

PARKING SUMMARY :

REQUIRED PER CITY OF KNOXVILLE:

MIN: 2 SPACES PER DU + 0.25 PER DU
MAX: NO LIMIT

PROPOSED UNITS: 32

MIN PARKING SPACES: 72

PROPOSED:
EACH UNIT CONTAINS A ONE CAR GARAGE (1 SPACE)
EACH UNIT'S DRIVEWAY* WILL SERVE AS 1 PARKING SPACE
GUEST PARKING SPACES: 12
TOTAL PARKING SPACES: 76

DRIVEWAYS SHALL BE MINIMUM 12 FT WIDE AND 18 FT LONG

SITE INFO :

ZONE: RN-4
3.95 ACRES

REQUIRED PER CITY OF KNOXVILLE:

MIN LOT AREA: 3,000 SF/DU
AT 32 UNITS = 2.20 ACRES

MIN LOT WIDTH: 20 FT/DU

MAX BUILDING HEIGHT: 35 FT

MAX BUILDING COVERAGE: 50%

MAX IMPERVIOUS COVERAGE: 60%

MIN FRONT SETBACK: 10 FT OR THE AVERAGE OF BLOCKFACE,

WHICHEVER IS LESS

MIN INTERIOR SIDE SETBACK: 5 FT OR 15% OF LOT WIDTH,

WHICHEVER IS LESS; IN NO CASE LESS THAN 15 FT

COMBINED

MIN CORNER SIDE SETBACK: 12 FT

REAR SETBACK: 25 FT

IMPERVIOUS INFORMATION

1997 IMPERVIOUS AREA: 0.47 AC

PROPOSED IMPERVIOUS AREA: 1.60 AC

**PRELIMINARY
FOR
REVIEW
ONLY**

IF THIS DOCUMENT IS NOT SIGNED, SEALED, AND
DATED, IT MAY NOT BE USED FOR CONSTRUCTION.

GALLAHER VIEW TOWNHOMES

962 N GALLAHER VIEW ROAD
KNOXVILLE, TN 37923

PROJECT:



10025 Investment Drive, Suite 120
Knoxville, TN 37932

865.670.8555
www.cci-corp.com

CLIENT:

MAINLAND MCA KNOXVILLE, LLC
1905 ACKLEN AVENUE
NASHVILLE, TN 37212

CCI PROJ. NO. 01900-0000

DATE: JULY 22, 2025

PM/PC: ATK

DRAWN BY: ATK

SITE LAYOUT PLAN

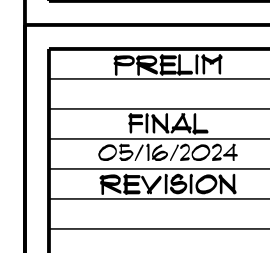
C101

NOTES:

1. REFER TO SHEET C002 FOR GENERAL NOTES.

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Know what's below
Call before you dig



ADVANCED HOUSE PLANS IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM LOCATED IN OMAHA, NE. BECAUSE 8ITE CONDITIONS VARY, AHP CANNOT WARRANT THE SUITABILITY OF THESE PLANS FOR USE ON YOUR SPECIFIC SITE. CONSTRUCTION FROM THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A CONSTRUCTION PROFESSIONAL. HOMEOWNER/CONTRACTOR MUST THOROUGHLY REVIEW ALL PLANS FOR STRUCTURAL, ELECTRICAL, CODE & 8ITE REQUIREMENTS PRIOR TO CONSTRUCTION. THEY RELEASE ADVANCED HOUSE PLANS FROM ALL LAISBITE THAT MAY OCCUR DURING OR AFTER THE BUILDING PROCESS.

SHEET
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OF
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GENERATED 5/17/2024



