

1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM KNOXVILLE, KNOX COUNTY, KNOXVILLE UTILITIES BOARD GEOGRAPHIC INFORMATION SYSTEM (KGIS).
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
3. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
4. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
6. PROPERTY CONCERNED REFLECTS PARCEL 104 115 & 104 115.02 AS SHOWN IN KNOX COUNTY CLT MAP 104. ZONING FOR THE PROPERTY IS 08YTO.
TOTAL AREA = 13.69± AC.
TOTAL DISTURBED AREA = 3.75± AC.
7. OWNER: KARNIS VOLUNTEER FIRE DEPT.
3224 MEADOWRUN LANE
KNOXVILLE, TN 37931
8. TTCDA BUILDING SETBACKS FOR 1 STORY BUILDINGS ARE 60'-FT WITH FRONT YARD PARKING, 20'-FT ON SIDE AND REAR. FOR PROPERTY LINES ABUTTING AN ADJACENT RESIDENTIAL ZONE, THE BUILDING SETBACKS ARE INCREASED TO 100'-FT.
9. RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND RAILING DETAILS. RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
10. REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERNEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURB.
11. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.

TTCDA NOTES:

THE SITE HAS BEEN PREVIOUSLY GRADED; THEREFORE, THIS PROJECT IS EXEMPT FROM SECTION 1.12 HILLSIDE AND RIDGETOP DEVELOPMENT REQUIREMENTS.

- 1.3.1 GROUND AREA COVERAGE (GAC) SHALL NOT EXCEED 25%.
PROPOSED GAC = ± 4.0%
- 1.3.2 FLOOR AREA RATIO (FAR) SHALL NOT EXCEED 30% EXCEPT WHERE A PROPOSED BUILDING INCLUDES AN UNDER-BUILDING PARKING STRUCTURE, IN WHICH CASE THE FLOOR AREA RATIO MAY NOT EXCEED 40%.
PROPOSED FAR = ± 4.2%
- 1.3.3 IMPERVIOUS AREA RATIO (IAR) SHALL NOT EXCEED 70%.
PROPOSED IAR = ± 13.0%
- 1.3.4 EXCEPT IN HILLSIDE AND RIDGETOP PROTECTION AREAS, THE MAXIMUM ALLOWABLE HEIGHT OF A STRUCTURE IS SET AT NINETY (90) FEET, MEASURED FROM THE FINISHED GRADE.
PROPOSED FIRE STATION, H = ±29'-FT
PROPOSED TRAINING TOWER, H = ±41'-FT
PROPOSED ACCESSORY BUILDING, H = ±22'-FT

PARKING ANALYSIS:

NOTE: PER TTCDA GUIDELINE 1.7.10, PARKING ABOVE THE MAXIMUM SPACES ALLOWED MAY BE PERMITTED IF THE PARKING SURFACE IS PERVIOUS.

PARKING REQUIREMENTS PER TTCDA:
ALL OTHER NON-RESIDENTIAL USES

PROPOSED GROSS FLOOR AREA (GFA)	19,600 SF
PROPOSED FUTURE GFA	1,925 SF
PROPOSED TOTAL GFA	21,525 SF
MIN. 2 PER 1,000 SF OF GFA	39 SPACES
MAX. 3.5 PER 1,000 SF OF GFA	69 SPACES
PROVIDED PARKING:	
STANDARD SPACES (9'x18')	66 SPACES
HANDICAP SPACES (8'x12')	3 SPACES
TOTAL PROVIDED PARKING:	69 SPACES

TTCDA FILE #: 9-A-22-TOB

STUDIO FOUR DESIGN

ARCHITECTURE & INTERIORS

414 Clinch Ave. Knoxville, TN 37902
p 865 523-5001 f 865 523-5003
studiofourdesign.com

CIVIL ENGINEER:



ARDURRA
2160 LAKESIDE CENTRE WAY
SUITE 201
KNOXVILLE, TN 37922
OFFICE: 865.690.6419
FAX: 865.690.6448
www.ardurra.com
Ardurra PROJECT: 225.048

Karnis Volunteer Fire Department Hardin Valley Headquarters Fire Station

3224 Meadowrun Lane
Knoxville, TN 37931



Project Phase: TTCDA

Issue Date: 08/29/22

Revisions

No.	Description	Date

Job Number: 21104

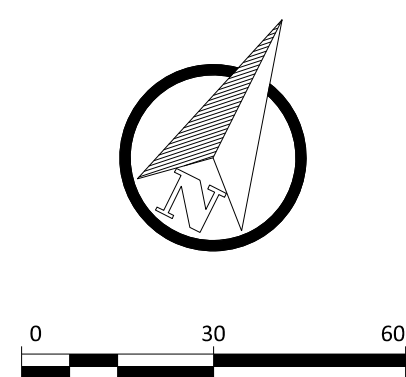
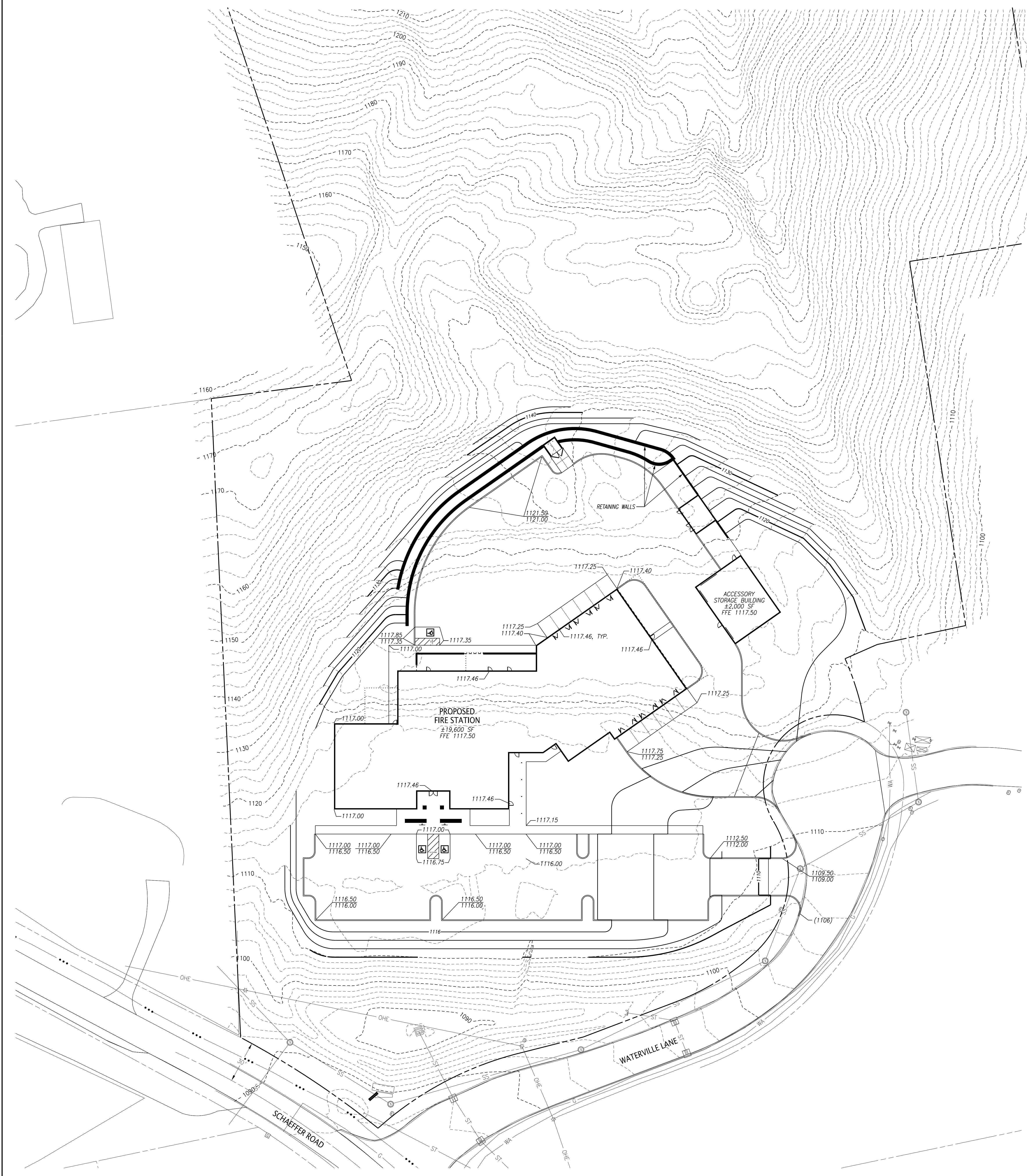
Site Layout and Paving Plan

C2.0

8/30/2022

File Name: A:\2021\2021-040\0001\250604001_0.dgn
Plot Date: 8/24/2022

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LEGEND:

— 1020 —	PROPOSED CONTOUR
- - - 1022 - - -	EXISTING CONTOUR
(1/C2)	DETAIL REF. (DETAIL NO./SHT. NO.)
TYP.	TYPICAL
22.18 21.68	TOP CURB/TOP PAVT.

TTCA FILE #: 9-A-22-TOB

**STUDIO
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Karns Volunteer Fire Department
Hardin Valley Headquarters Fire Station

3224 Meadown Lane
Knoxville, TN 37931

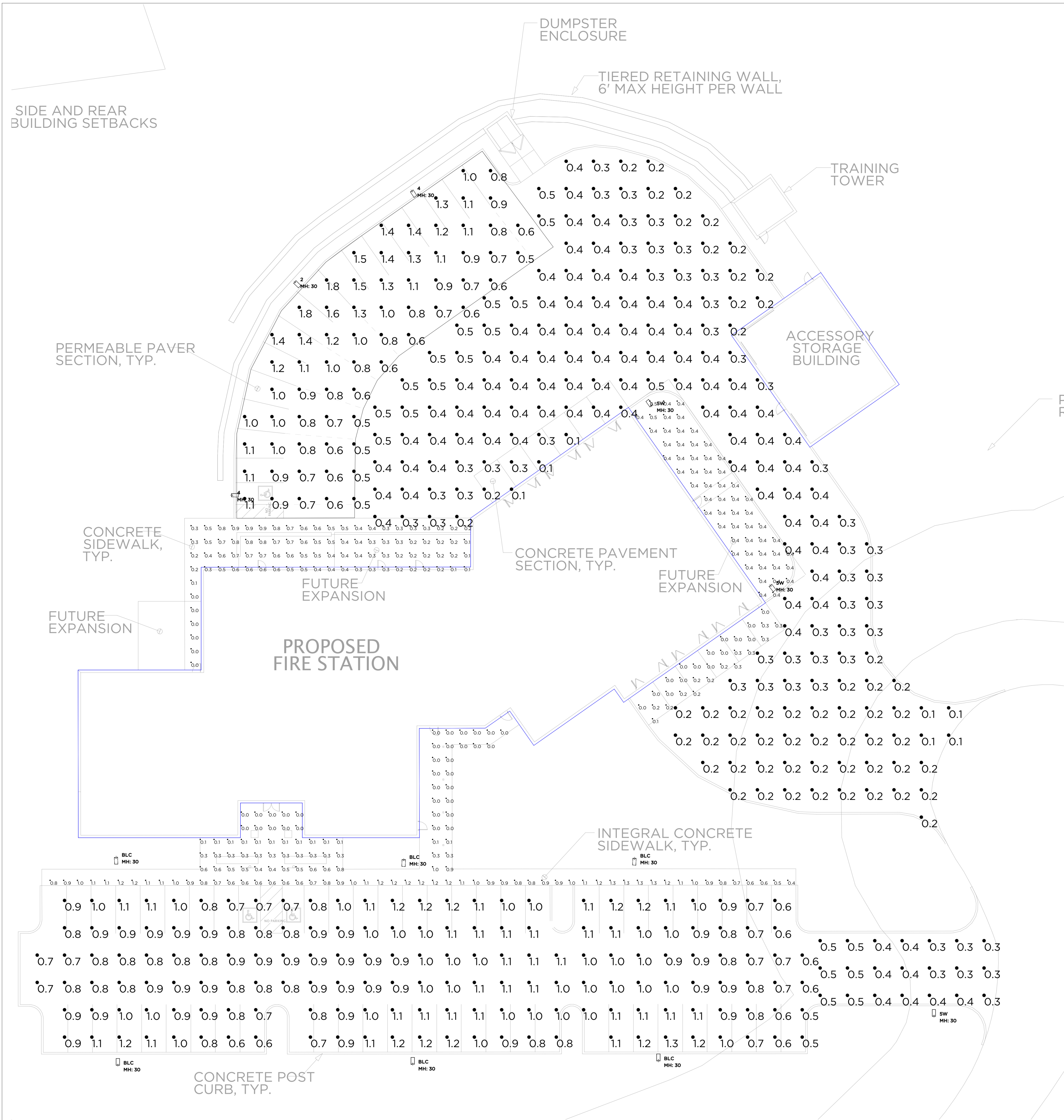


Project Phase: TTCA

Issue Date: 08/29/22		
Revisions		
No.	Description	Date

Job Number: 21104
SITE GRADING PLAN

C3.0



Luminaire Schedule								
Symbol	Label	Qty	Manufacturer	Arrangement	Description	Luminaire Lumens	Luminaire Watts	LLF
	2	1	SIGNIFY GARDCO	Single	ECF-S-32L-365-NW-G2-2	5798	40	0.900
	4	2	SIGNIFY GARDCO	Single	ECF-S-32L-365-NW-G2-4	5934	40	0.900
	SW	3	SIGNIFY GARDCO	Single	ECF-S-32L-365-NW-G2-5W	5899	40	0.900
	BLC	6	PHILIPS GARDCO	Single	ECF-S-32L-365-NW-G2-BLC	3991	39.40741	0.900

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
BACK PARKING	Illuminance	Fc	0.97	1.8	0.5	1.94	3.60	0
CROSSWALK	Illuminance	Fc	0.40	0.5	0.4	1.00	1.25	0
FRONT DRIVE	Illuminance	Fc	0.40	0.5	0.3	1.33	1.67	0
FRONT PARKING	Illuminance	Fc	0.93	1.3	0.5	1.86	2.60	0
MAIN DRIVE	Illuminance	Fc	0.32	0.5	0.1	3.20	5.00	0
SIDEWALK1	Illuminance	Fc	0.51	1.3	0.0	N.A.	N.A.	0
SIDEWALK 2	Illuminance	Fc	0.40	0.9	0.0	N.A.	N.A.	0
SIDEWALK 3	Illuminance	Fc	0.11	0.3	0.0	N.A.	N.A.	0

NOTES:
- MOUNTING HEIGHT IS A.F.F. OR A.F.G. UNLESS NOTED OTHERWISE
- CALCULATIONS ARE MAINTAINED HORIZONTAL AND/OR VERTICAL FOOTCANDLES

STANDARD REFLECTANCES (0.2 FLOOR, 0.5 WALL, 0.8 CEILING), U.N.O.
STANDARD LIGHT LOSS FACTOR (LLF) = 0.9, U.N.O.
STANDARD WORKPLANE HEIGHT = 2'6" A.F.F., U.N.O.
STANDARD CCT = 3500K, U.N.O.
STANDARD CRI = 80, U.N.O.



