

SINCE 1979

STERLING
ENGINEERING, INC.

**LAND SURVEYING
CIVIL ENGINEERING
CONSULTING
LAND PLANNING**

1020 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37802-8401

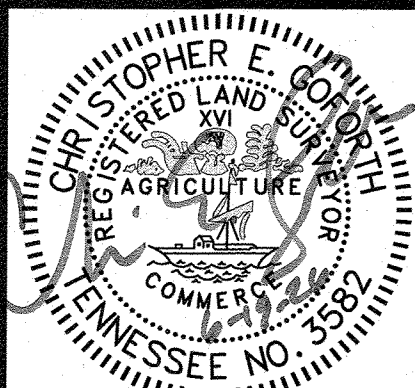
P.O. BOX 4878
MARYVILLE, TENNESSEE
37802-4878

PHONE: 865-984-3905
FAX: 865-981-2815
www.sterling.us.com

HARPER PROPERTY

5519 COVE ISLAND ROAD KNOXVILLE, TN 37919

PLOT PLAN



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SHEET

PP

DESIGNED:

DRAWN: **RSF**

CHECKED: **CEG**

DATE: **6/19/26**

SCALE: **1" = 30'**

DRAWING:

8613-PP

PROJECT NO:

SEI#8613

LEGEND:

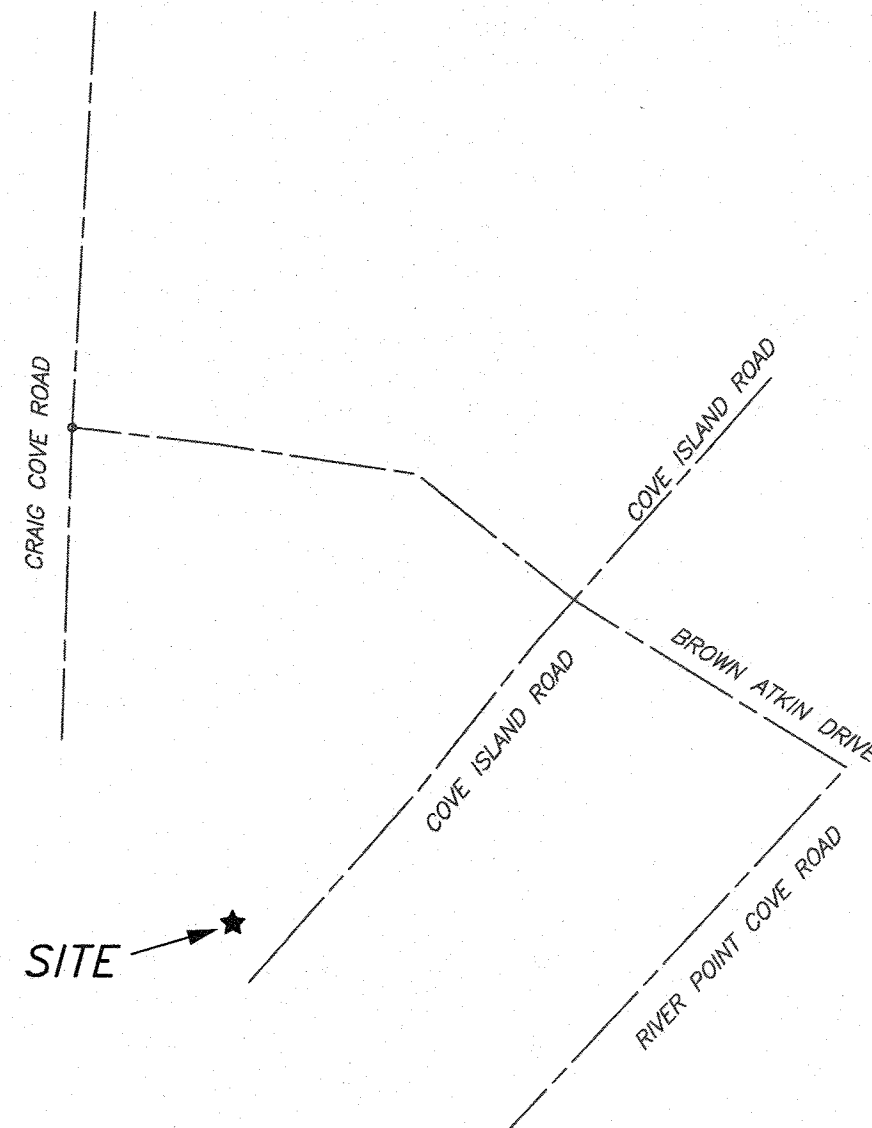
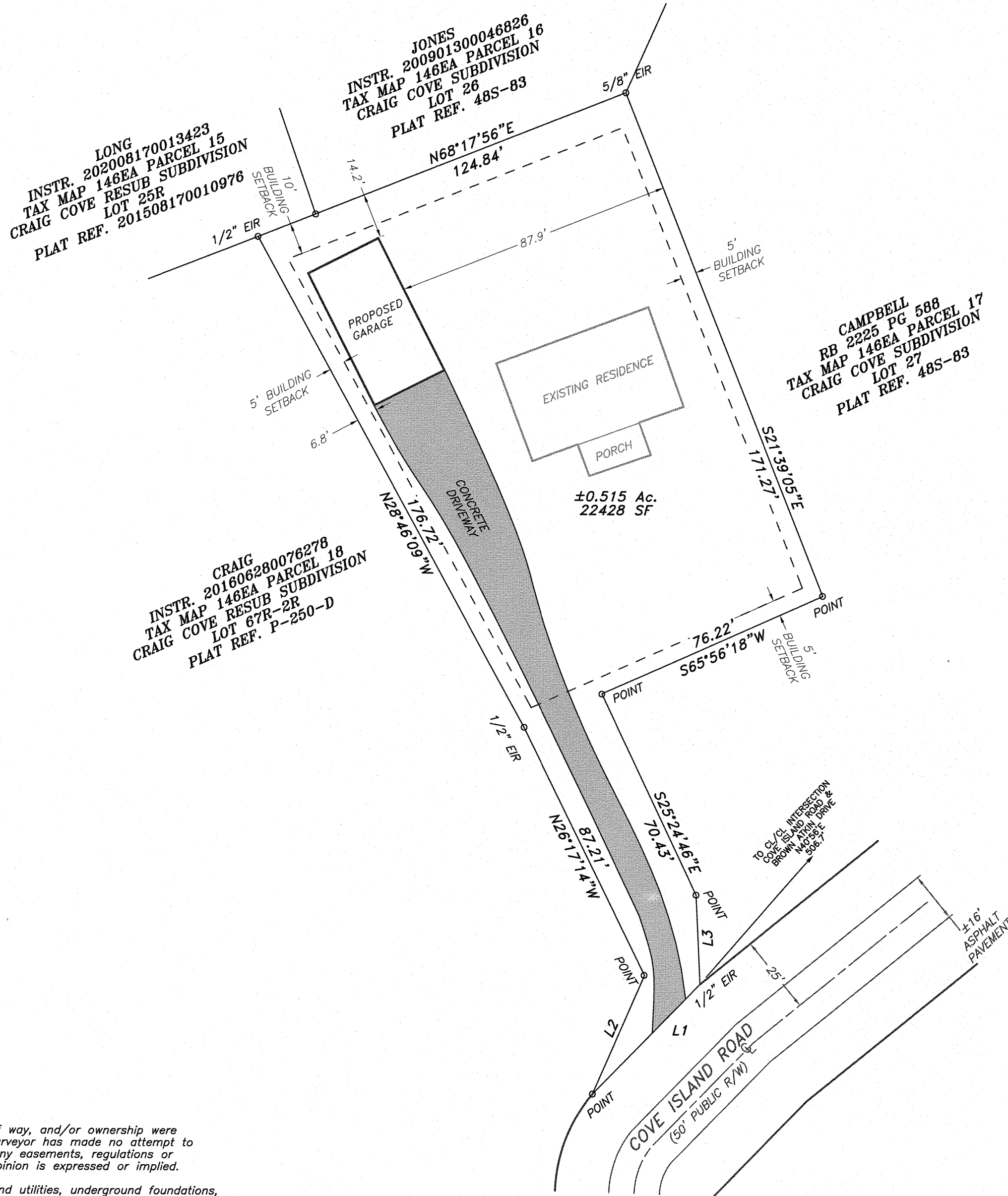
EIR EXISTING IRON ROD
A= ARC LENGTH
R= RADIUS
D= CENTRAL ANGLE (DELTA)
B= CHORD BEARING
C= CHORD LENGTH
Ac. ACRES
SF SQUARE FEET
WDB WARRANTY DEED BOOK
MRB MISC. RECORD BOOK
PG PAGE
RR RAILROAD
TYP TYPICAL
R/W RIGHT-OF-WAY
CL CENTERLINE
BOUNDARY LINE
ROAD RIGHT-OF-WAY LINE
BUILDING SETBACK LINE
ROAD CENTERLINE
EDGE OF ROAD

LINE TABLE

No.	Bearing	Len.
L1	N44°05'18"E	28.38'
L2	N23°24'30"E	40.95'
L3	S2°49'15"E	28.10'

SURVEYOR'S NOTES:

- No Instruments of Record reflecting easements, rights of way, and/or ownership were furnished to the Surveyor, except as shown hereon. The Surveyor has made no attempt to access the public records for any easements. Subject to any easements, regulations or restrictions in effect at the time of this survey. No title opinion is expressed or implied.
- The Surveyor has made no attempt to locate underground utilities, underground foundations, underground encroachments or underground improvements, except as shown hereon. Actual location of all underground utilities should be verified through Tennessee 1 Call (1-800-351-1111) or the utility provider prior to any excavation or construction.
- Property is zoned KNOX County RA.
- Setbacks shown hereon are based on zoning regulations.
- This survey is in compliance with current Tennessee Minimum Standards of Practice as defined in Chapter 0820-3-.07 as set forth by the Tennessee Board of Land Surveyors.
- This plot plan is not intended to represent a Boundary or General Property Survey as defined in Chapter 0820-3-.07 as set forth by the Tennessee Board of Land Surveyors pursuant to T.C.A. Title 62-18-106(c).



LOCATION MAP
NOT TO SCALE

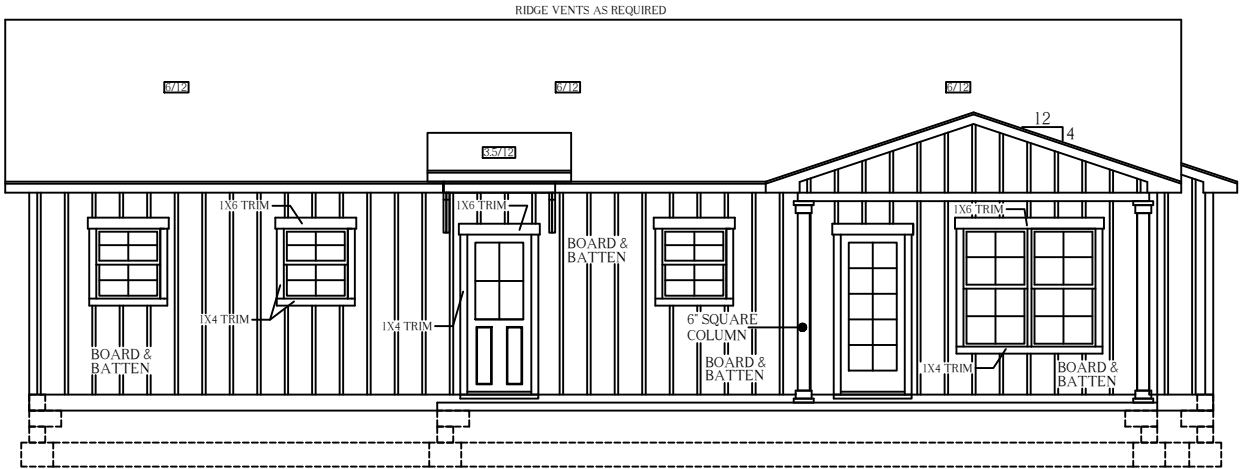


OWNER & CLIENT:
JOHNATHAN F. HARPER &
KELLI D. HARPER
5519 COVE ISLAND ROAD
KNOXVILLE, TN 37919
DISTRICT W6, KNOX COUNTY
INSTR. 200808120010606

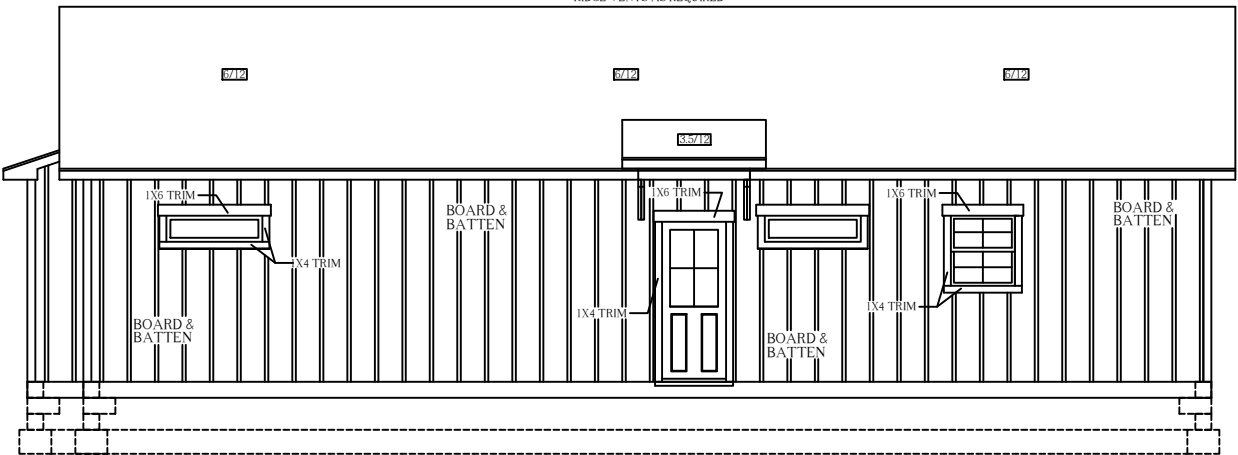
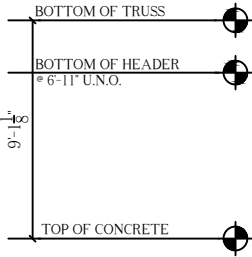
9-A-26-UR
7/27/2026