9-A-25-SU submitted 7/22/2025

TYPE B



REAR ELEVATION

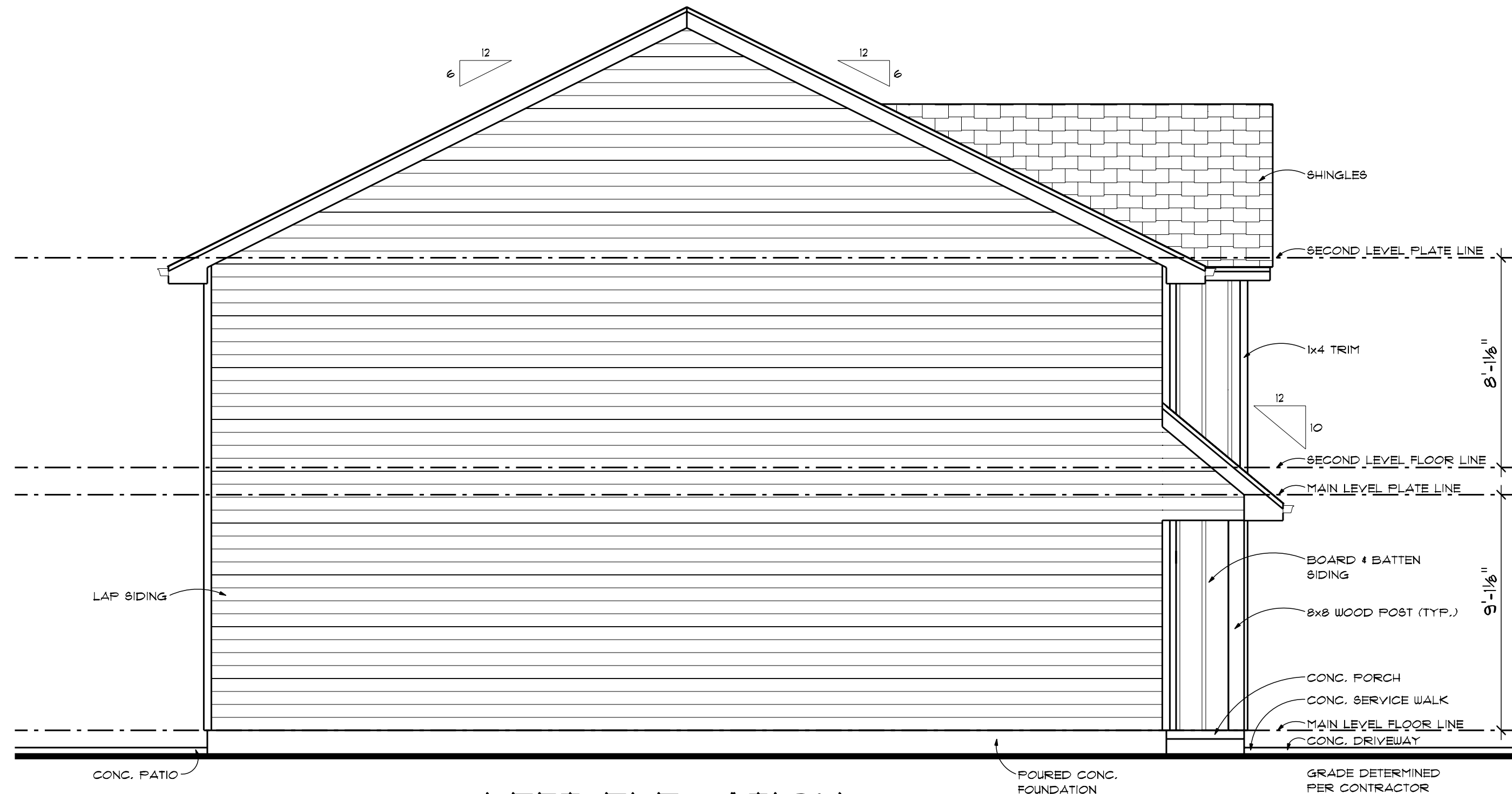
864 | F: 1/4" = 1'-0"