Disclaimer:
SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only.
The information provided is based on standardized industry procedures.
This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.)
In general, SESCO Lighting considers numerical studies to be predictive in that they cannot characterize the visual performance of a lighting system. SESCO Lighting does not warrant the accuracy of the calculations and does not assume any liability for decisions with the manufacturer, and above all, common sense.

Sales Rep: Morrison Garrett
Office: Knoxville, TN
Specifier: Studio Four Design
Photometrics: EK Chambliss

KFD Hardin Valley HQ
Fire Station

Date:8/26/2022

Page 1 of 1

TTCDA FILE #: 9-A-22-T08 (SITE)
9-B-22-T08 (SIGN)



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Kams Fire Department
Fire Station and Headquarters

3224 Meadowrun Lane
Knoxville, TN 37931

Project Phase: Design Documentation

Issue Date: 06/01/20

Revisions

No.	Description	Date

Job Number: 21104
Lighting

L0.1



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Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project: _____
Location: _____
Cat.No: _____
Type: _____
Lamps: _____ Qty: _____
Notes: _____

Ordering guide example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Prefix		Number of LEDs	Drive Current	LED Color • Generation	Mounting	Distribution	Voltage
ECF-S							
ECF-S	EcoForm site and area, small	32L 32 LEDs (2 modules) 385 385mA 353 353mA	700 700mA 1A 1050mA 1.2A 1200mA	WW-G2 Warm White 3000K, 70CRI Generation 2 NW-G2 Neutral White 4000K, 70CRI Generation 2 CW-G2 Cool White 5000K, 70CRI Generation 2	AR ¹ Arm Mount (Standard) The following mounting kits must be ordered separately (See accessories) SF ¹ Slip Fitter Mount (fits to 2 1/4" O.D. tenon) WS Wall mount with surface conduit rear entry permitted RAM ² Retrofit arm mount kit	2 Type 2 2-90 Rotated left 90° 2-270 Rotated right 270° Type 3 3 Type 3 3-90 Rotated left 90° 3-270 Rotated right 270° Type 4 4 Type 4 4-90 Rotated left 90° 4-270 Rotated right 270° Type 5 5 Type 5 5W Type 5W	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HVV 347-480V (50/60Hz)

Options					
Dimming controls	Motion sensing lens	Photo-sensing	Electrical	Luminaire	Finish
DD ^{1,3} 0-10V External dimming (for controls by others) DCC ^{4,5,6,7} Dual Circuit Control FAWS ^{1,3} Field Adjustable Wattage Selector LLC ^{4,5,6,7} Integral wireless module BL ^{1,3,8} Bi-level functionality SRDR ^{1,3,9,17} SR driver connected to Zhaga socket DynaDimmer: Automatic Profile Dimming CS50 ¹⁴ Safety 50% Dimming, 7 hours CS50 ¹⁴ Median 50% Dimming, 8 hours CS30 ¹⁴ Safety 30% Dimming, 7 hours CS30 ¹⁴ Median 30% Dimming, 8 hours	IMR13 ⁸ Integral with #3 lens IMR17 ⁸ Integral with #7 lens	PCB ¹¹ TLRD5 ^{10,17} TLRD7 ^{10,17} TLRPC ^{10,17} TLRPC ^{10,17}	Fusing F1 ¹ Single (120, 277, 347VAC) F2 ¹ Double (208, 240, 480VAC) Pole Mount Fusing FP1 ¹ Single (120, 277, 347VAC) FP2 ¹ Double (208, 240, 480VAC) FP3 ¹ Canadian Double Pull (208, 240, 480VAC) Surge Protection 100kA standard SP2 Increased 20kA	Square Pole Adapter included in standard product TB ¹ Terminal Block RPA ¹ Round Pole Adapter (fits to 3" - 3 1/2" O.D. pole) HIS ¹ Internal House Side Shield	Textured BK Black WH White BR Bronze DGY Dark Gray MGY Medium Gray Customer specified RAL Specify optional color or RAL (ex: RAL7024) Custom color (Must supply color chip for required factory quote) CC

1. BL-IMR13/7 equipped with out-boarded sensor housing when voltage is HVV (347-480V)
2. Mounts to a 4" round pole with adapter included for square poles.
3. Limited to a maximum of 45 degrees aiming above horizontal.
4. Not available with other dimming control options.
5. Not available with motion sensor.
6. Not available with photocell.
7. Must specify a motion sensor lens.
8. Not available in 347 or 480V
9. Must specify input voltage.
10. TLRD5, TLRD7 and TLRPC receptacle pins 4 & 5 are capped off when ordered with any of the Dimming controls DD or FAWS or LLC.
11. Not available in 480V. Order photocell separately with TLRD5/7.
12. Not available with DCC.
13. Not available with SF and WS. RPAs provided with black finish standard.
14. HIS not available with Type 5, SW, BLC, BLC-90, BLC-270, LCL or RCL optics.
15. Not available with DD, DCC, and FAWS dimming control options.
16. Not available with DD, DCC, FAWS and LLC dimming control options.
17. When ordering SRDR, controller (by others) to be used on socket must be SR compatible (See specifications for more details). Consult factory for lead time. All 7 pins in NEMA receptacle are connected to SR driver. SRDR not available with TLRD5 or TLRPC.
18. 0-10V dimming driver standard.
19. LCL and RCL not available with 48L-1.2A or 64L-1A.



ECF-S_EcoForm_area_small 01/22 page 1 of 9

TTODA FILE #: 8-A-22-T08 (SITE)
9-B-22-T08 (SIGN)

Kans Fire Department Fire Station and Headquarters

3224 Meadowrun Lane
Knoxville, TN 37931

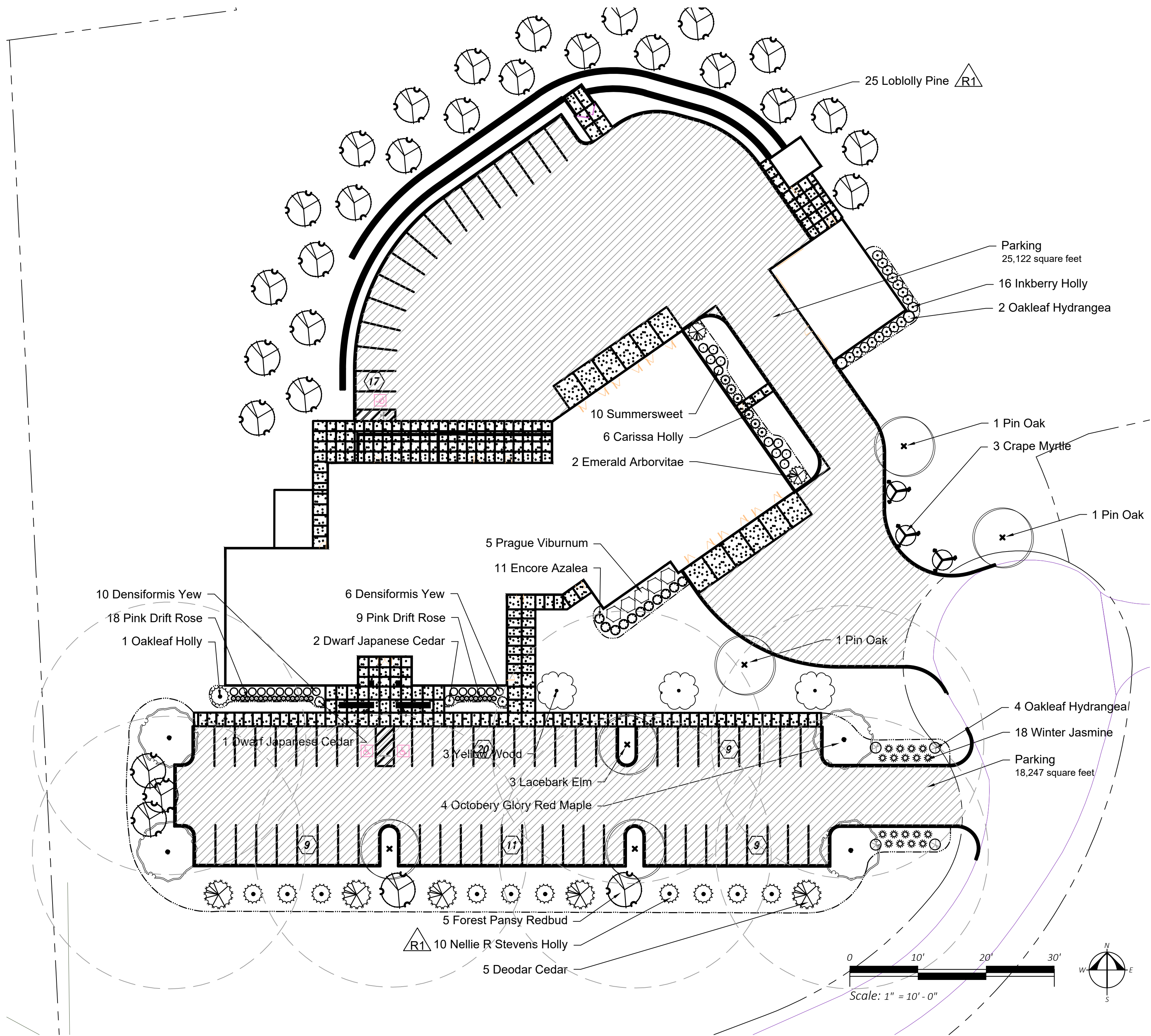
Project Phase: Design Documentation

Issue Date: 08/19/22

No.	Description	Date

Job Number: 21104
Lighting

L0.2



PLANTING NOTES:

- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to provide allowance for soil ammendments, percolation tests, soil tests, mulch and irrigation.
- Irrigation system to be drip unless otherwise noted and approved.
- Contractor to complete work within schedule established by owner.
- Contractor to provide one year warranty for all plant material from date of substantial completion.
- Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
- The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
- All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition. quality of the plant material to be judged by the landscape architect. Inferior plant material to be rejected.
- Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
- No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
- Planting plans may need to be adjusted in the field. Contractor to coordinate layout of plant material with landscape architect for on site approval prior to installation.
- Test plant beds and plant pits for adequate drainage. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
- Trees shall be installed 3" above finish grade in hardpan areas to provide good drainage unless otherwise directed.
- Groundcover and shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and weeds. Add specified soil amendments and fertilizer. Install plants, edge bed area, mulch and water thoroughly.
- Set all plants plumb and turned so that the most attractive side is viewed.
- Plants shall be measured to their main structure, not tip to tip of branches.
- Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix.
- Broken root balls for trees shall be rejected. Contractor to check root balls and expose rootflares to check for root girdling. Do not assume the rootflare is exposed upon purchase from the nursery.
- Any plant materials shipped to site in uncovered vehicles/ trailer shall be rejected regardless of season.
- All tree scars over 1 -1/2" shall be rejected and tree to be replaced.
- All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type or otherwise noted on plans.
- Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
- If rootball is wrapped in non-biodegradeable burlap, remove entire wrap after placed in pit.

