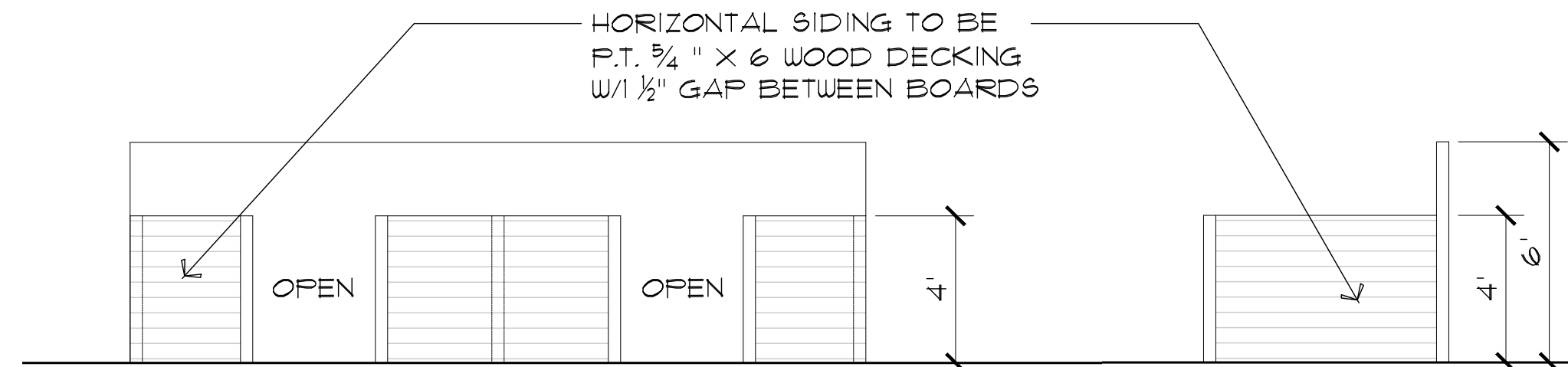
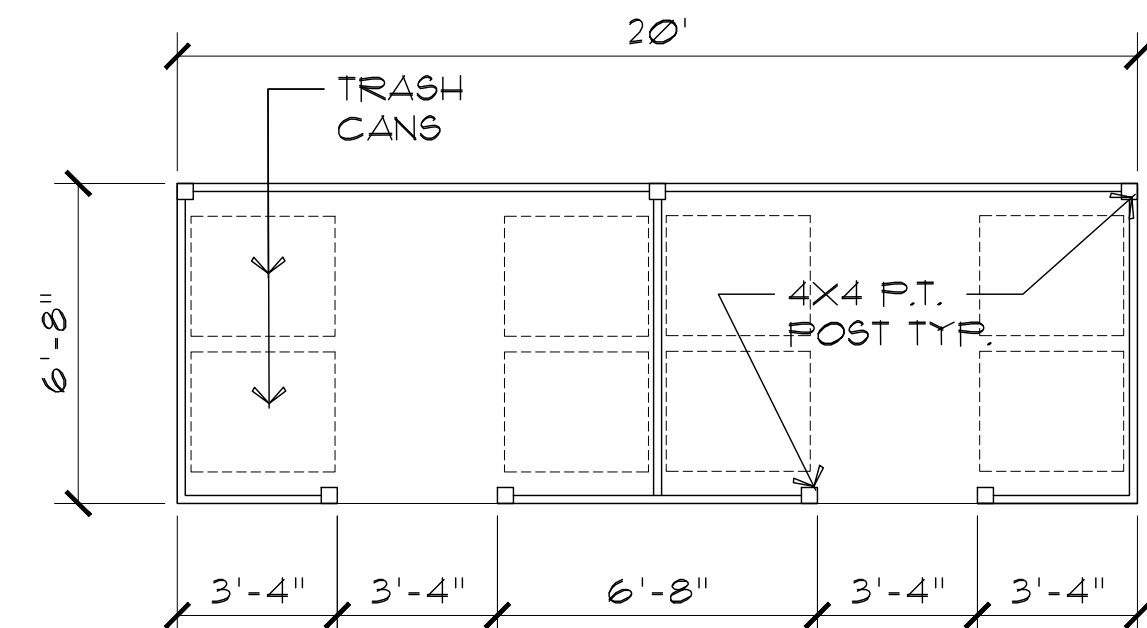