FRONT ELEVATION

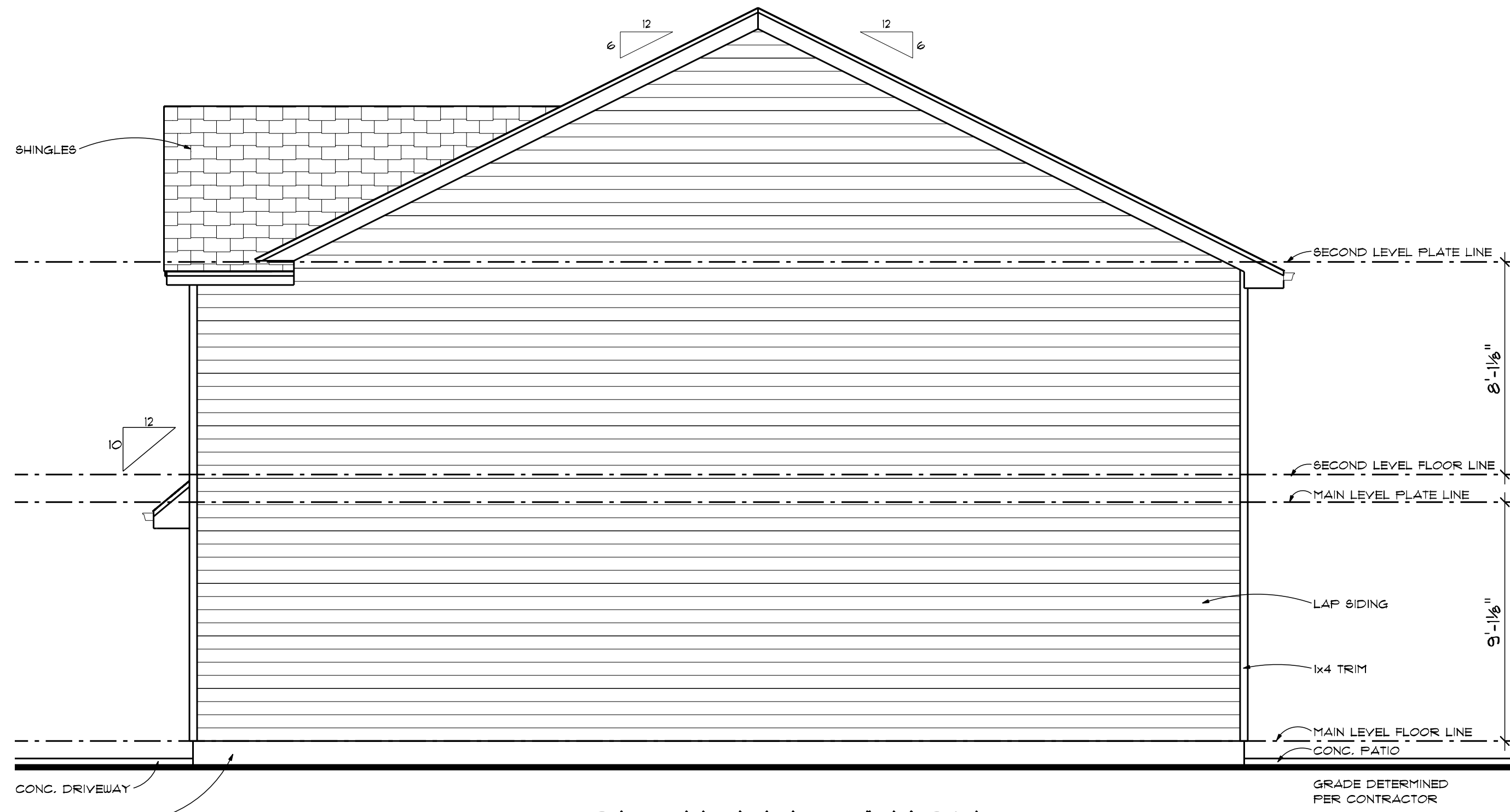
SCALE: 1/4" = 1'-0"