30' 15' 0 30' 60'
1" = 30'

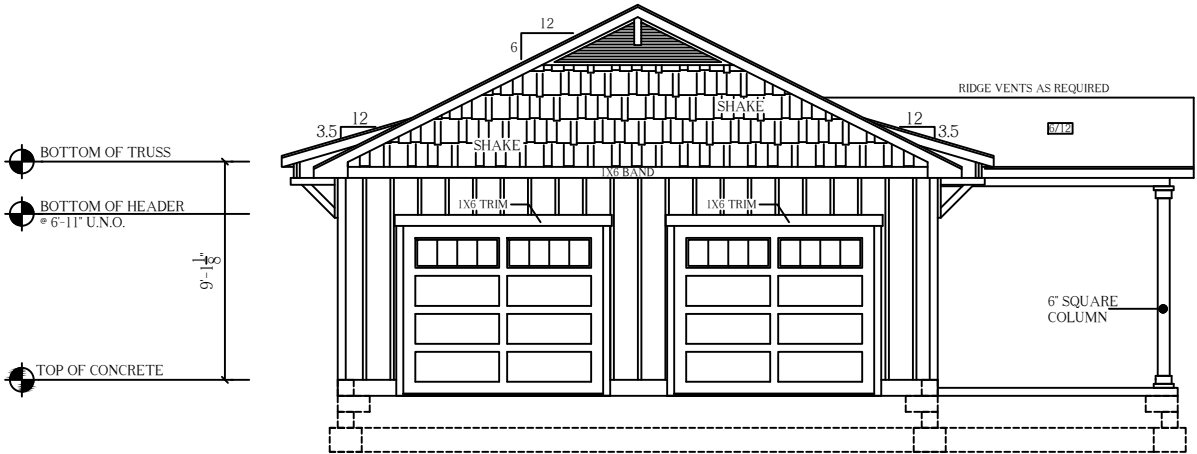
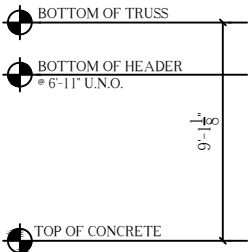
9'-0" PLATE HEIGHT



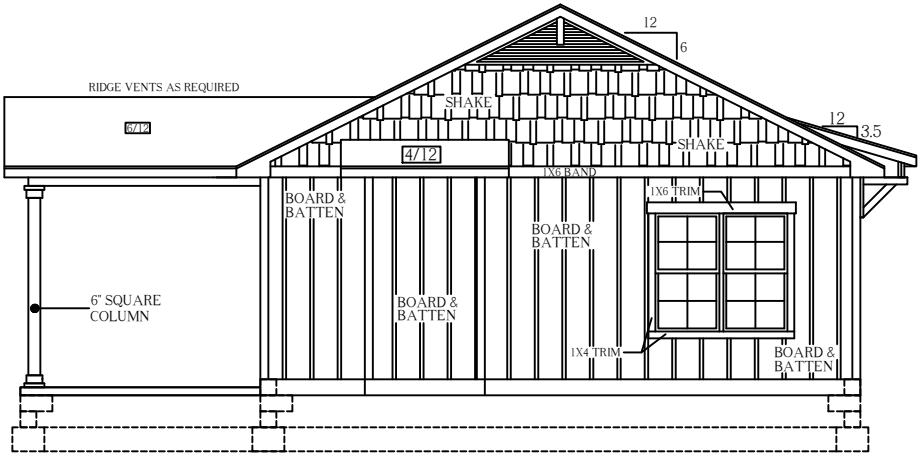
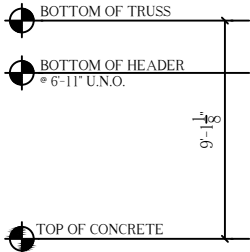
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



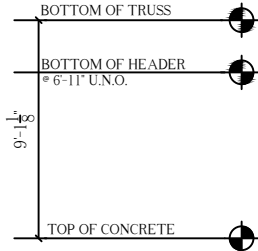
REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