1 LANDSCAPE PLAN
LPI.1
SCALE: 1/4"=1'



2 ELEVATION
LPI.1
SCALE: 1/4"=1'



3 ELEVATION
LPI.1
SCALE: 1/4"=1'

4 TRASH ENCLOSURE PLAN
LPI.1
SCALE: 1/4"=1'

1. ALL SITE WORK AND LANDSCAPE INSTALLATION SHALL CONFORM WITH ALL APPLICABLE LOCAL STATE AND FEDERAL CODES, ORDINANCES, AND REGULATIONS.
2. CONTRACTOR SHALL CONTACT LOCAL UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION PRIOR TO COMMENCING WORK.
3. EXCAVATION AND PLANTING IN THE VICINITY OF UNDERGROUND UTILITIES MUST BE DONE WITH EXTREME CAUTION AND BY HAND IF NECESSARY.
4. THE LANDSCAPE INSTALLER MUST HAVE A MINIMUM OF 5 YEARS OF EXPERIENCE AND MUST BE APPROVED BY THE OWNER.
5. UNSUITABLE SOIL, EXCESS FILL DIRT, TRASH, DEBRIS, AND ALL BRUSH AND VEGETATION REMOVED FOR CONSTRUCTION SHALL BE REMOVED FROM SITE PROMPTLY AND LEGALLY DISPOSED OF.
6. TOPSOIL SHALL BE REMOVED FROM AREAS TO BE EXCAVATED AND STOCK PILED AND PROTECTED FROM RUN OFF.
7. PROVIDE CONTINUOUS METAL EDGING AT PERIMETER OF ALL LANDSCAPE BEDS BETWEEN BED AND LAWN AREAS.
8. CONTRACTOR SHALL DE-COMPACT SOILS IN PLANTING AREAS BY ROTO-TILLING, DISKING, OR RIPPING TO A DEPTH OF 6 TO 8 INCHES MINIMUM. THE SOIL SHALL THEN BE EVALUATED AND AMENDED AS REQUIRED TO SUPPORT HEALTHY GROWTH OF THE PLANT MATERIAL.
9. HOLES FOR TREE BALLS AND SHRUBS SHALL BE OVER EXCAVATED ON SIDES AND BOTTOM FOR FILL WITH SUITABLE SOIL. GRAVEL OR OTHER MATERIAL FOR DRAINAGE MAY BE REQUIRED TO PREVENT THE ACCUMULATION OF WATER WITHIN THE EXCAVATED AREA TO PREVENT ROOT ROT.
10. DISTURBED AREAS TO BECOME LAWN WILL HAVE TOPSOIL AND BE SEEDED WITH GRASS AND STRAW. GRASS TO BE KENTUCKY 31 - FESCUE.
11. UNDISTURBED AREAS SHALL BE OVERSEEDED WITH GRASS SEED AND STRAW.
12. AT NORTH PROPERTY CORNER ALONG COMMON PROPERTY, LINE WITH ADJACENT PROPERTY, THERE ARE THREE EXISTING MATURE TREES, 24 INCH DIAMETER OR GREATER. EVERY REASONABLE EFFORT SHALL BE MADE TO RETAIN THESE TREES FOR THE DURATION OF THE PROJECT. THESE TREES MAY CONTRIBUTE TO A REDUCTION IN THE OVERALL TREE REQUIREMENT. THEY HAVE NOT BEEN INCLUDED IN A REDUCTION CALCULATION AT THIS TIME.
13. PARKING CALCULATION IS AS FOLLOWS. FOR MULTI FAMILY DWELLING UNIT 2 BR, 125 SPACES PER UNIT +2 PER UNIT FOR GUEST EQUALS 5 AT 125 EQUALS 6.25+5 AT 2 EQUALS 1 TOTAL EQUALS 125 SPACES. 3BR, 15 SPACES PER UNIT PLUS 2 PER GUEST EQUALS 1 + 15 PLUS 1 + 2 EQUALS I.T. THE TOTAL REQUIRED SPACES 8.95 OR 9 . TRANSIT PROXIMITY REDUCTION 30% X 9 REQUIRED EQUALS 6 REQUIRED SPACES .
14. WHERE 6 FOOT HIGH METAL WIRE FENCE IS CALLED FOR PROVIDE OMEGA LL ARCHITECTURAL POWDER COATED, SIX GAUGE WIRE, MESH, FENCING, OR EQUAL.

