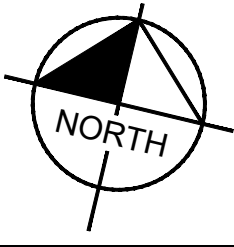
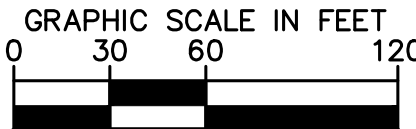


Drawing name: K:\NSH_LDEV\118129043 - moss grove knoxville\4-CADD\plansheets\C2-00 SITE LAYOUT - OVERALL.dwg C2-00 SITE LAYOUT - OVERALL Aug 22, 2019 3:04pm by: evan.lockhart



9-B-19-DT
Revised: 8/26/2019

SITE DATA TABLE			
SITE ADDRESS		0 MOSS GROVE BLVD KNOXVILLE, TN, 37922	
TAX MAP		MAP 132 PARCEL 27.03 & 27.04	
OVERALL AREA		EXISTING	PROPOSED
SITE AREA		14.50 AC	14.50 AC
DISTURBED AREA		N/A	9.34 AC
IMPERVIOUS AREA		0.00 AC	4.56 AC
PERVIOUS AREA		14.50 AC	9.94 AC
BUILDING DATA		REQUIRED	PROVIDED
UNIT DENSITY		13.24 DUA	
TOTAL UNITS		192 UNITS	
BUILDING SETBACKS		REQUIRED	PROVIDED
FRONT (WEST LOT): ABUTTING MOSS GROVE BLVD		25 FT	102 FT
FRONT (EAST LOT): ABUTTING MOSS GROVE BLVD		25 FT	135 FT
REAR (WEST LOT): OPPOSITE MOSS GROVE BLVD		75 FT	93 FT
REAR (EAST LOT): OPPOSITE MOSS GROVE BLVD		75 FT	90 FT
SIDE: NORTH		15 FT	85 FT
SIDE: SOUTH		15 FT	95 FT
PARKING		MINIMUM REQUIRED	MAXIMUM ALLOWED
ADA PARKING		11	18
TOTAL PARKING		268	276
BICYCLE PARKING		38	40