TTCDA - LANDSCAPE REQUIREMENT NOTES:

- 3.1.4** In order to provide year-round greenery, at least 25% of newly planted or conserved trees should be evergreen.
- 64 trees proposed
- 45 evergreen = 70%
- 3.1.5** When planting trees on a development site, a roughly equal combination of large, medium and small trees (see Appendix B) should be planted, with at least 10 large maturing trees per acre of yard space.
- 3.7 acres * 10 = 37 trees
- 37 large trees proposed
4 Red Maple, 3 Pin Oak, 5 Deodar Cedar, 25 Pine
- 3.1.8** The required front yard for a 1-, 2- or 3-story building with no parking in front shall be landscaped. A minimum 20-foot landscaped yard shall be placed between the right-of-way and a parking area in front of a building.
- landscape yard provided
- 3.2.1** The arrival areas should be landscaped to make an introductory statement about each site.
- landscape provided at driveway entrance and front of building
- 3.2.2** Landscaping should be used to accentuate entryways to the site and the building(s) and to provide areas of shade
- all entry areas landscaped, shade provided where adequate room for tree growth is available
- 3.3.2** Entrances into buildings should be accented by plantings.
- all entry areas landscaped
- 3.3.3** Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery and bedding plants (see Appendix B).
- Front Elevation = 4,656 Side Elevation = 3,105 Side Elevation = 2,941
- Total Front and Side Elevations = 10,702 Required Square Footage of Landscape = 5,351
- Total Proposed Landscape = 12,197 square feet
- 3.3.4** Minimize shading of south-facing facades in winter; maximize shading of south-facing facades in summer.
- trees proposed near south facade
- 3.3.5** Landscaping should buffer the building from the microclimate of the parking area.
- trees proposed around parking and drive aisles
- 3.3.6** Landscaping should be used to screen mechanical equipment or other unsightly exterior building elements.
- NA
- 3.4.1** Parking areas should be screened from public rights-of-way by landscaped berms, low level shrubbery or a combination of the two.
- landscape proposed between building and Dutchtown Road
- 3.4.2** If surface parking is necessary, existing trees both upslope and downslope should be conserved for environmental and aesthetic purposes. In cases where existing vegetation cannot be saved, or does not exist, medium and large maturing canopy trees should be planted between parking areas.
- trees proposed near all parking areas
- 3.4.3** Trees shall be required at the rate of one (1) medium or large maturing canopy tree for every ten parking spaces provided.
- 75 parking space proposed, 8 medium or large trees required, 8 medium trees proposed
3 Yellow Wood, 3 Lacebark Elm, 10 NRS Holly
- 3.4.4** In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.
- Total Parking Lot and Vehicular Use Area = 43,369 square feet
- Total Landscape Bed Area = 12,197 square feet
- 28%
- 3.4.5** Medium and large maturing canopy and ornamental trees may be chosen from the recommended species list in Appendix B.
- 3.3.6** Mature trees that are preserved within eight feet of the parking area may be used to satisfy up to 50% of the required number of canopy trees, as described in (a) above. In all other respects, however, the number of trees and other plantings required for parking areas shall be in addition to those required under Section 3.1.
- N/A, no trees preserved
- 3.3.7** Required canopy trees shall be located within the parking areas as terminal islands, interior islands, interior wells, medians, traffic delineators, between rows of parking spaces, or in planting areas adjacent to buildings in a manner such that no parking space is located more than sixty (60) feet from the trunk of a large canopy tree.
- trees puroposed within 60' of all parking spaces
- 3.3.8** Interior islands at the rate of one for every 200 feet of parking shall be installed to break up long rows of parking stalls.

PLANTING LEGEND

Qty	Botanical Name	Common Name	Size	Notes	Size
Deciduous Trees					
4	Acer rubrum 'October Glory'	October Glory Red Maple	2" cal.	central leader, full and dense	L
5	Cercis canadensis	Redbud	2" cal.	central leader, full and dense	S
3	Cladrastis kentukea	Yellow Wood	2" cal.	central leader, full and dense	M
3	Lagerstroemia	Crape Myrtle	#15.	central leader, full and dense	S
3	Quercus palustris	Pin Oak	2" cal.	central leader, full and dense	L
3	Ulmus parvifolia	Lacebark Elm	2" cal.	central leader, full and dense	M
Evergreen Trees					
5	Cedrus deodara	Deodar Cedar	6' hgt.	central leader, full and well branched	L
1	Ilex conaf	Oakleaf s Holly	6' hgt.	central leader, full and dense	S
10	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	6' hgt.	central leader, full and dense	M
25	Pinus taeda	Loblolly	6' hgt.	central leader, full and well branched	L
2	Thuja occidentalis	Emerald Arborvitae	6' hgt.	central leader, full and dense	S
Deciduous Shrubs					
10	Clethra alnifolia	Sweet Pepperbush	3 gallon	full and dense	
6	Hydrangea quercifolia	Oakleaf Hydrangea	3 gallon	full and dense	
Evergreen Shrubs					
11	Azalea	Encore Azalea	3 gallon	full and dense	
3	Cyrtomeria japonica 'Globosa Nana'	Dwarf Jap. Cedar	3 gallon	full and dense	
6	Ilex cornuta 'Carissa'	Carissa Holly	3 gallon	full and dense	
16	Ilex glabra	Inkberry Holly	3 gallon	full and dense	
18	Jasminum nudiflorum	Winter Jasmine	3 gallon	full and dense	
27	Rosa	Pink Drift Rose	3 gallon	full and dense	
16	Taxus x media 'Densiformis'	Densiformis Yew	3 gallon	full and dense	
5	Viburnum pragensae	Prague Viburnum	3 gallon	full and dense	

TTCDA FILE #: 9-A-22-TOB (SITE)
9-B-22-TOB (SIGN)

Beasley
LANDSCAPE ARCHITECTS

Patrick Beasley
865.441.4428



KFD
Hardin
Valley
HQ
Fire Station

Knoxville
Tennessee 37932

Submittal Record

R1, 8.22.22

Preliminary Plans
Not for Construction

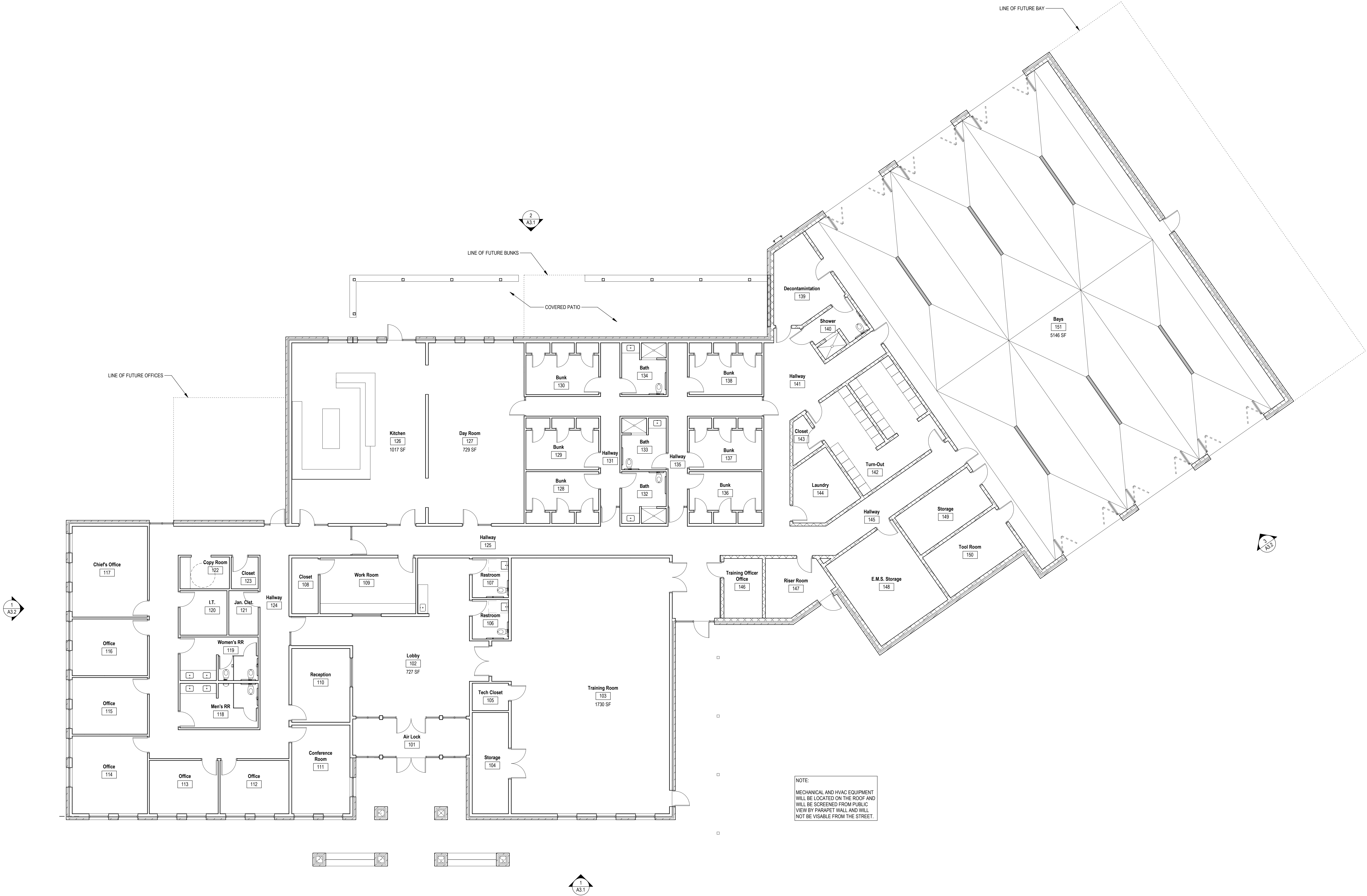
July 20, 2022

Landscape
Plan

L100

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Drawn By: Author
Checked By: Chasler
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NOTE:
MECHANICAL AND HVAC EQUIPMENT
WILL BE LOCATED ON THE ROOF AND
WILL BE SCREENED FROM PUBLIC
VIEW BY PARAPET WALL AND WILL
NOT BE VISIBLE FROM THE STREET.

Karns Fire Department
Fire Station and Headquarters

3224 Meadowrun Lane
Knoxville, TN 37931



Project Phase: TTCDA Package

Issue Date: 09/04/21

Revisions

No.	Description	Date

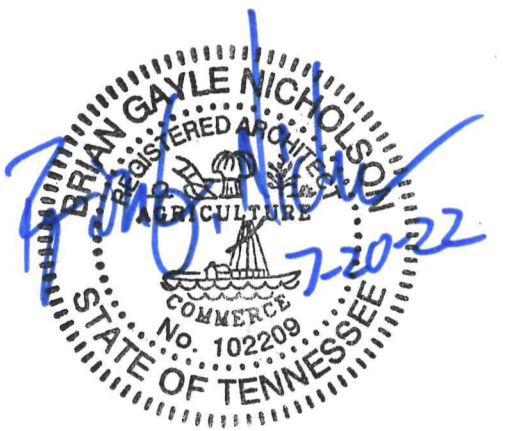
Job Number: 21104

Floor Plan

TTCDA FILE #: 9-A-22-TOB (SITE)
9-B-22-TOB (SIGN)



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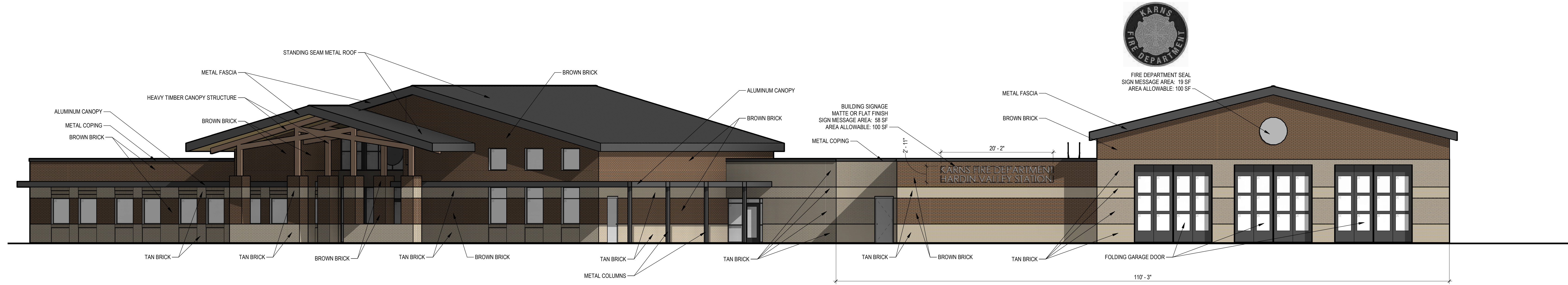
A3.1

TTCDA FILE #: 9-A-22-TOB (SITE)
9-B-22-TOB (SIGN)

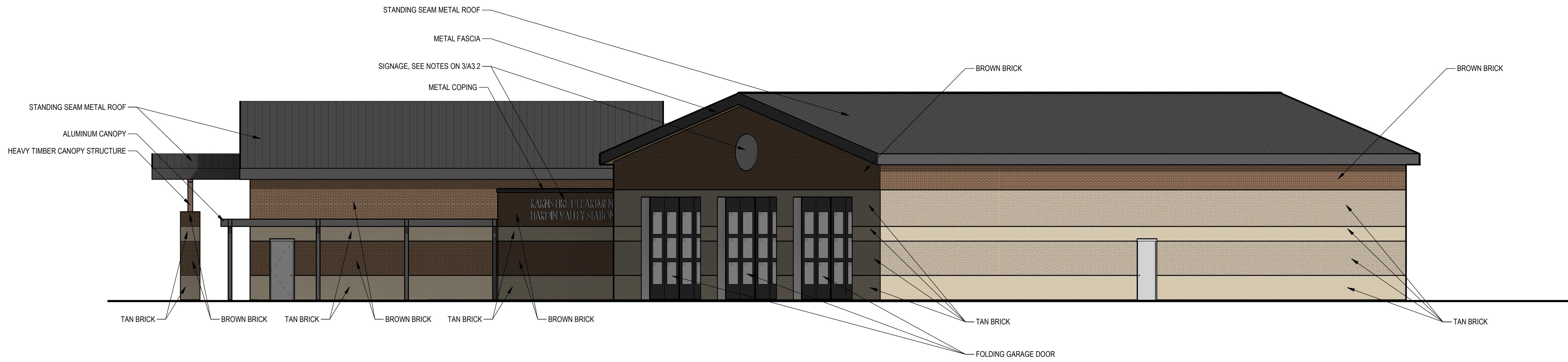
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Drawn By: Author
Checked By: Checker
File: C:\Users\williams\Documents\21104_KFD Hardin Valley HQ Fire Station_Dwelling\21104.rvt