LANDSCAPE REQUIREMENTS

PARKING LOT PERIMETER - EXEMPT UNDER 10,000 SF

LANDSCAPE YARD

INTERIOR PARKING LOT LANDSCAPING- 2 TREES REQUIRED

SITE LANDSCAPE- MLK JR AVENUE- 63 LF X 60% = 37.8 OR 38 -- 3 = 12.6 OR 13

FOUNDATION LANDSCAPE

SHRUBS = 13
(60% OF REQUIREMENT)
TREES= 1-(EVERGREEN)

HEMBREE STREET- 56 LF X 60% = 33.6 OR 34 -- 3 = 11.33 OR 11

SHRUBS = 11
TREES= 0

BUFFER YARDS (CLASS A)-35

LF= 6 SHRUBS (3 EVERGREEN),
1 TREE (EVERGREEN)



HUTCHINS
ASSOCIATES
P.C.

4625 NEWCOM AVE.

KNOXVILLE, TN. 37919

865 - 584 - 1809

PLAN
#9-A-23-SU

1 REVISIONS 8/28/23

APARTMENTS AT
2735 MARTIN LUTHER KING
AVENUE
KNOXVILLE, TENNESSEE 37914

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Job No: 2303

Drawn By: KAE

Original Issue Date: 08/07/2023

Revisions:

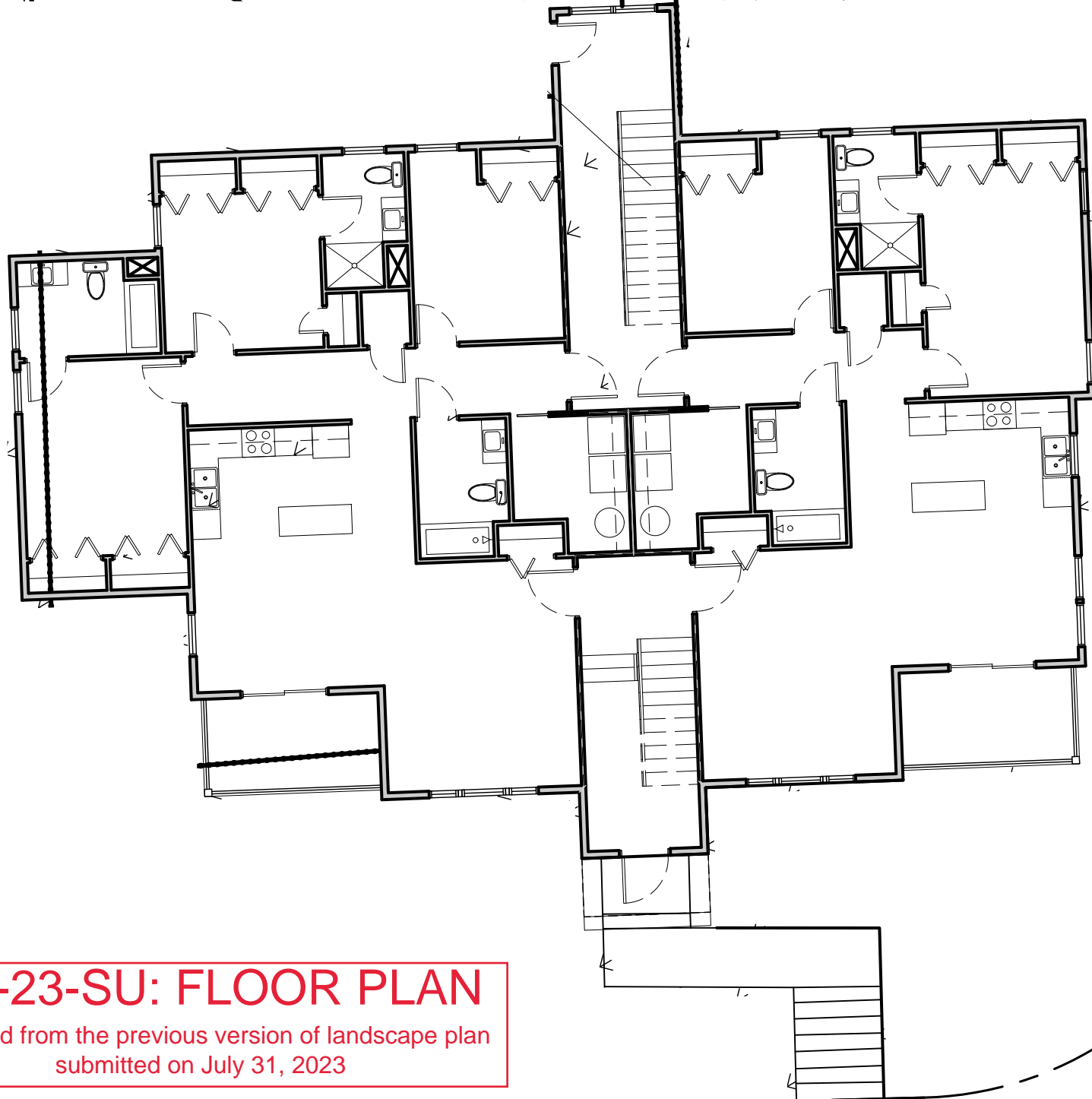
No.	Date	Description

LANDSCAPE
PLAN

LPI.1

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8-28-23



9-A-23-SU: FLOOR PLAN

Extracted from the previous version of landscape plan
submitted on July 31, 2023

GENERAL ELEVATION NOTES:

1. FOR WINDOW/ DOOR TYPES AND SIZES SEE SCHEDULES ON SHEET A6.1
2. SEE ROOF PLAN FOR LOCATIONS OF VENTS/ PENETRATIONS.
3. GUTTERS TO BE 5" K STYLE ALUMINUM WITH BAKED ENAMEL FINISH IN 21 ALUMINUM. PROVIDE 2"x3" SQUARE CORRUGATED ALUMINUM CONDUCTORS. ATTACH GUTTERS W/ CONCEALED HANGARS W/ SCREWS.
4. FIBER CEMENT SIDING TO BE MOUNTED ON OSB BOARD W/ VAPOR RETARDER/HOUSEWRAP.
5. ALL EXTERIOR SIDING AND TRIM AND SOFFIT MATERIALS SHALL BE FIBER CEMENT. ACCEPTABLE MANUFACTURERS ARE JAMES HARDY AND NICHHA. EXPOSURE ON SIDING AND TRIM BOARD SIZES SHALL BE AS NOTED ON DRAWINGS AND DETAILS. ALL EXTERIOR FIBER CEMENT PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SHALL BE FLASHED AND CAULKED ACCORDINGLY.
6. FARGING ON ALL FOUNDATION BLOCK SHALL BE POLYMER BASED CEMENT STUCCO. FARGING SHALL EXTEND BELOW GRADE TO TOP OF FOOTING.
7. MASONRY WALLS SHALL HAVE NOT LESS THAN 3/8 INCH PORTLAND CEMENT FARGHING APPLIED TO THE EXTERIOR OF THE WALL. FARGHING SHALL BE DAMPPROOFED WITH 3 POUNDS PER SQUARE YARD OF ACRYLIC MODIFIED CEMENT.
8. THE TRANSPARENCY PERCENTAGE FOR THE FRONT ELEVATION FACING MARTIN LUTHER KING JR. AVE IS 28.0%.