GENERAL BUILD'G NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
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12. LOCAL, STATE, & NATIONAL BUILDG CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

HEATED & COOLED AREA	714
STORAGE & GARAGE AREA	446
COVERED PATIO	150
UNCOVERED PATIO	150
TOTAL UNDER BEAM AREA:	1310

STREET ADDRESS:

X

CITY & STATE:

X

ZIP:

X

COUNTY:

X

DRAFTING PHASES:

PRELIM: X

ELEVATIONS

CUSTOM

"A"



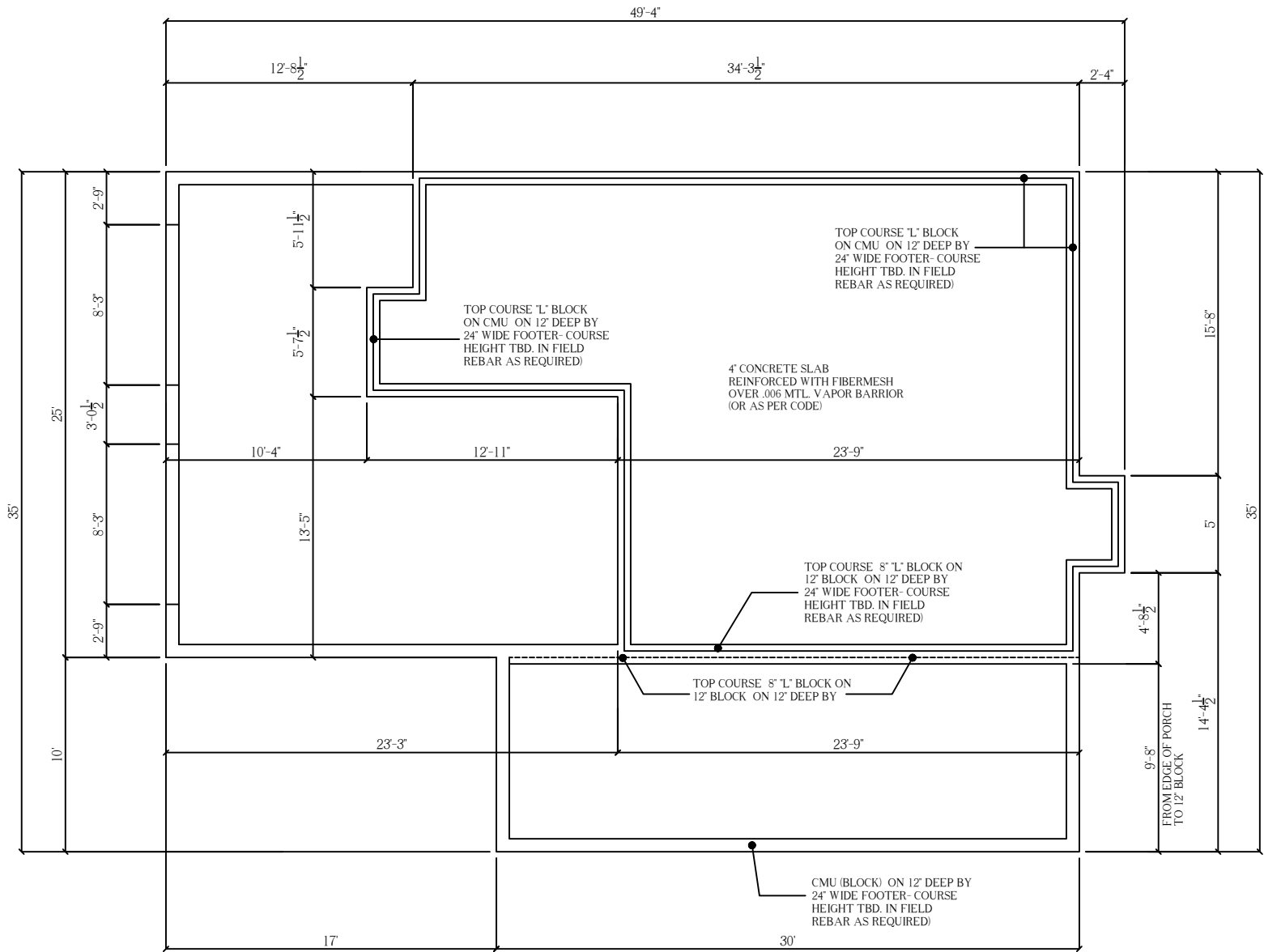
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CONCEPT

JOB # : N/A
HARPER

9-A-26-UR
7/27/2026

9'-0" PLATE HEIGHT



BLOCK & FILL FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

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ZIP:

X

COUNTY:

X

DRAFTING PHASES:

PRELIM: X

FIRST & SECOND FLOOR

CUSTOM

"714"



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CONCEPT

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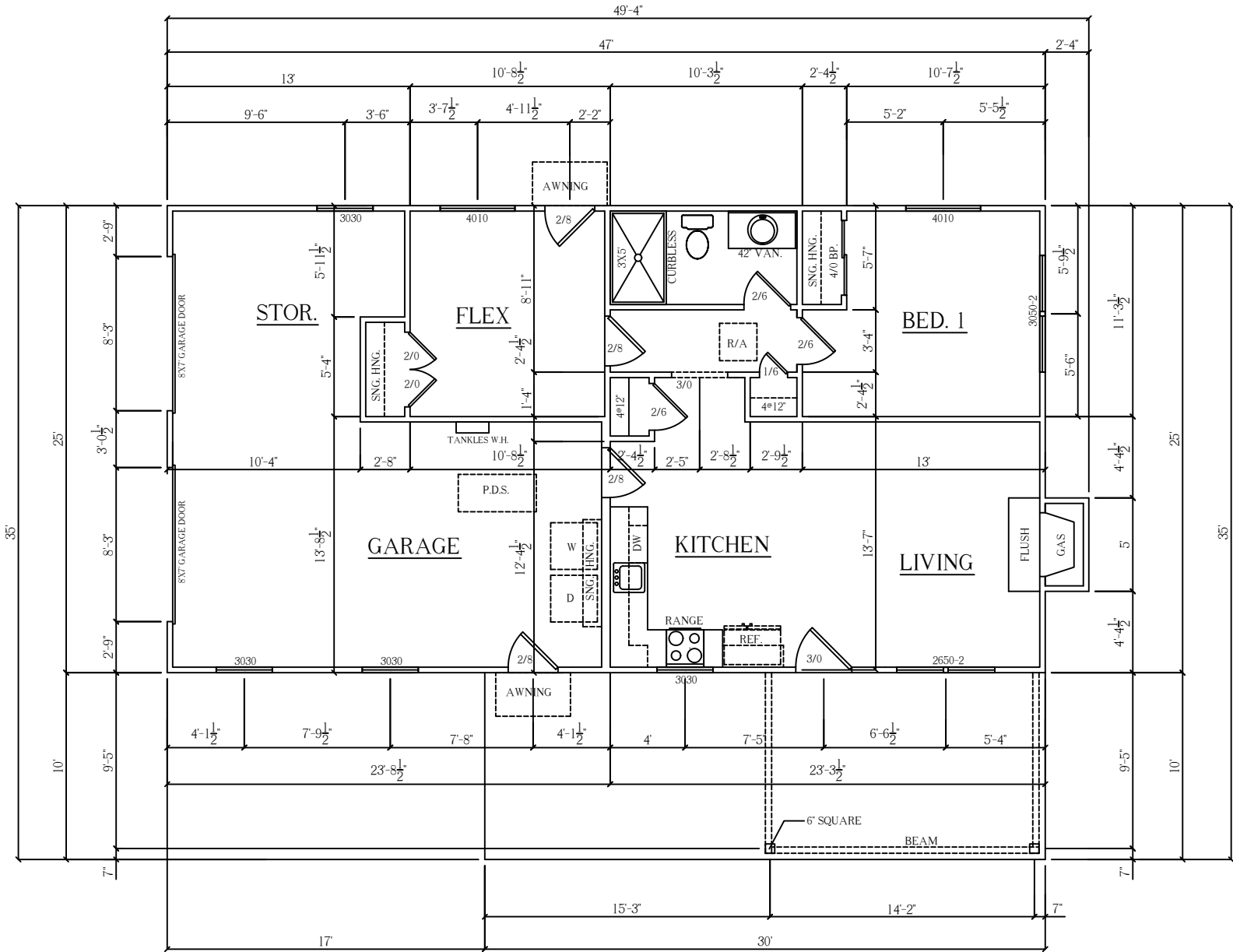
HARPER

9-A-26-UR
7/27/2026



CONCEPT
JOB # : N/A
HARPER

9'-0" PLATE HEIGHT



FLOOR PLAN
SCALE: 1/8" = 1'-0"

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PRELIM: X

FLOOR PLAN

CUSTOM

"714"