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MOSS GROVE KNOXVILLE ELMINGTON CAPITAL GROUP

KNOXVILLE, TN

No.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: 7/29/2019

JRP
 ERL
 JRP

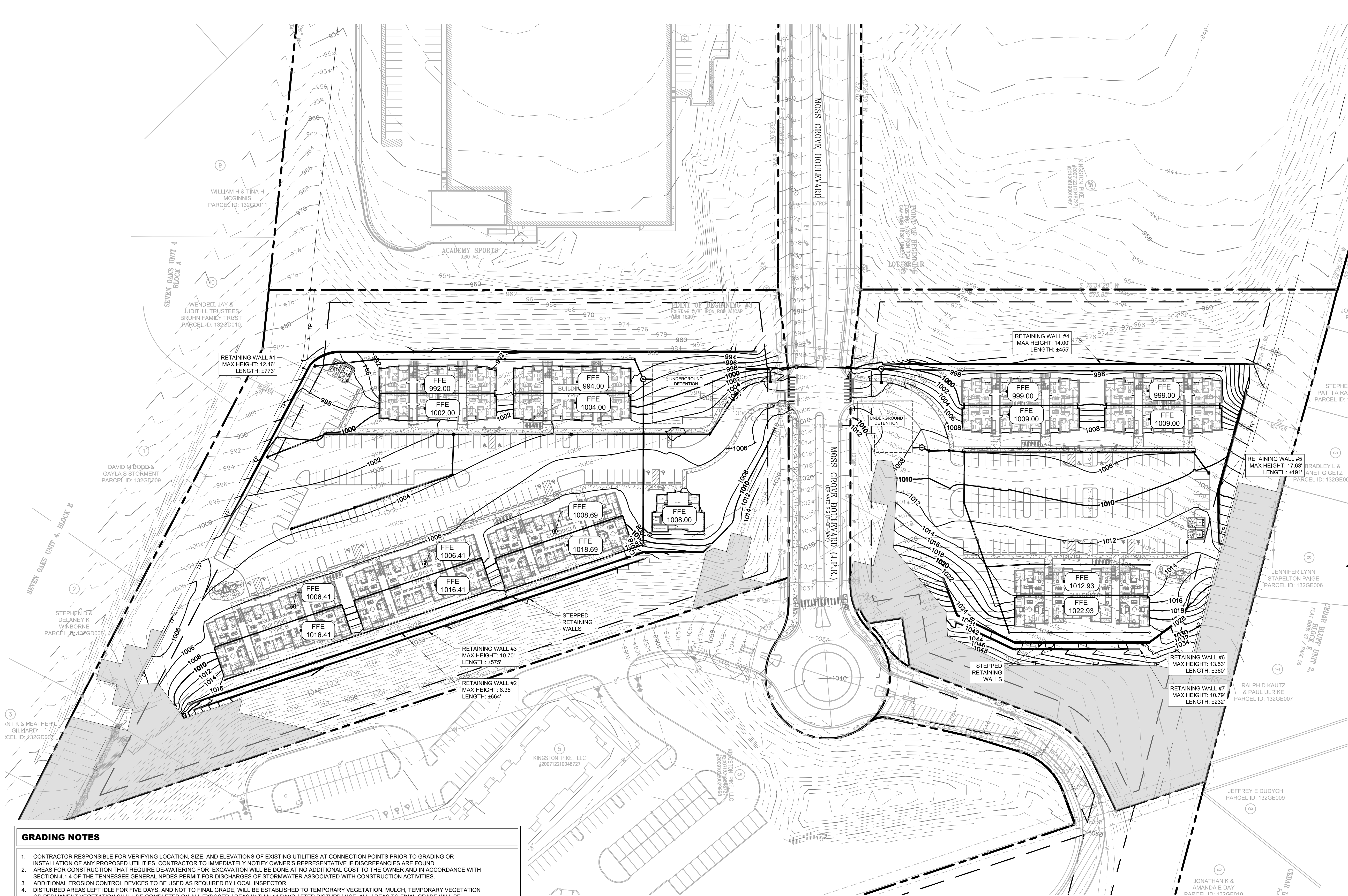
KIMLEY-HORN PROJECT NO.
 118129043

SITE LAYOUT - OVERALL

SHEET NUMBER

C2-00

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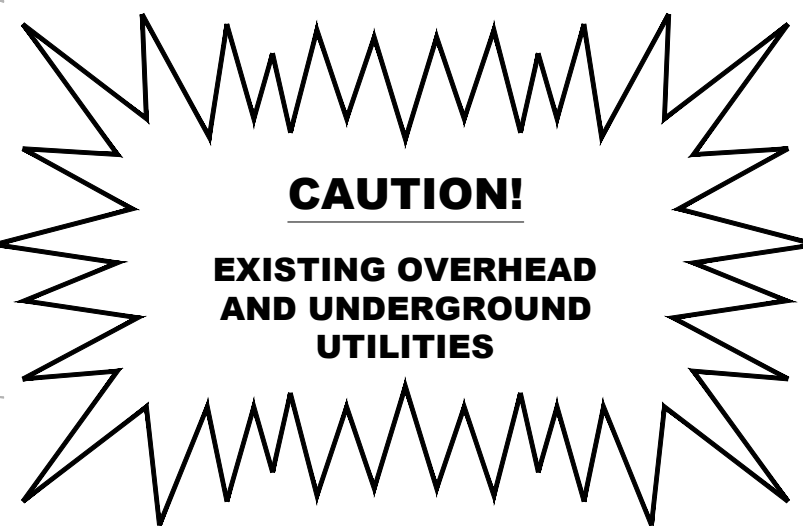
- GRADING NOTES**
- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNERS REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
 - AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE TENNESSEE GENERAL NPDES PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
 - DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
 - WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
 - THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
 - EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
 - SEDIMENT EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
 - SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOD.
 - INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
 - TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
 - ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 - UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-6007.
 - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
 - ALL LANDINGS (HANDICAP RAMPS, COMMON LAUNDRY ROOM DOOR, MAIL KIOSK, TRASH AREAS, DOORS TO LEASING OFFICE OR APARTMENT BUILDINGS, ETC.) SHOULD MEET ADA, ANSI, FHA, & IBC REQUIREMENTS.