9-A-23-SU
8-28-23



2
A4.1
REAR ELEVATION
SCALE: 1/4"=1'



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Revisions:
No. Date Description

ELEVATIONS

A4.1

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1 REVISIONS 8/28/23

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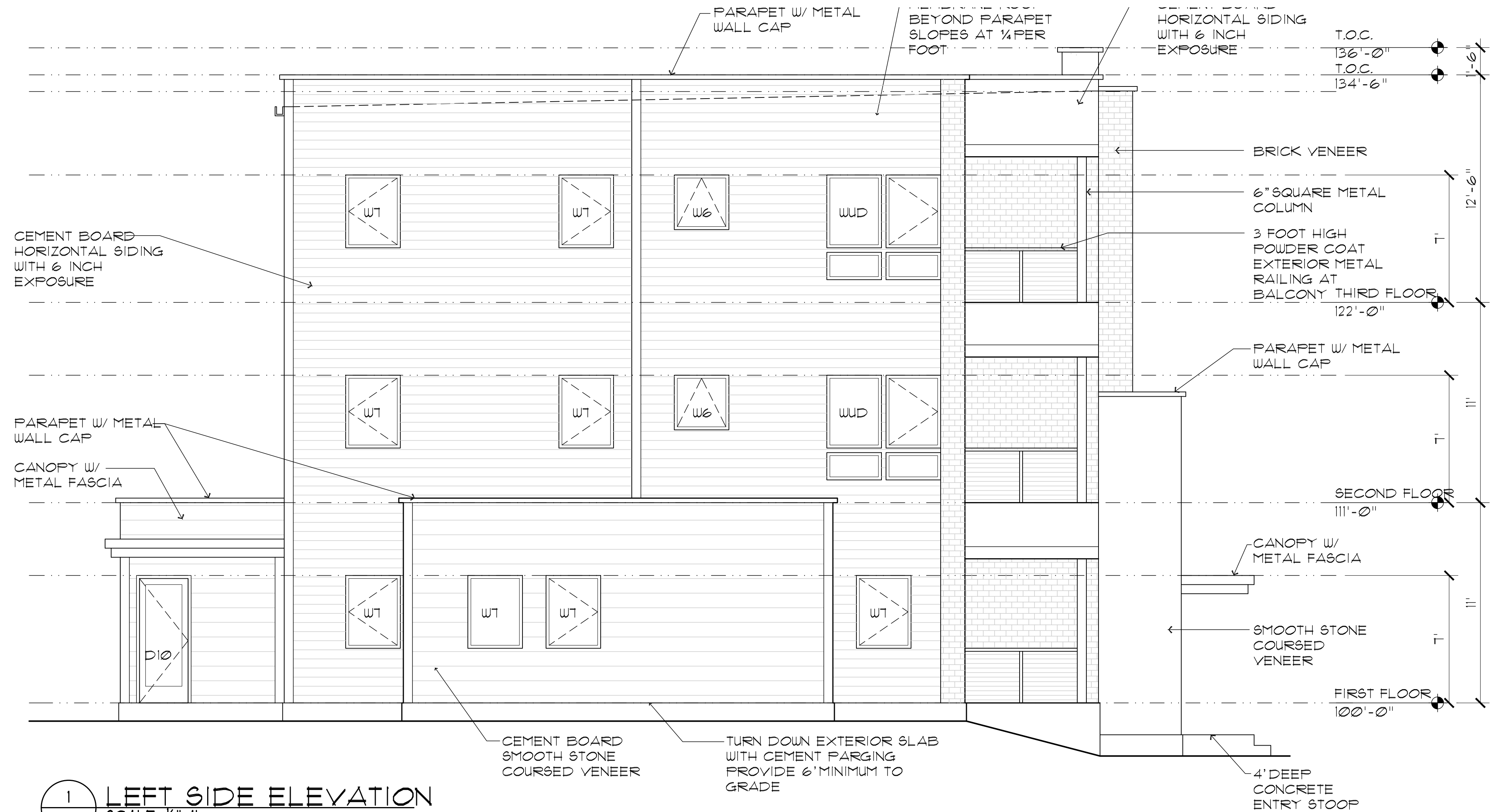
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08/01/2023