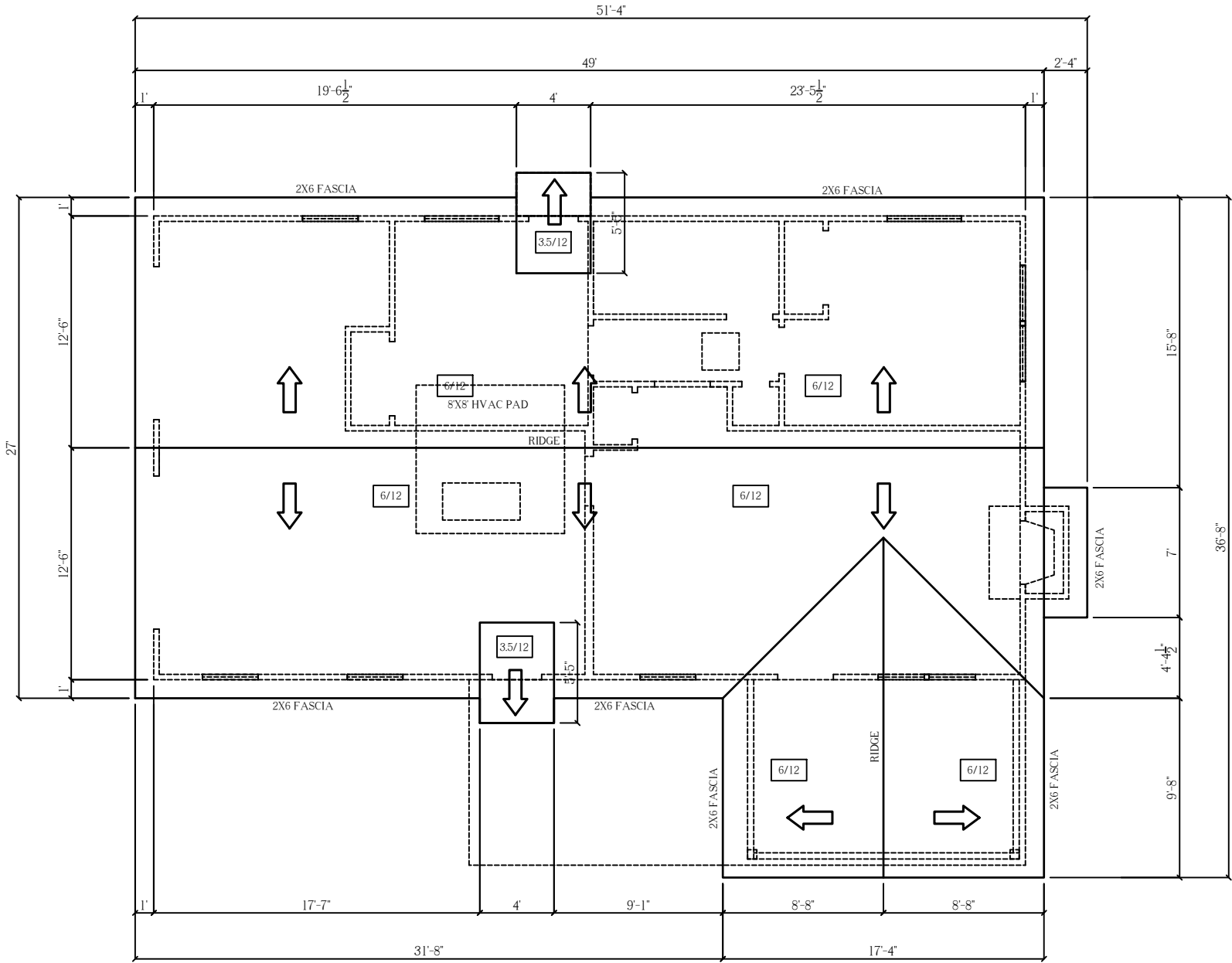
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9-A-26-UR
7/27/2026

9'-0" PLATE HEIGHT



ROOF PLAN
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X

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X

ZIP:

X

COUNTY:

X

DRAFTING PHASES:

PRELIM: X

ROOF PLAN

CUSTOM

"A"



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CONCEPT

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HARPER

9-A-26-UR
7/27/2026

ELECTRICAL LEGEND

	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, L.E.D. SURFACE MOUNT
	LIGHT, PENDANT
	LIGHT, COACH / VANITY
	LIGHT, UNDER WALL CABINET
	LIGHT, OUTDOOR FLOOD
	EXHAUST FAN
	SMOKE DETECTOR
	SMOKE / CARBON DETECTOR
	THERMOSTAT
	CEILING FAN WITH LIGHT
	CEILING FAN PRE-WIRE AT LIGHT
	RECEPTACLE, PHONE
	RECEPTACLE, CAT CABLE
	RECEPTACLE, T.V. CABLE
	ELECTRICAL PANEL
	METER BASE
	CHIME BELL, DOOR
	EAVE LIGHT