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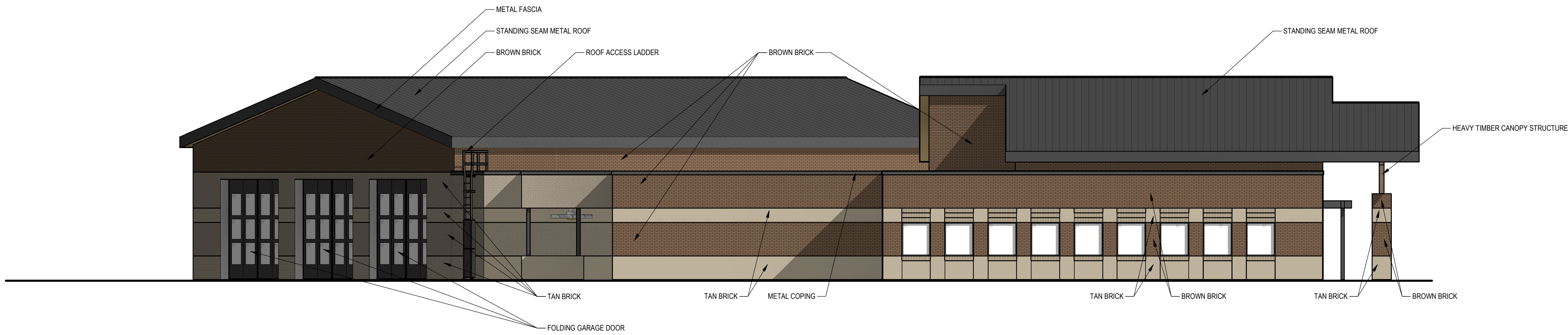
3 Elevation 1 - a
1/8" = 1'-0"



2 Side (East) Elevation
1/8" = 1'-0"



1 Side (West) Elevation
1/8" = 1'-0"



TTODA FILE #: 9-A-22-TOB (SITE)
9-B-22-TOB (SIGN)