9-A-25-SU submitted 7/22/2025



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



PRELIM
FINAL
09/03/24
REVISION

Buttonwood
2x4 Slab



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NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL
AGENCIES. THE BUYER SHALL VERIFY ALL DIMENSIONS, MATERIALS, FINISHES,
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SHEET
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OF
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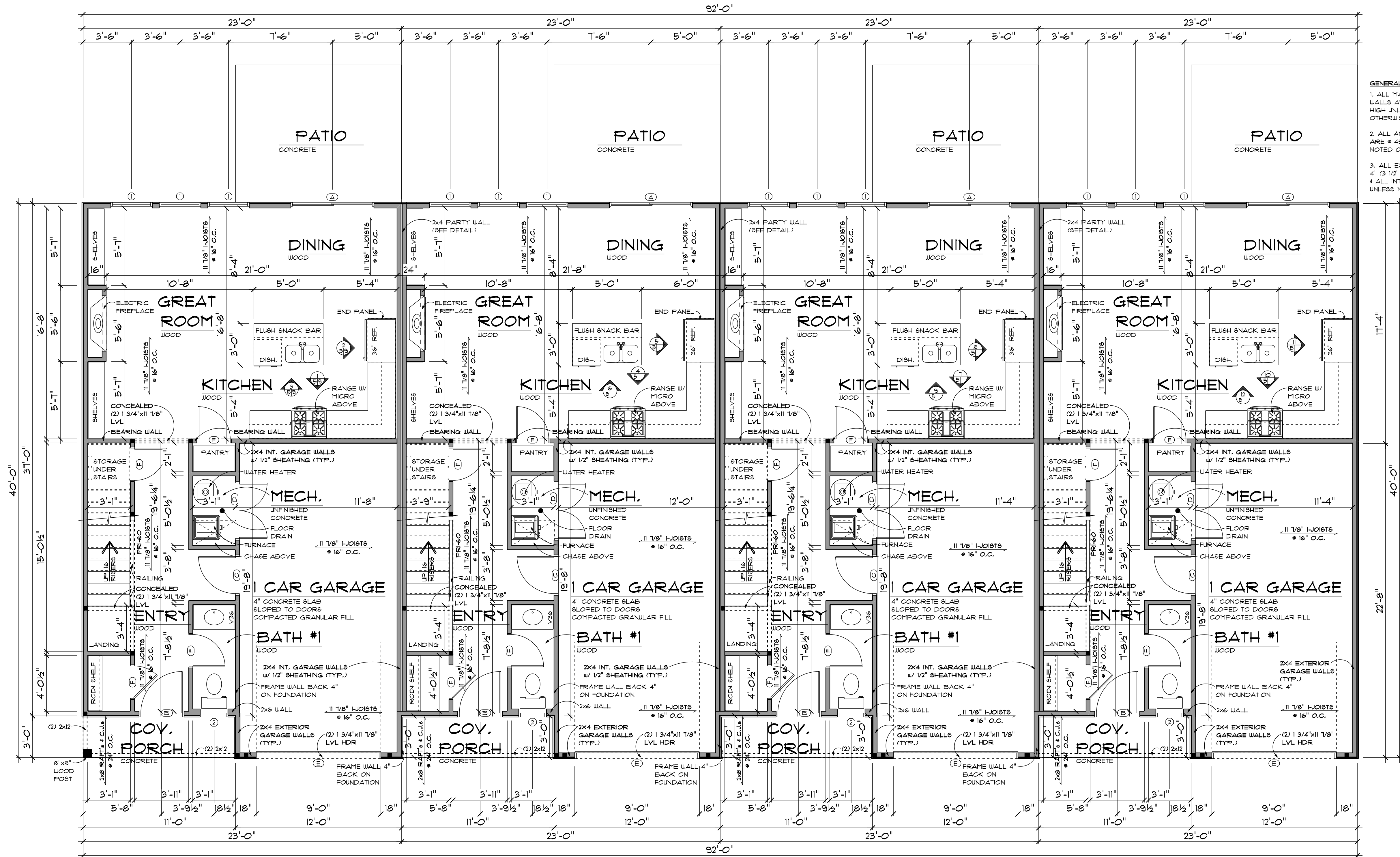
CON SCALE = 3/4" = 1'-0"

OPENING SCHEDULE - UNIT A				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	12X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR 2	4'-0" x 6'-8"	1
E	GARAGE	108X36 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	4

OPENING SCHEDULE - UNIT B				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	12X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR 2	4'-0" x 6'-8"	1
E	GARAGE	108X36 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	4

OPENING SCHEDULE - UNIT C				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	12X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR 2	4'-0" x 6'-8"	1
E	GARAGE	108X36 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	4

OPENING SCHEDULE - UNIT D				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	12X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR 2	4'-0" x 6'-8"	1
E	GARAGE	108X36 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	4



- GENERAL NOTES:**
1. ALL MAIN LEVEL WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
 2. ALL ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE
 3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD+1/2" SHEATHING)
 4. ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE

UNIT A	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	253 sq. ft.
COVERED PORCH	33 sq. ft.

UNIT B	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	253 sq. ft.
COVERED PORCH	33 sq. ft.

UNIT C	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	253 sq. ft.
COVERED PORCH	33 sq. ft.

UNIT D	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	253 sq. ft.
COVERED PORCH	33 sq. ft.