ELECTRICAL NOTES

1. ALL ELECTRICAL TO MEET N.E.C.

2. PROVIDE 200 AMP SINGLE PHASE SERVICE

3. PROVIDE ALL COPPER WIRING

4. CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES

5. CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK

6. PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL

7. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES

8. PROVIDE AND INSTALL GROUND FAULT CIRCUIT- INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES

9. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE FINISHED FLOOR:

10. PROVIDE AFCIS (ARC-FAULT CIRCUIT INTERRUPTERS) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS IN ALL DWELLING UNITS PER NEC210.12

SWITCHES

OUTLETS

TELEPHONE

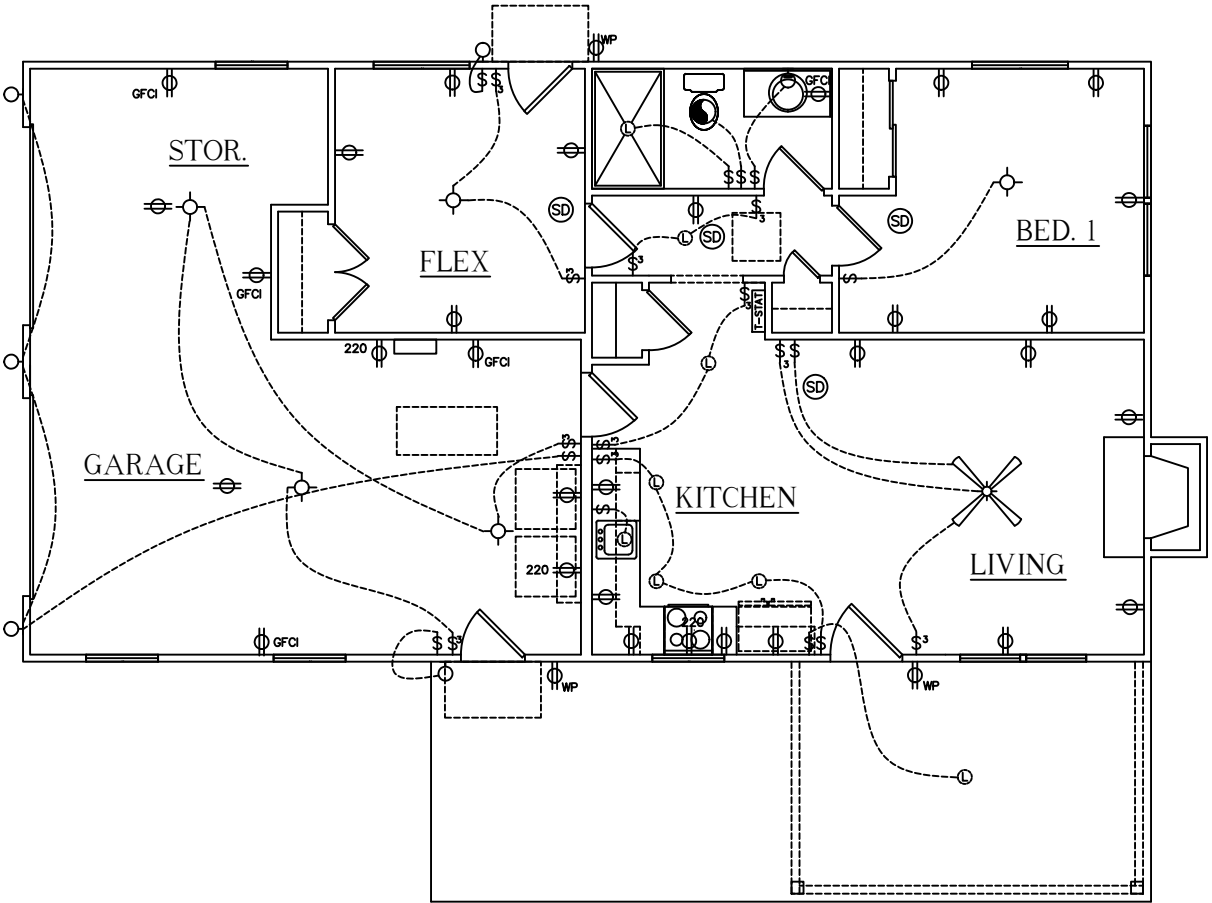
TELEVISION

42"

14"

14"

14"



FLOOR PLAN
SCALE: 1/8" = 1'-0"

9-A-26-UR
7/27/2026

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X

CITY & STATE:

X

ZIP:

X

COUNTY:

X

DRAFTING PHASES:

PRELIM: X

ELECTRICAL

CUSTOM

"714"

RED DOOR
homes

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CONCEPT
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HARPER