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Knoxville, TN 37931



Project Phase: TTODA Package

Issue Date: 08/04/21

Revisions		
No.	Description	Date

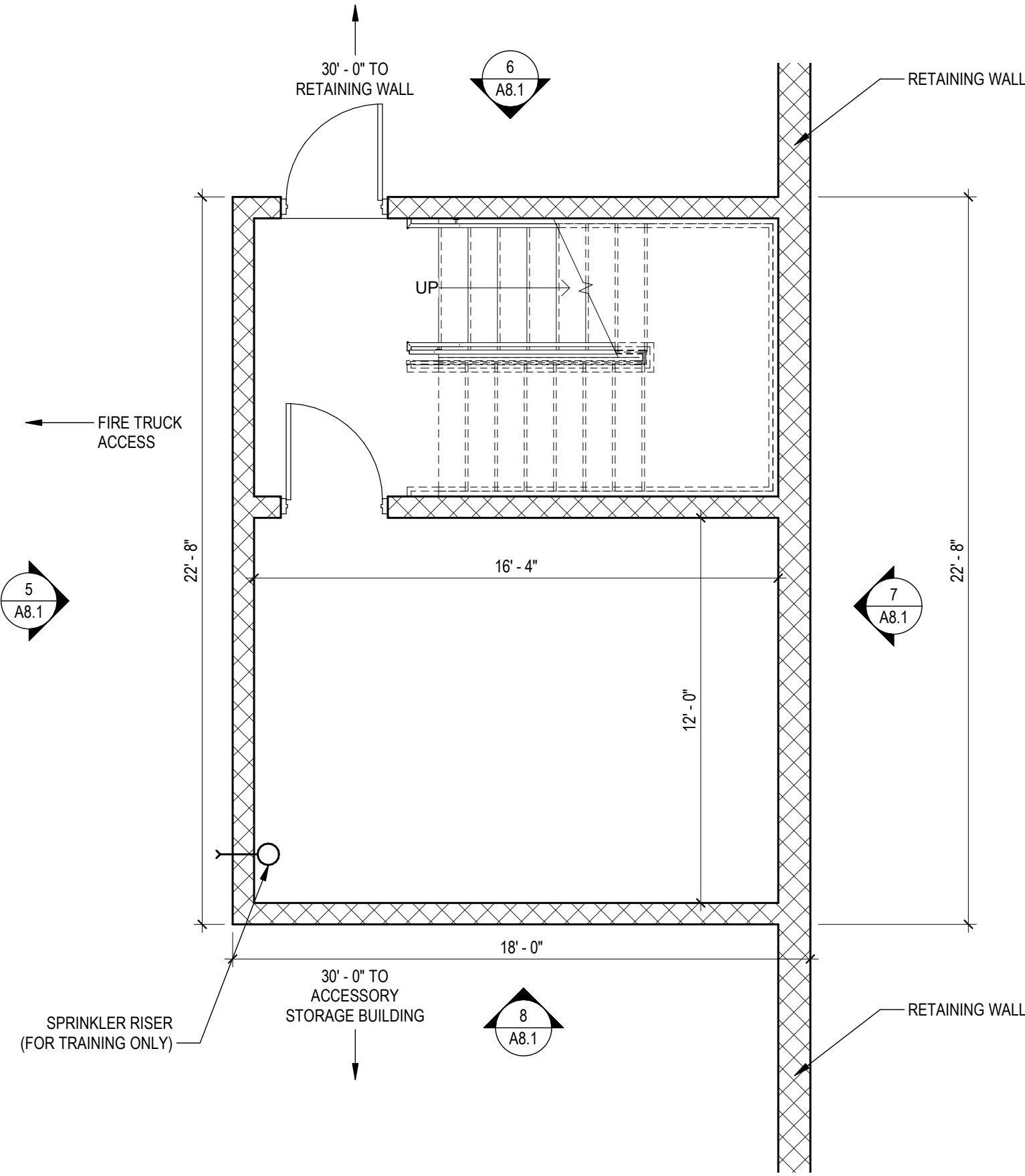
Job Number: 21104

Elevations

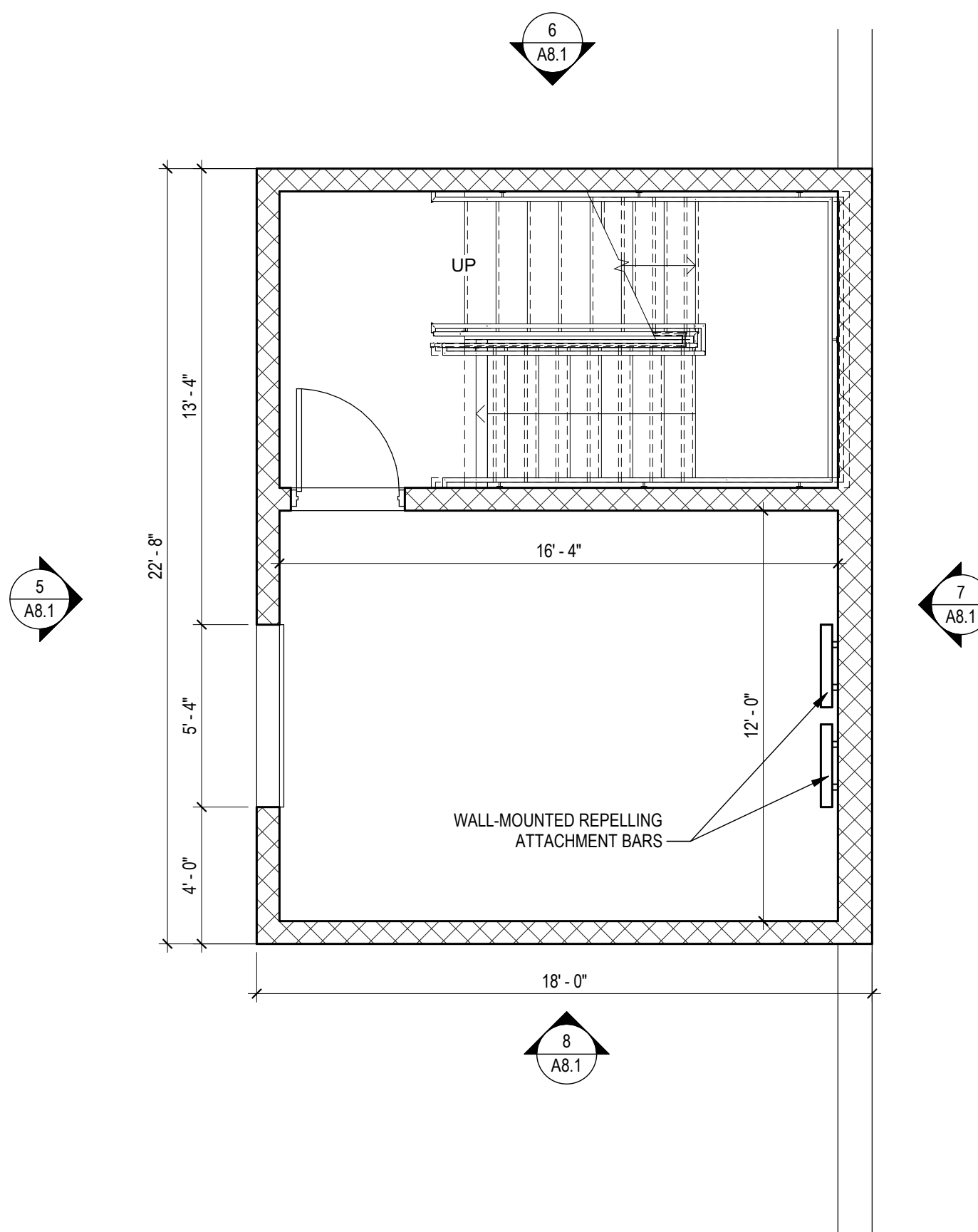
A3.2

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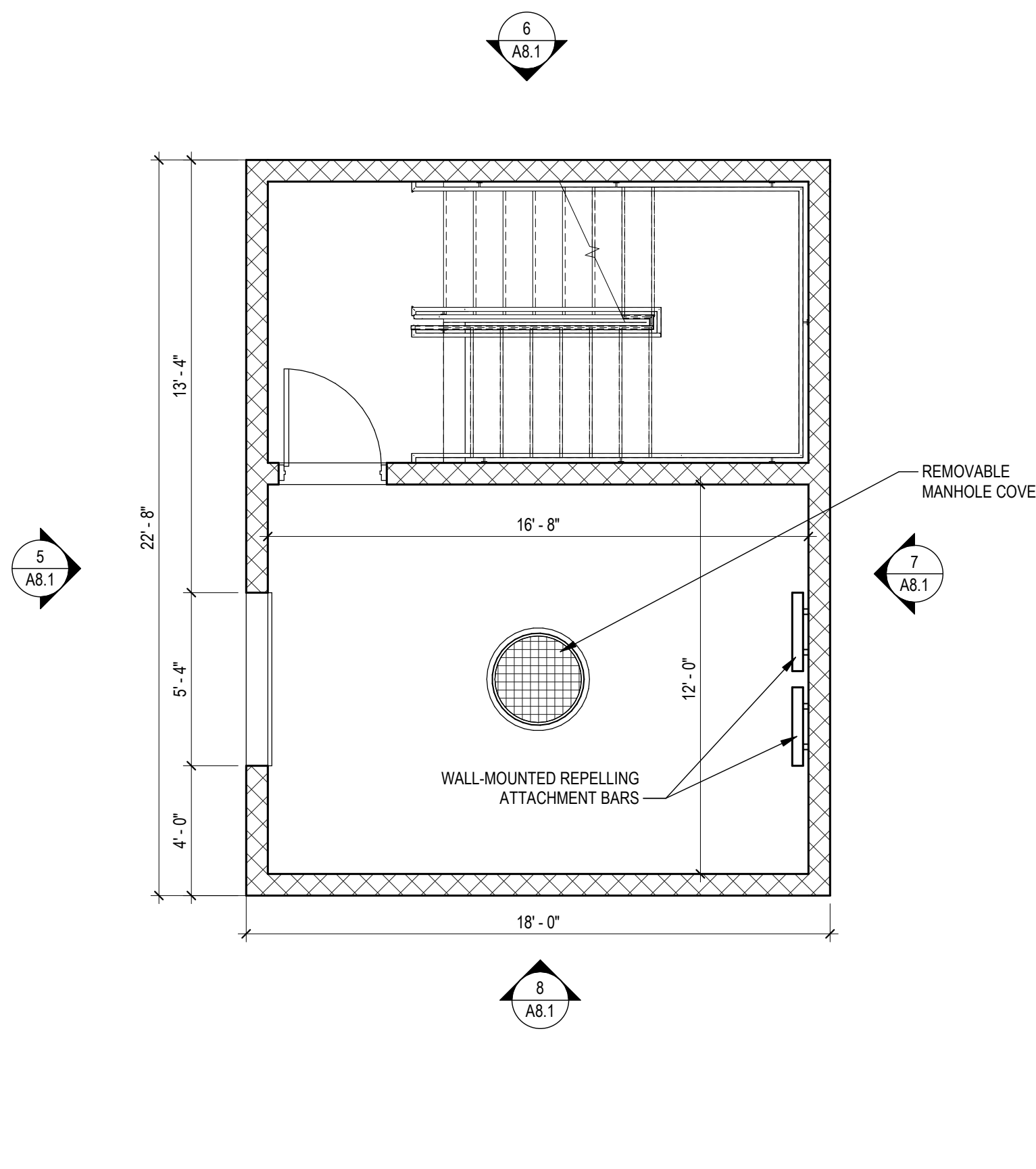
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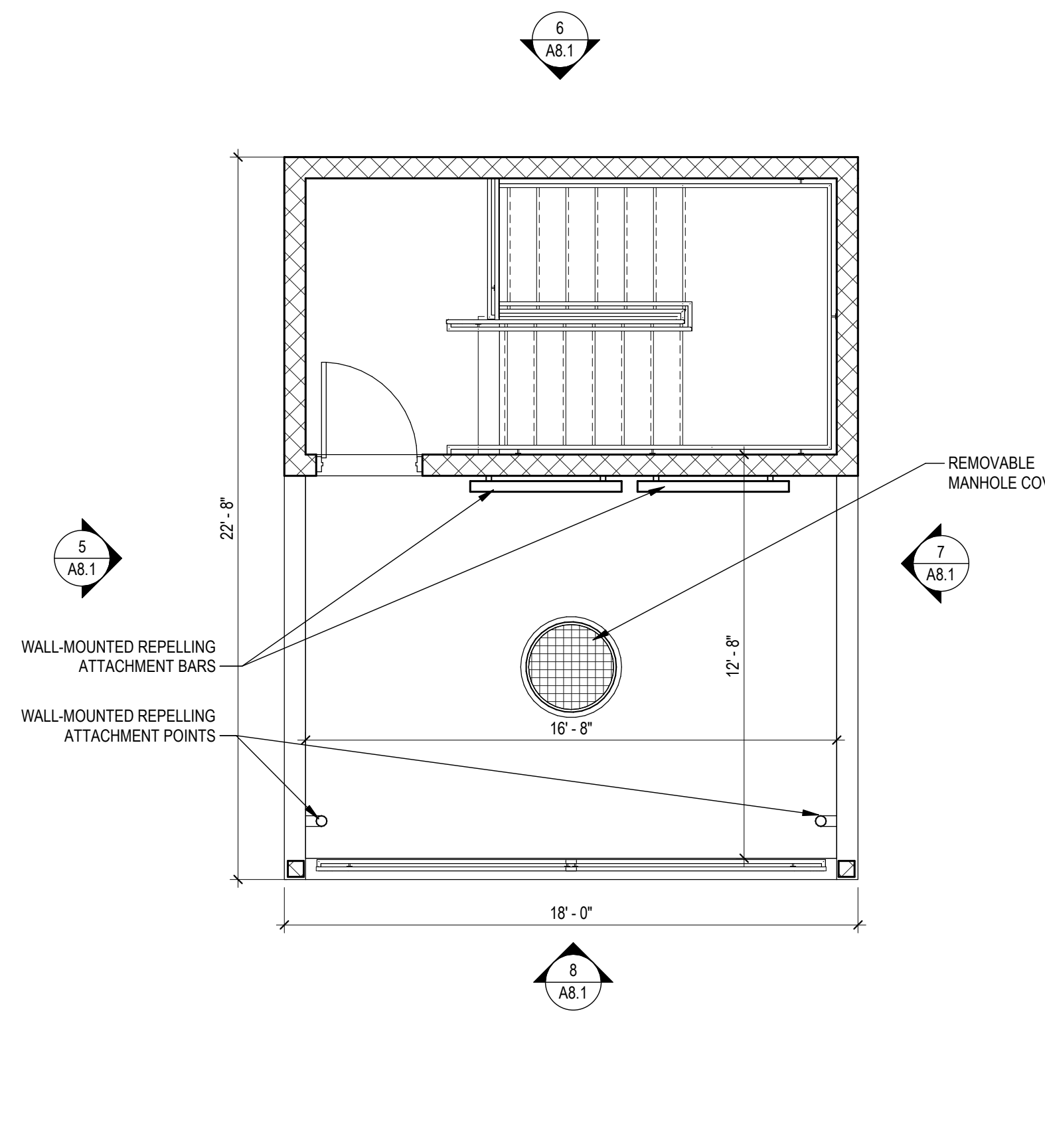
1 Tower Level 1
1/4" = 1'-0"



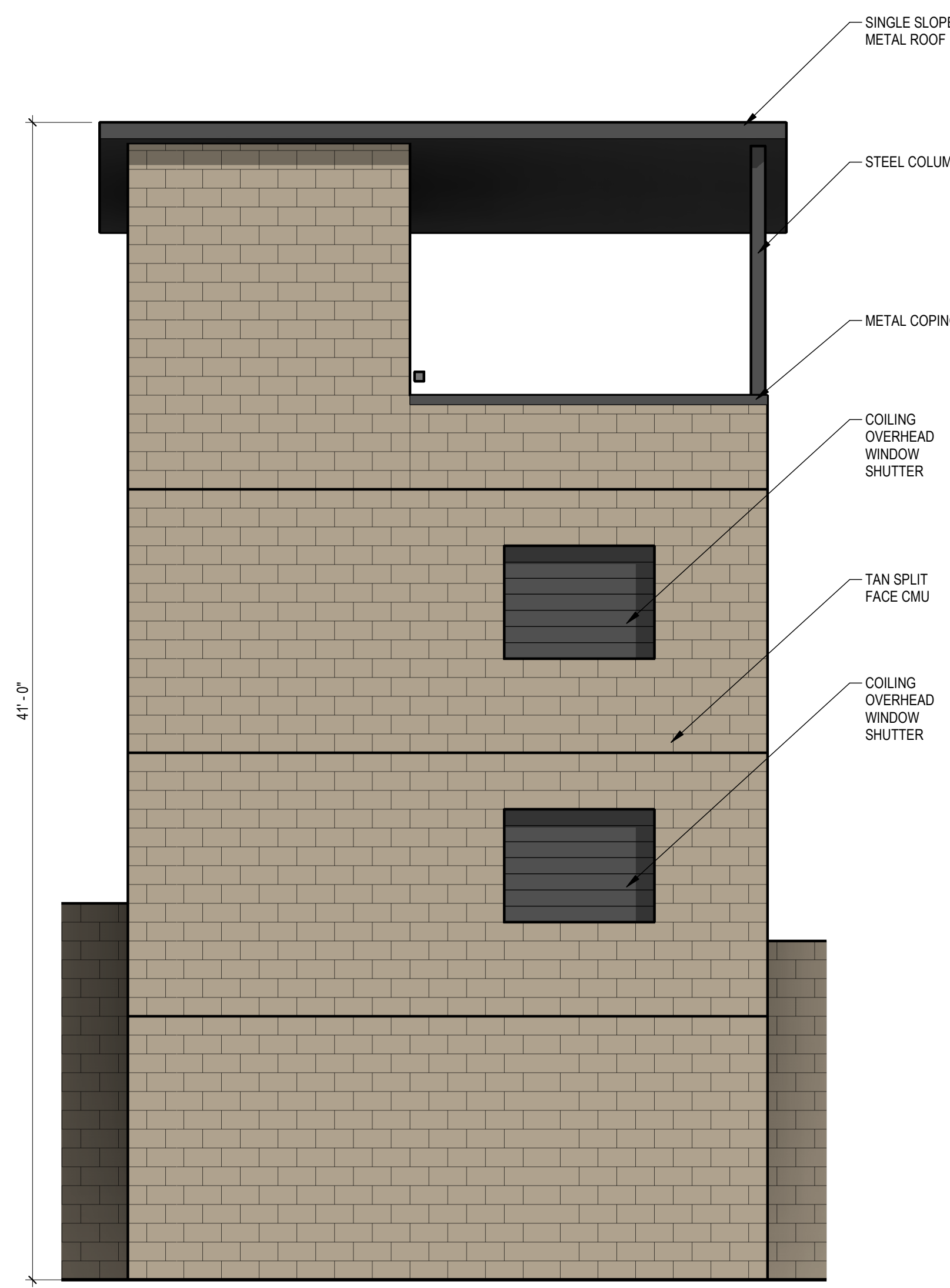
2 Tower Level 2
1/4" = 1'-0"



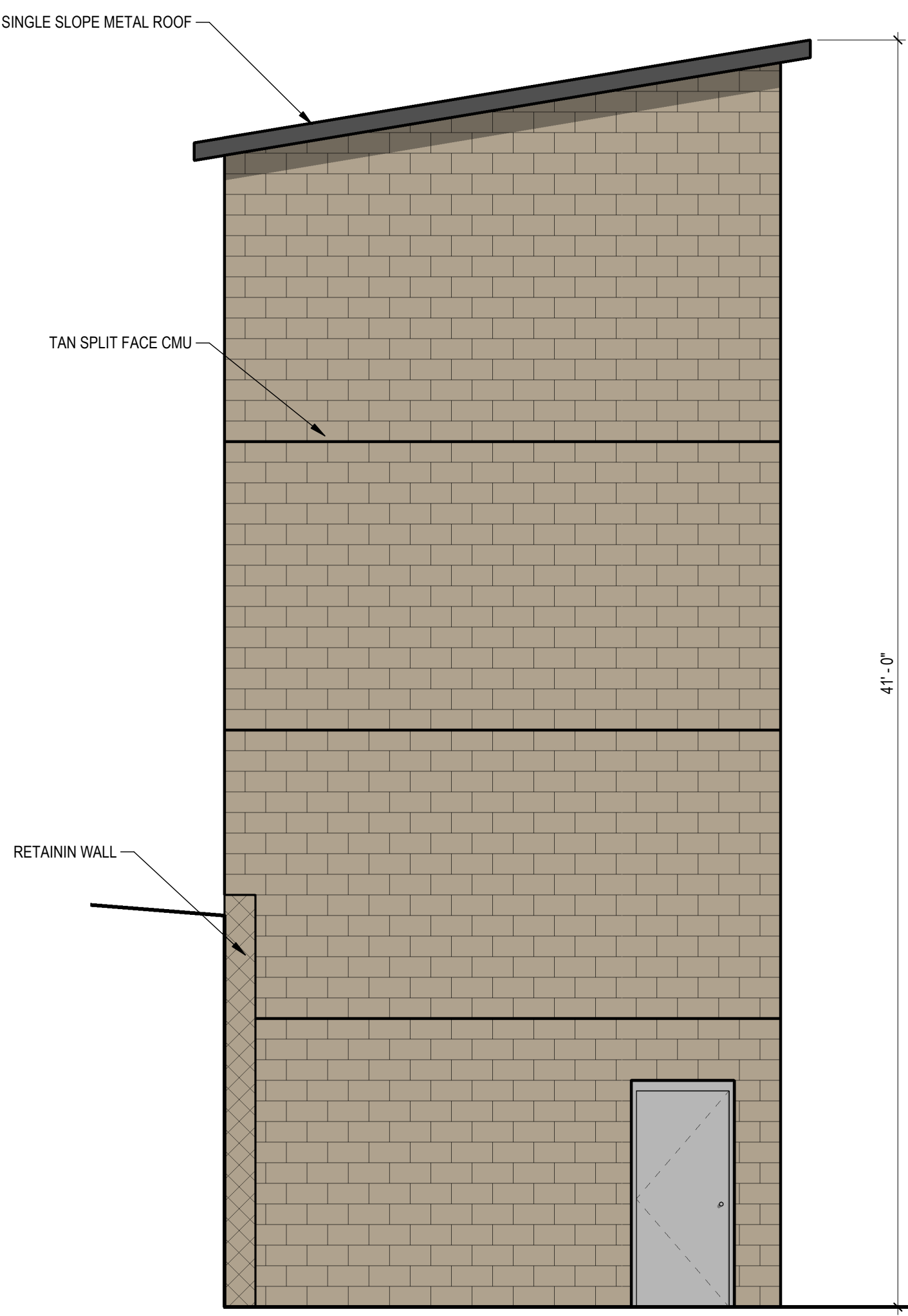
3 Tower Level 3
1/4" = 1'-0"