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



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09/03/24
REVISION

Buttonwood
2x4 Slab



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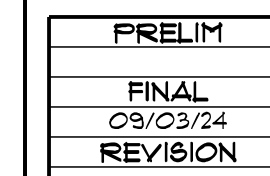
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SHEET
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20% SCALE = 3/4" = 1'-0"

9-A-25-SU submitted 7/22/2025

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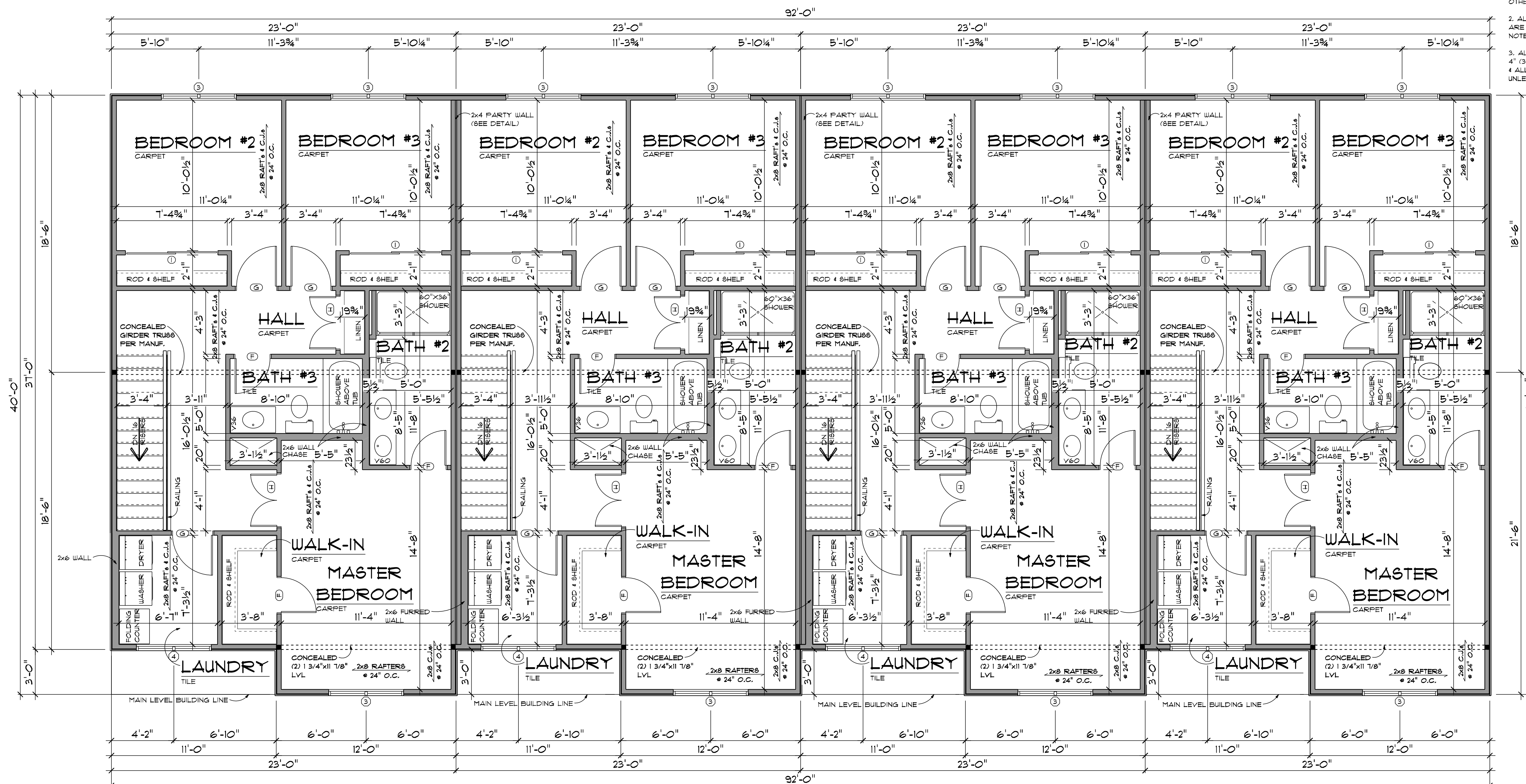
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100% SCALE = 24"x36"

OPENING SCHEDULE - UNIT D				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
3	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	3
4	WINDOW	60X42 CASEMENT 2	5'-0" x 3'-6"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	3
G	DOOR	32X80 1	2'-8" x 6'-8"	3
H	DOOR	42X80 2	3'-6" x 6'-8"	2
I	SLIDING DOOR	70X80 SLIDING 2	6'-0" x 6'-8"	2

GENERAL NOTES:

1. ALL SECOND LEVEL WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE
3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD+1/2" SHEATHING)
- 4 ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE



UNIT C	
SECOND LEVEL	842 sq ft.

SECOND LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

the involvement of	has to	limited	because he worried	there is no	for	enough	will	not	but	enough	allocation	to	fill	own	most	can	include	see	different	case
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