GRADING PLAN LEGEND					
	SPOT ELEVATION		LOW POINT		GUTTER LINE
	HIGH POINT		BOTTOM OF CURB		BOTTOM OF EXPOSED WALL
	TOP OF CURB		BOTTOM OF WALL		TOP OF GRATE / COVER
	TOP OF WALL		INVERT		
	FINISH FLOOR ELEVATION				
	EXISTING CONTOUR				
	PROPOSED CONTOUR				

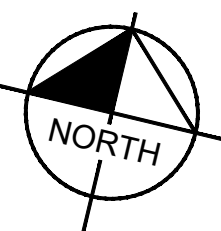
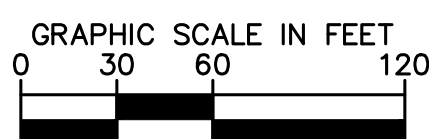
HILLSIDE AND RIDGE PROTECTION AREA		
	ALLOWED	ACTUAL
DISTURBED	2.90 AC	2.64 AC
UNDISTURBED	1.87 AC	2.13 AC
TOTAL	4.77 AC	4.77 AC

UNDISTURBED AREA WITHIN HILLSIDE RIDGE PROTECTION AREA

- RETAINING WALL NOTES**
- ALL SITE RETAINING WALLS INDICATED ON THESE PLANS ARE SHOWN FOR GENERAL LOCATION AND MINIMUM HEIGHT REQUIRED.
 - ALL SITE WALLS SHALL BE DESIGN / BUILD UNDER THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL SUBMIT DESIGN DRAWINGS AND CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TENNESSEE TO THE CIVIL ENGINEER OF RECORD AND THE CODES AND ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS OR CONSTRUCTION.
 - ALL WALLS OF HEIGHTS EQUAL TO OR GREATER THAN 30 INCHES (MEASURED FROM TOP OF WALL TO FINISHED GRADE AT BOTTOM OF WALL) SHALL INCLUDE PEDESTRIAN GUARDRAIL OR FENCE. GUARDRAIL SHALL BE IN COMPLIANCE WITH LOCAL CODES AND IBC REQUIREMENTS.
 - ALL WALLS CONSIDERED CRITICAL OR OVER 4' IN HEIGHT SHOULD HAVE DESIGN DRAWING APPROVED BY THE CITY OF KNOXVILLE PRIOR TO CONSTRUCTION.