Revisions:		
No.	Date	Description

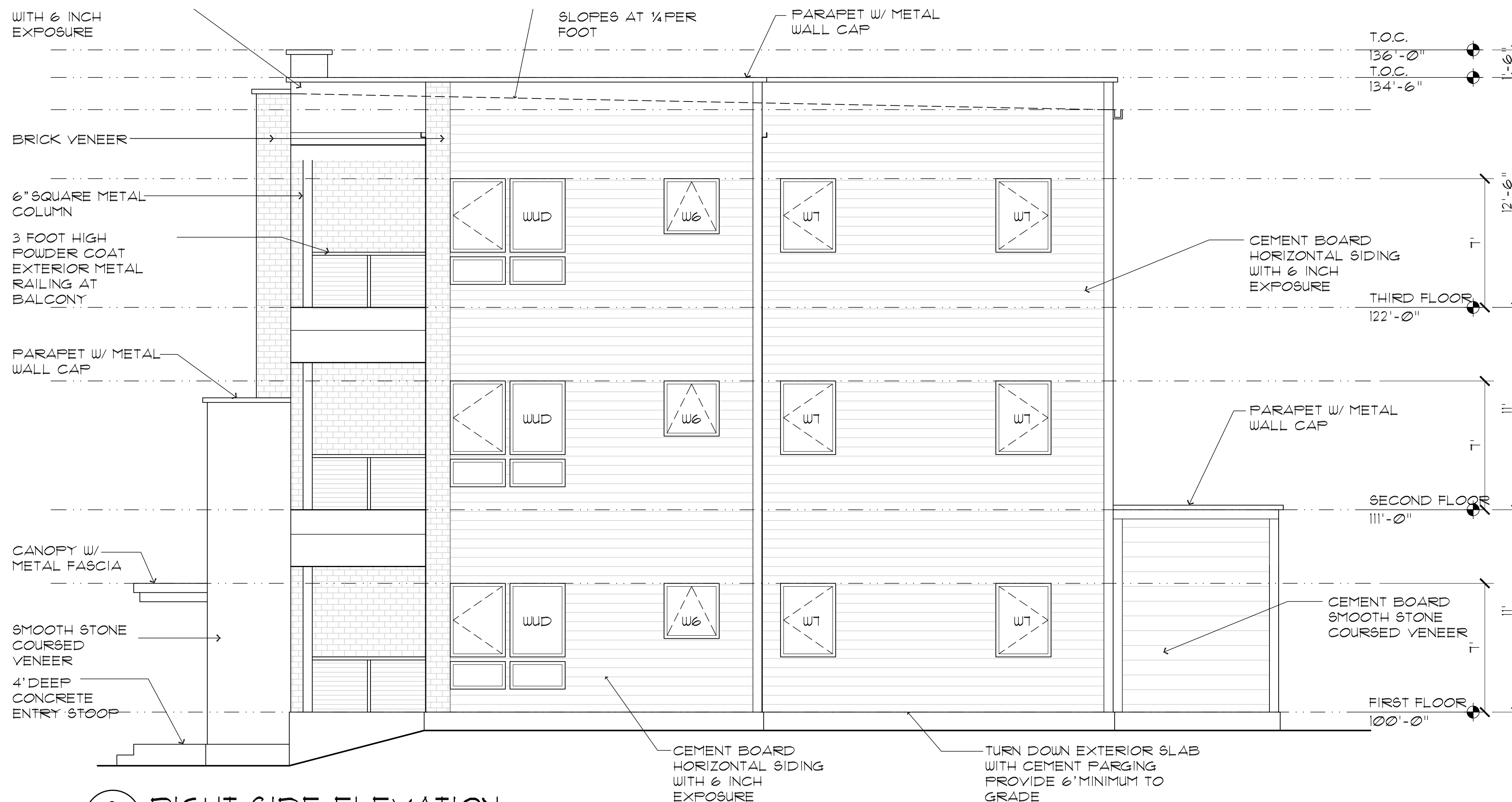
ELEVATIONS

A4.2

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1 LEFT SIDE ELEVATION
A4.2 SCALE: 1/4"=1'