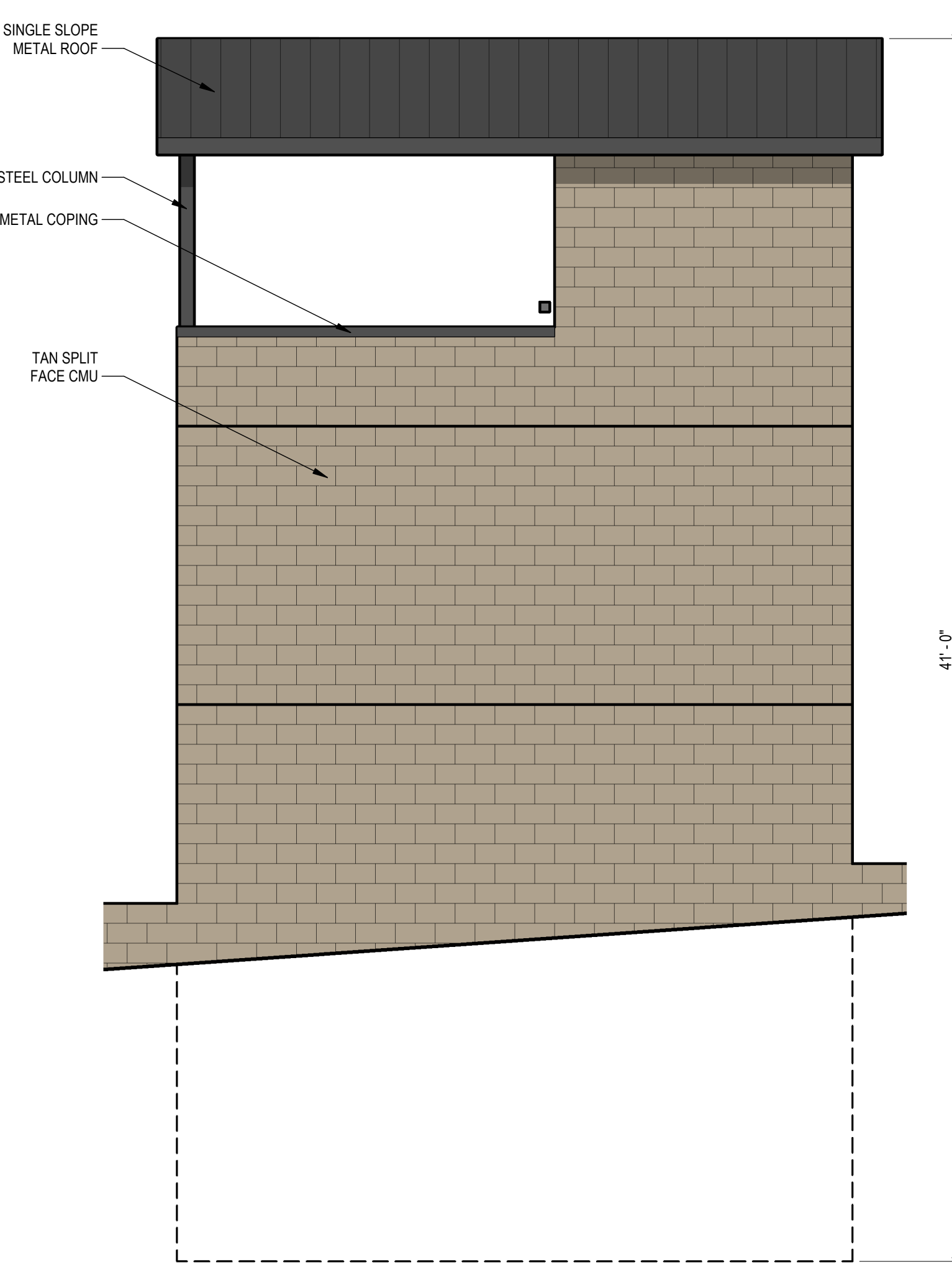
4 Tower Level 4
1/4" = 1'-0"



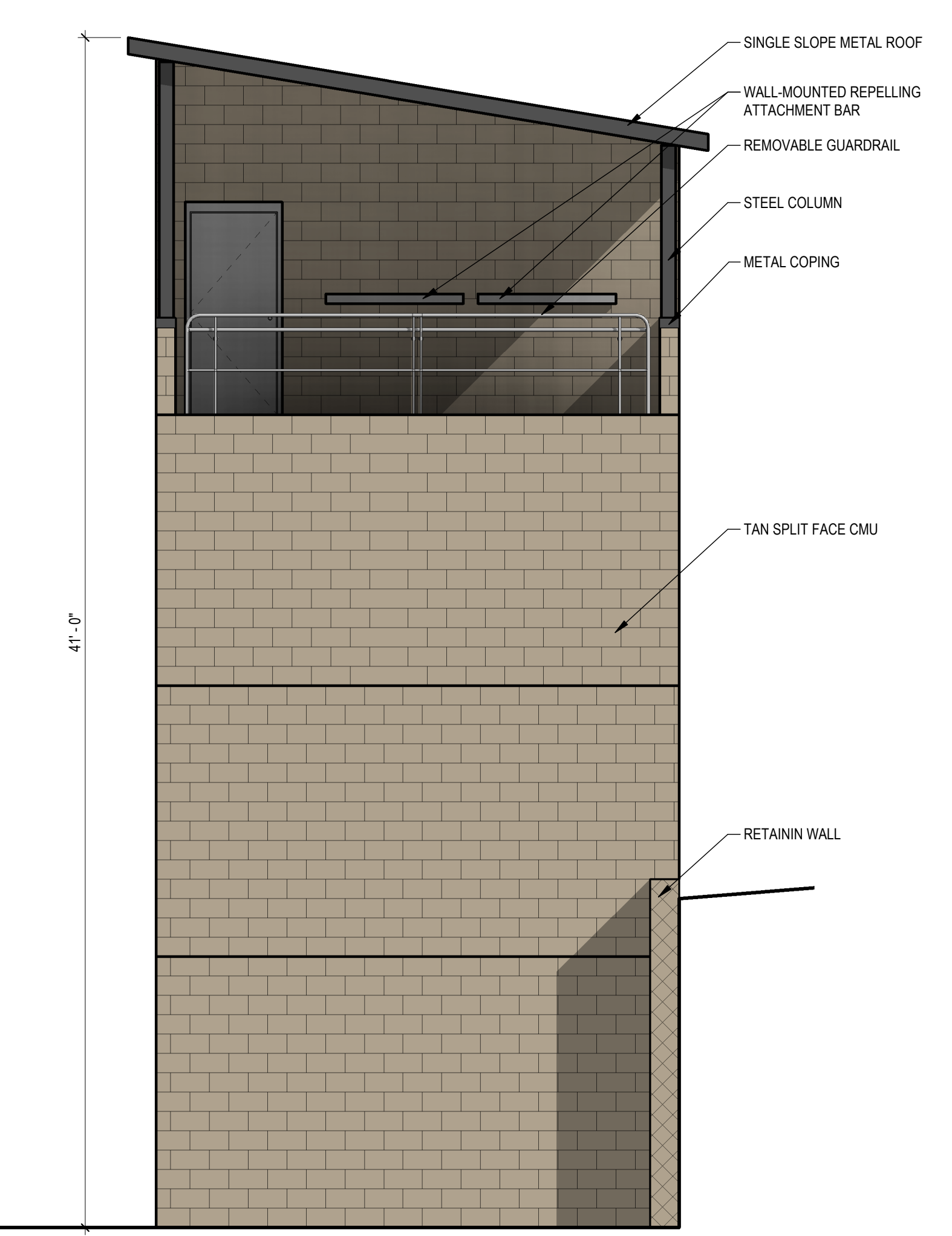
5 Tower Elevation - West
1/4" = 1'-0"



6 Tower Elevation - North
1/4" = 1'-0"



7 Tower Elevation - East
1/4" = 1'-0"



8 Tower Elevation - South
1/4" = 1'-0"

TTCCA FILE #: 9-A-22-T0B (SITE)
9-B-22-T0B (SIGN)



Project Phase: TTCCA Package

Issue Date: 06/16/22

Revisions

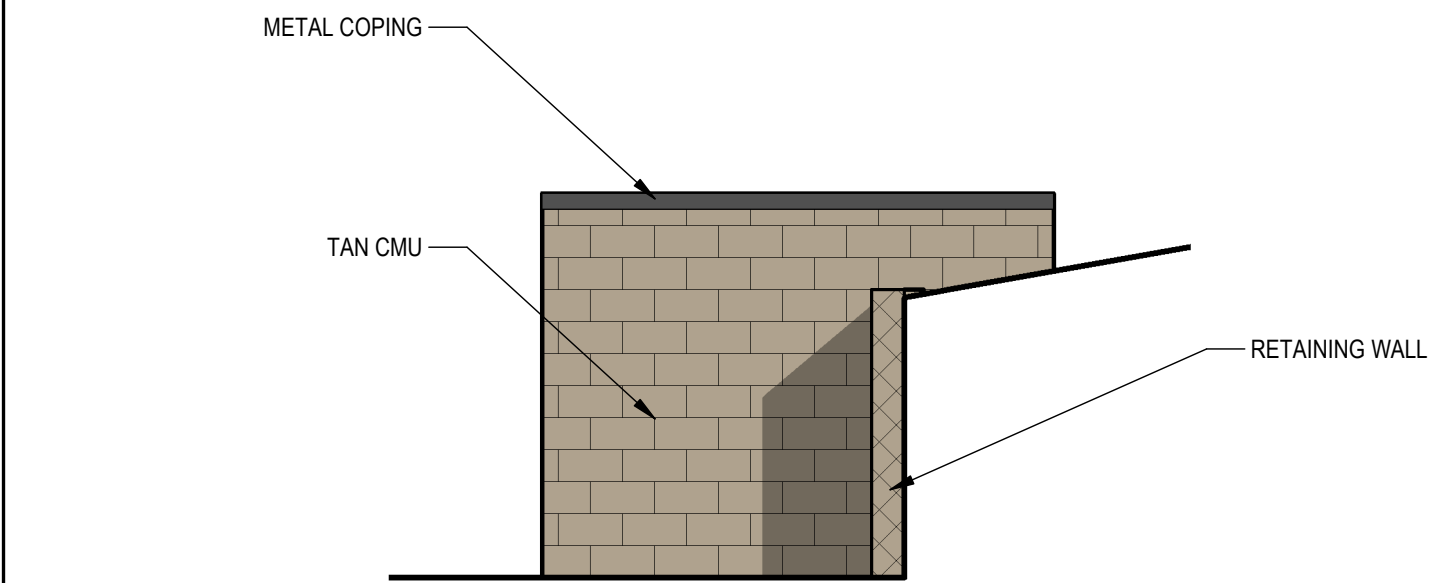
No.	Description	Date

Job Number: 21104

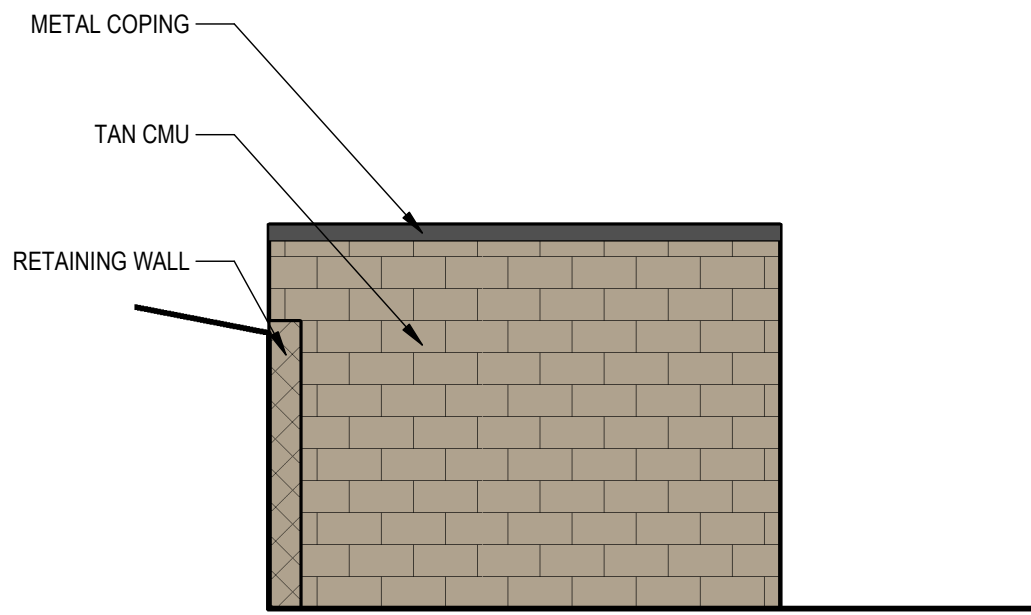
Training Tower Plan and
Elevations

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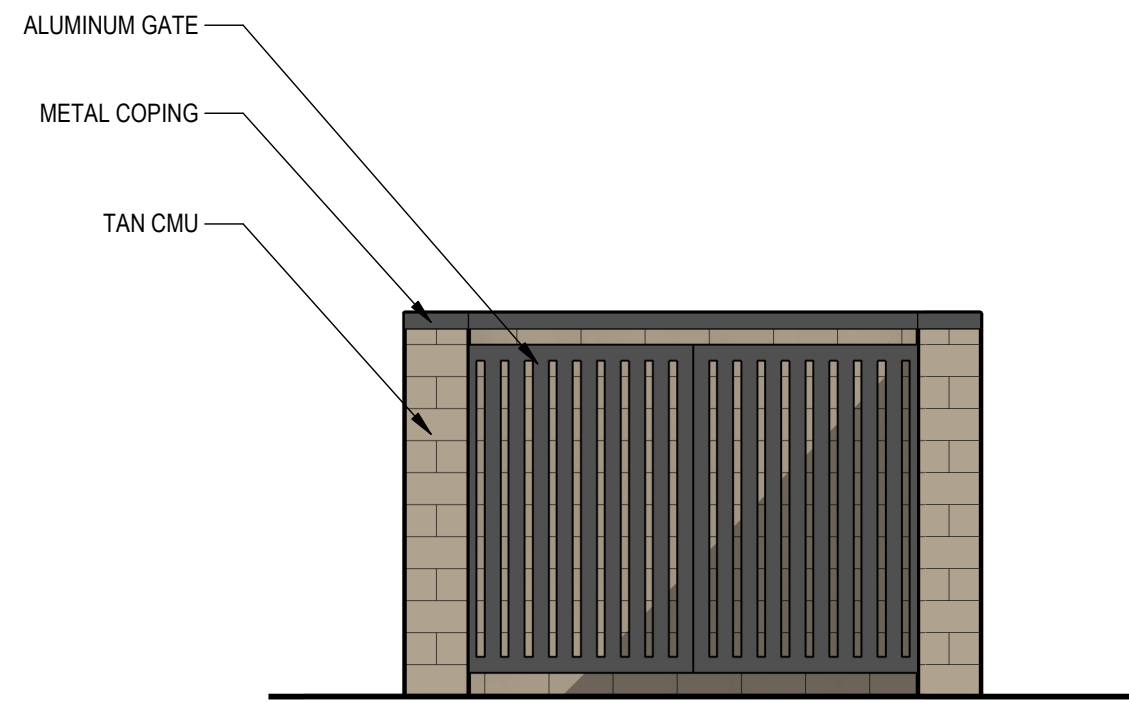
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File: C:\Users\williams\Documents\21104_KFD Hardin Valley HQ Fire Station_Dwelling\DWG\21104.rvt



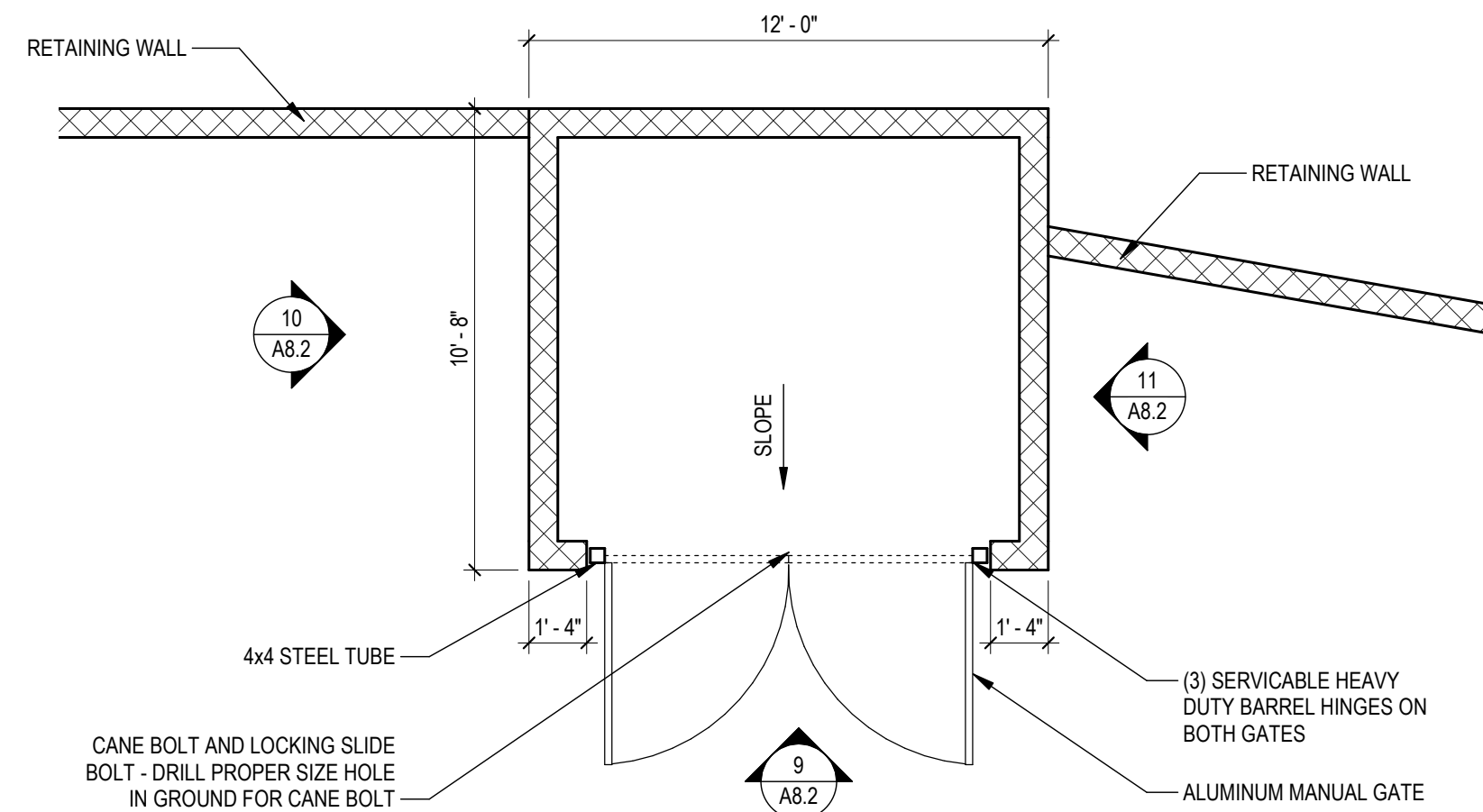
11 Dumpster Enclosure - East Elevation
1/4" = 1'-0"



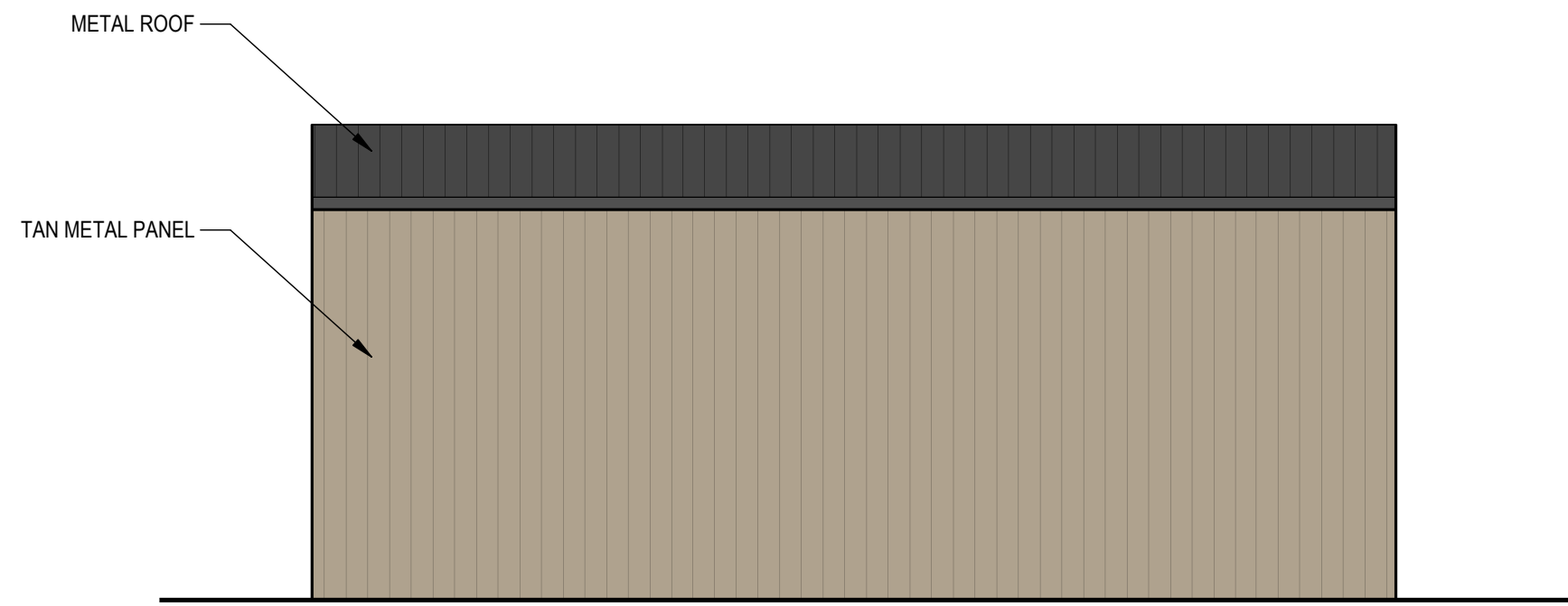
10 Dumpster Enclosure - West Elevation
1/4" = 1'-0"



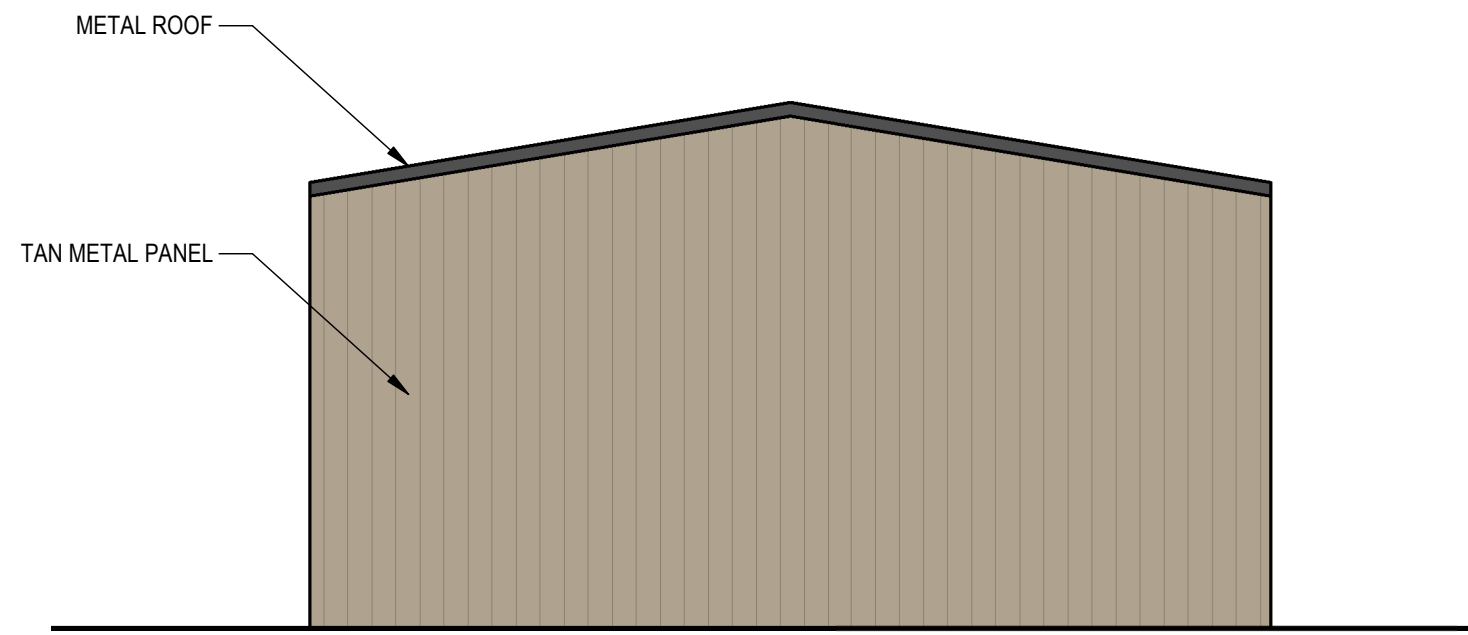
9 Dumpster Enclosure - South Elevation
1/4" = 1'-0"



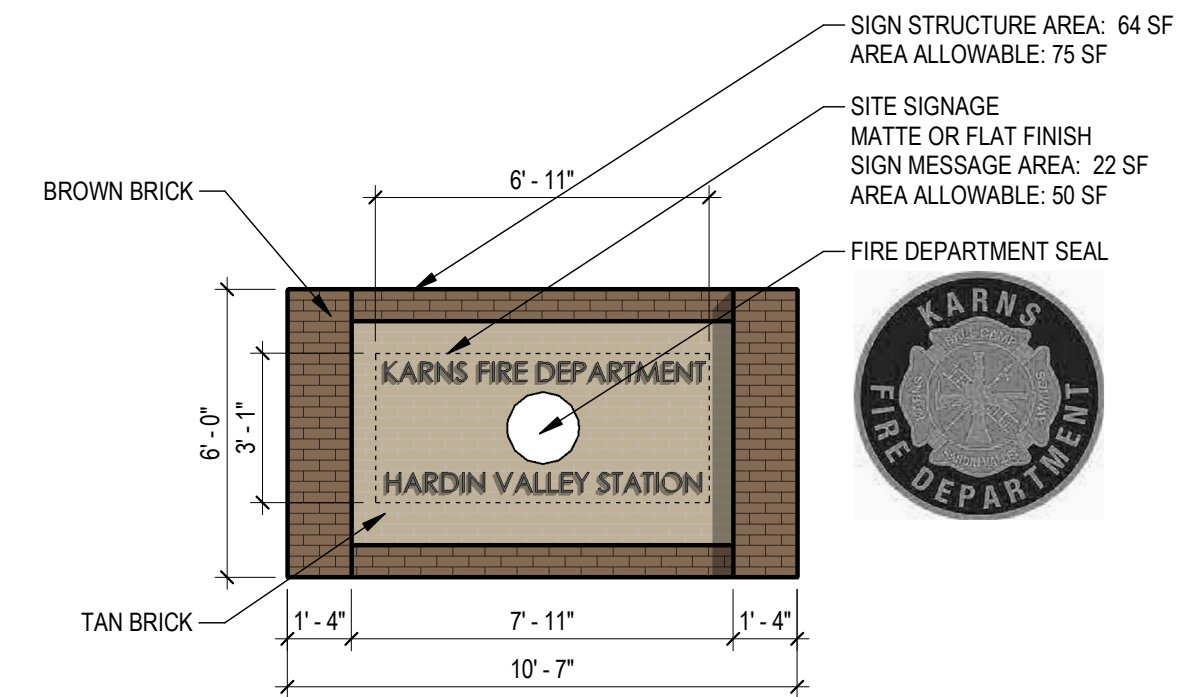
8 Dumpster Enclosure - Floor Plan
1/4" = 1'-0"