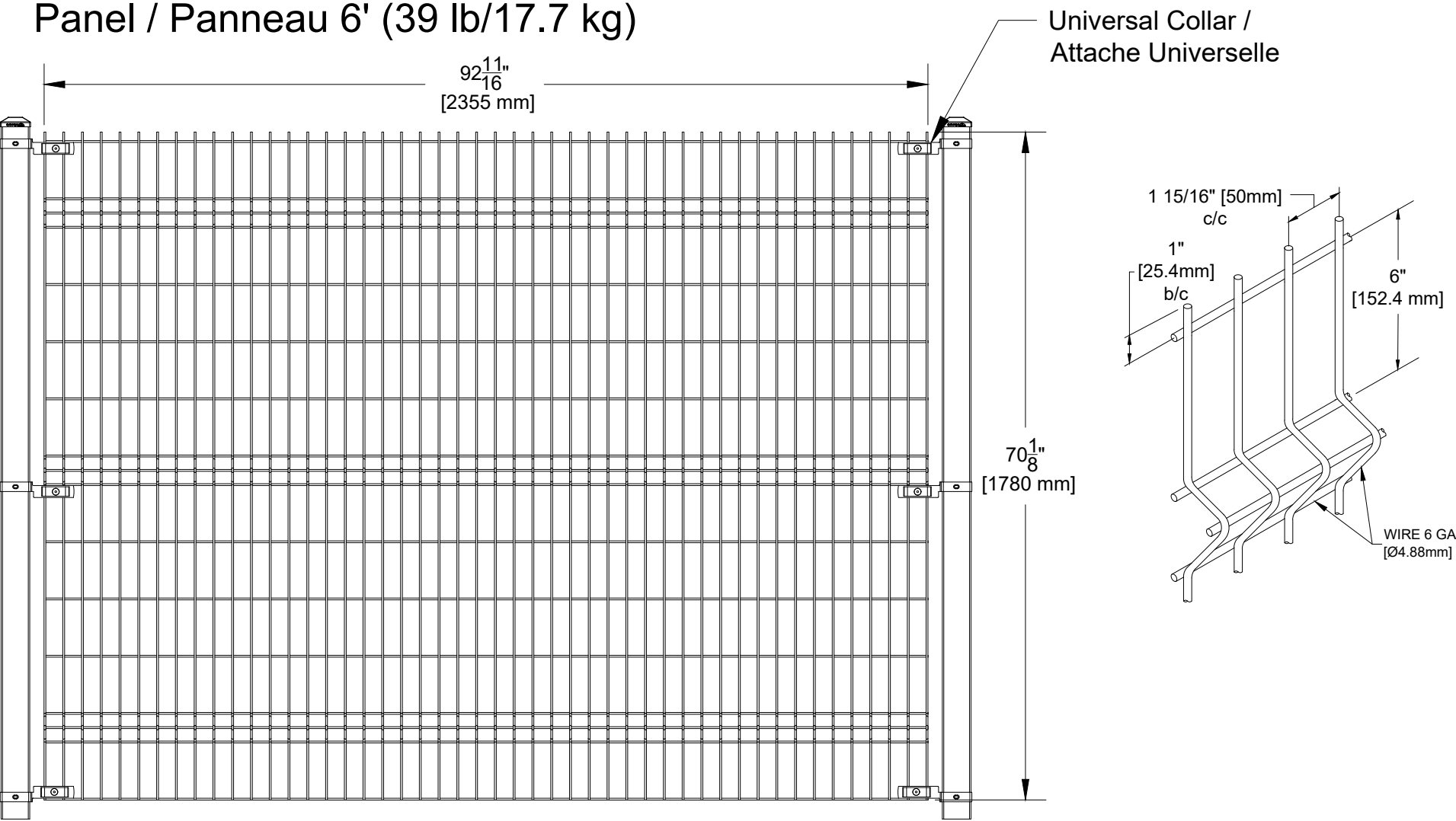
2 RIGHT SIDE ELEVATION
A4.2 SCALE: 1/4"=1'

GENERAL ELEVATION NOTES:

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- FARGING ON ALL FOUNDATION BLOCK SHALL BE POLYMER BASED CEMENT STUCCO. FARGING SHALL EXTEND BELOW GRADE TO TOP OF FOOTING.
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- THE TRANSPARENCY PERCENTAGE FOR THE SIDE ELEVATION FACING HEMBREE STREET IS 21.0%.

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OMEGA ARCHITECTURAL PANELS MOUNTED ON SQUARE POSTS (HEIGHT 6')
PANNEAUX OMEGA ARCHITECTURALE SUR POTEAUX CARRÉS (GRANDEUR 6')



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