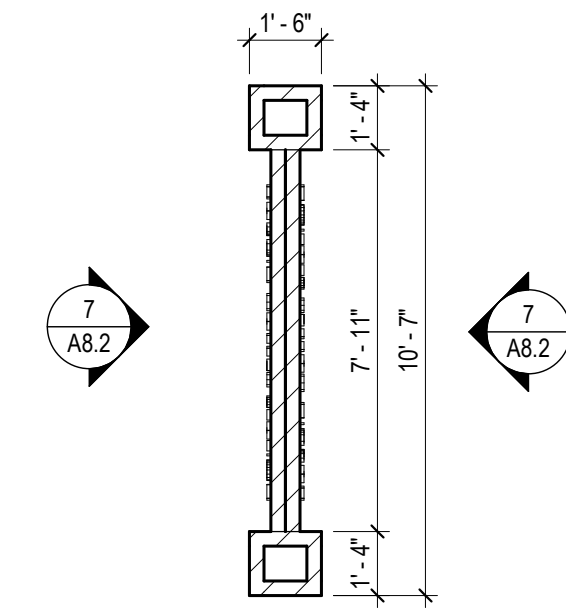
5 Accessory Storage Building - East Elevation
1/8" = 1'-0"



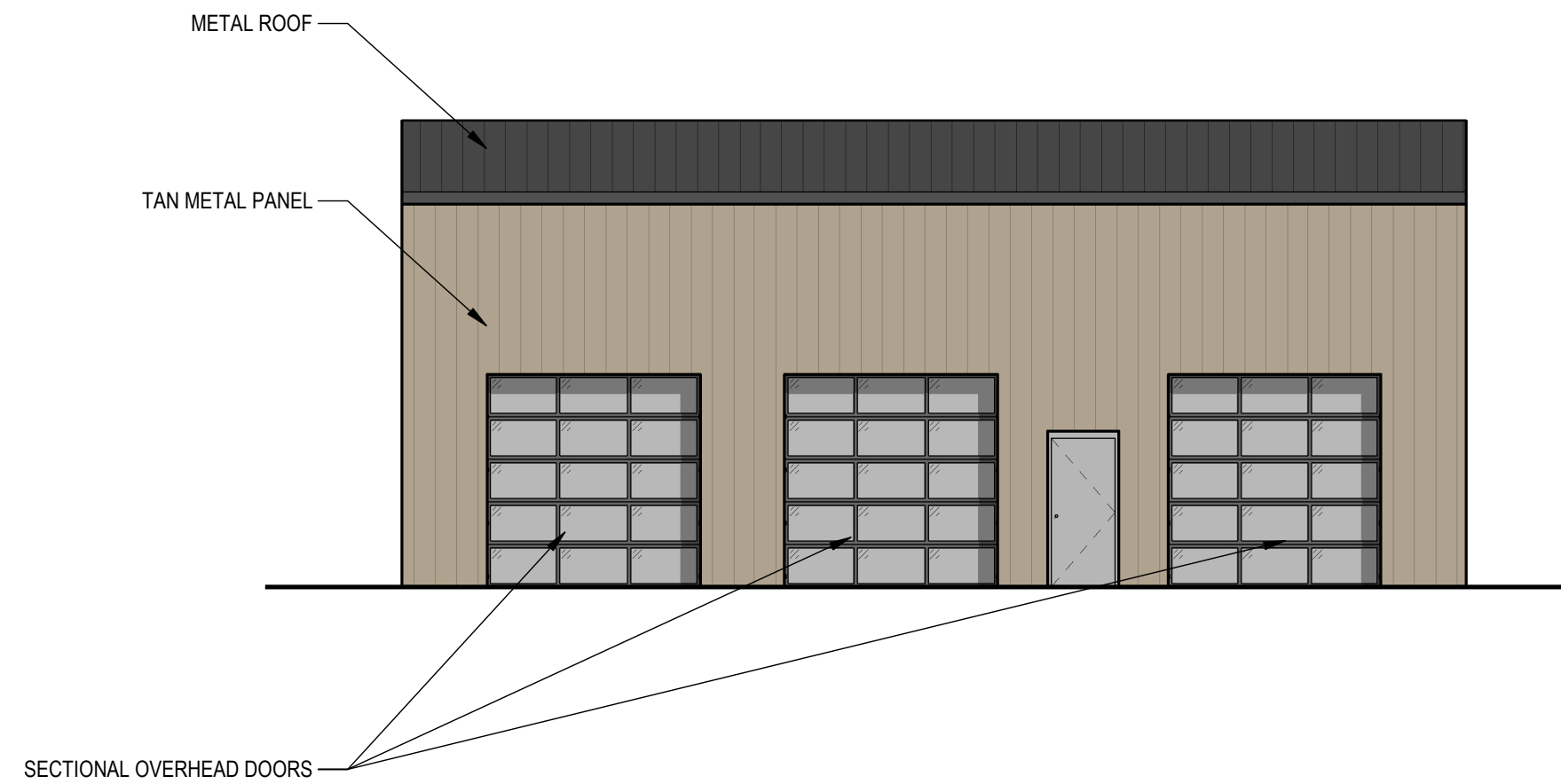
4 Accessory Storage Building - South Elevation
1/8" = 1'-0"



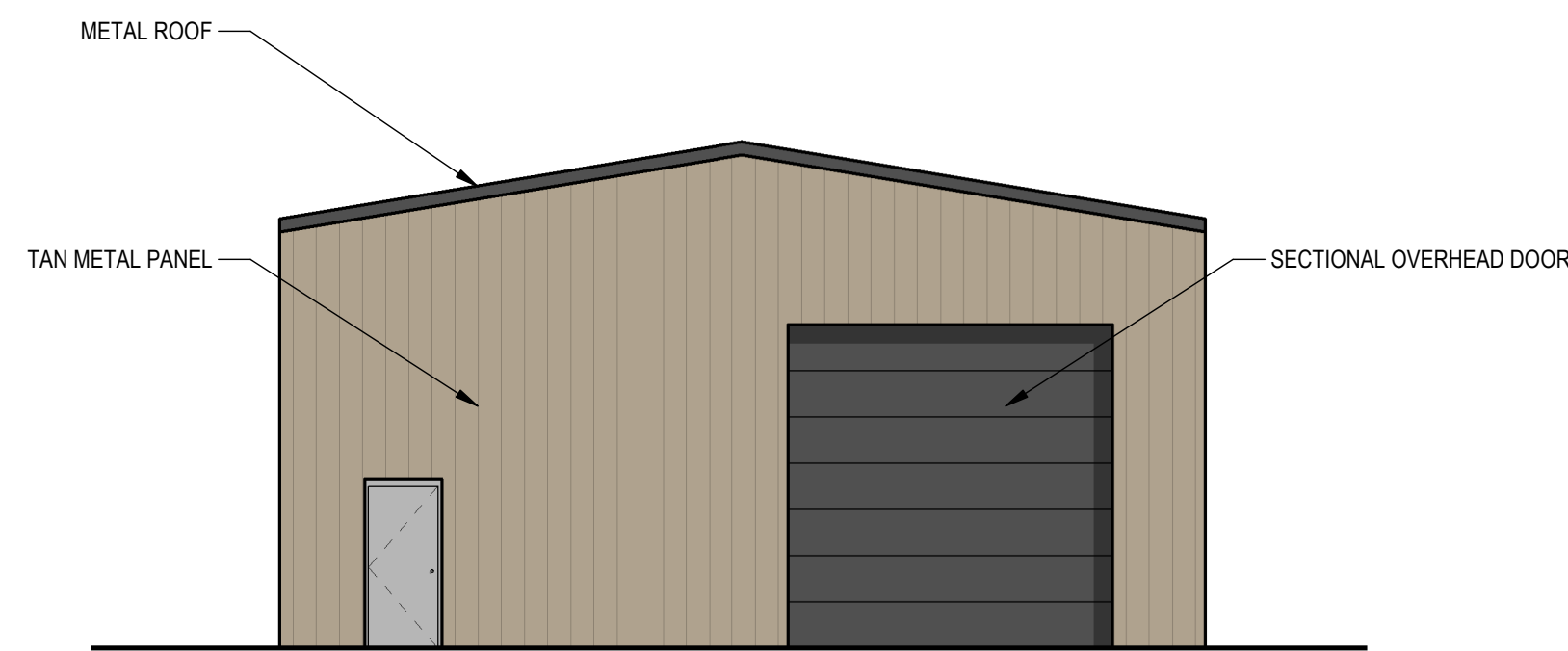
7 Monumental Sign - Side Elevation
1/4" = 1'-0"



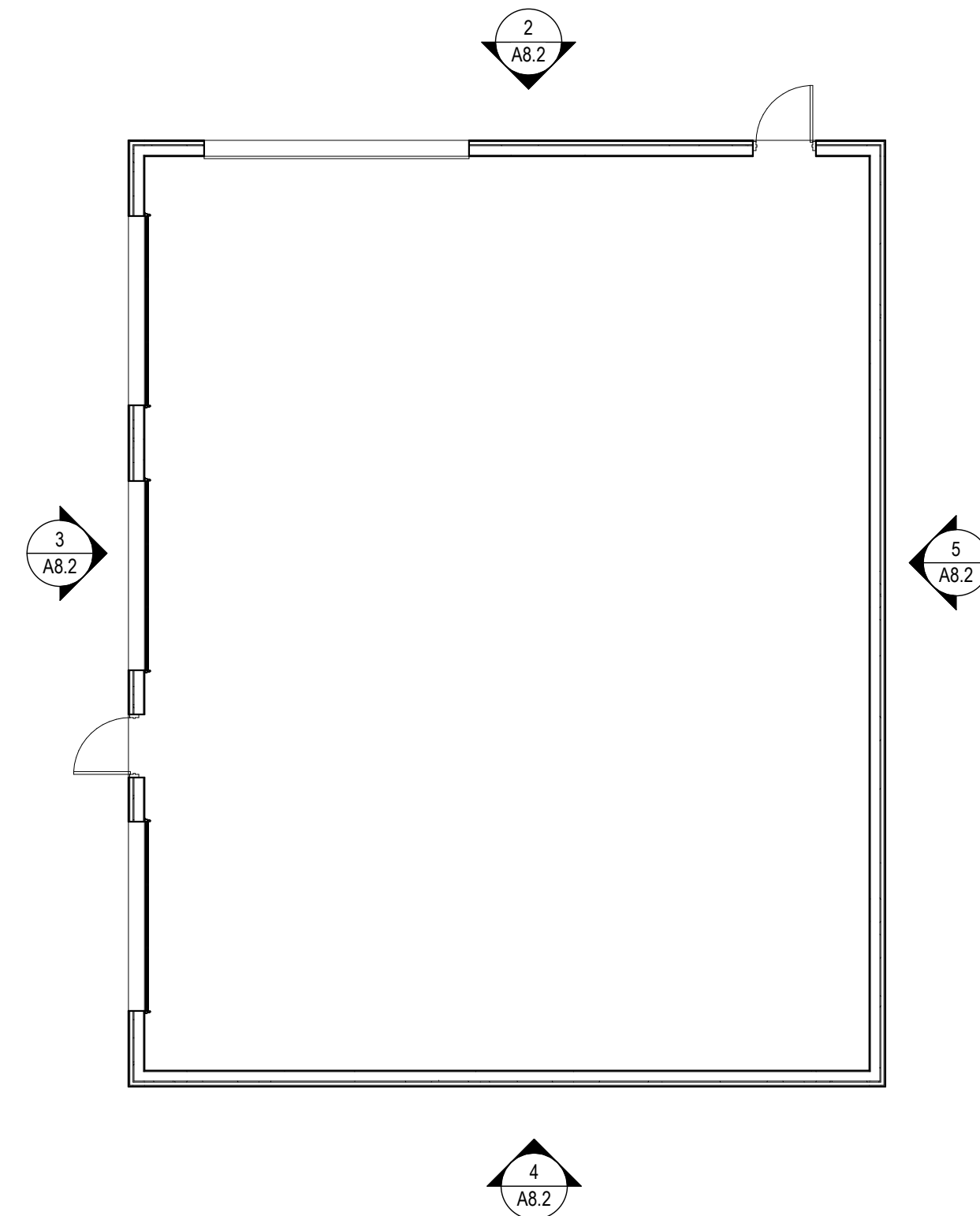
6 Monumental Sign - Floor Plan
1/4" = 1'-0"



3 Accessory Storage Building - West Elevation
1/8" = 1'-0"



2 Accessory Storage Building - North Elevation
1/8" = 1'-0"



1 Accessory Storage Building - Floor Plan
1/8" = 1'-0"

TTODA FILE #: 9-A-22-T0B (SITE)
9-B-22-T0B (SIGN)

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Project Phase: TTODA Package		
Issue Date: 06/21/22		
Revisions		
No.	Description	Date

Job Number: 21104

Accessory Storage
Building, Dumpster
Enclosure, & Signage

A8.2