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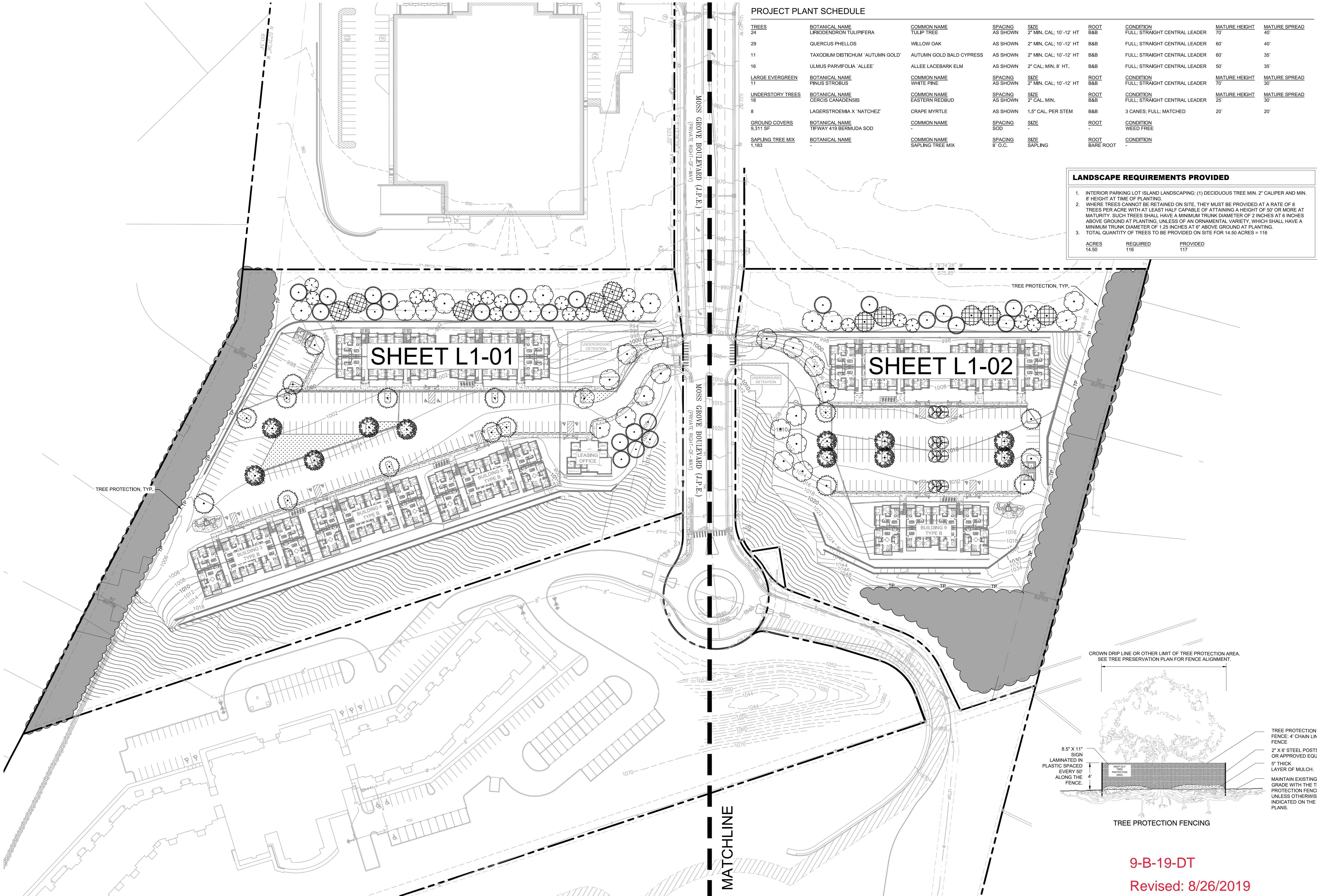
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MOSS GROVE KNOXVILLE ELMINGTON CAPITAL GROUP

KNOXVILLE, TN

NO.	1	2	3	4	5	6	7	8	9	10
REVISIONS										
DESIGNED BY:										
DRAWN BY:										
CHECKED BY:										
DATE:										
KIMLEY-HORN PROJECT NO.										
118129043										
GRADING AND DRAINAGE PLAN - OVERALL										
SHEET NUMBER										
C4-00										

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PROJECT PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION	MATURE HEIGHT	MATURE SPREAD
24	LIRIODENDRON TULIPIFERA	TULIP TREE	AS SHOWN	2" MIN. CAL.; 10'-12' HT	B&B	FULL; STRAIGHT CENTRAL LEADER	70'	40'
29	QUERCUS PHellos	WILLOW OAK	AS SHOWN	2" MIN. CAL.; 10'-12' HT	B&B	FULL; STRAIGHT CENTRAL LEADER	60'	40'
11	TAXODIUM DISTICHUM 'AUTUMN GOLD'	AUTUMN GOLD BALD CYPRESS	AS SHOWN	2" MIN. CAL.; 10'-12' HT	B&B	FULL; STRAIGHT CENTRAL LEADER	60'	35'
16	ULMUS PARVIFOLIA 'ALLEE'	ALLEE LACEBARK ELM	AS SHOWN	2" CAL.; MIN. 8' HT.	B&B	FULL; STRAIGHT CENTRAL LEADER	50'	35'
LARGE EVERGREEN	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION	MATURE HEIGHT	MATURE SPREAD
11	PINUS STROBUS	WHITE PINE	AS SHOWN	2" MIN. CAL.; 10'-12' HT	B&B	FULL; STRAIGHT CENTRAL LEADER	70'	30'
UNDERSTORY TREES	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION	MATURE HEIGHT	MATURE SPREAD
18	CERCIS CANADENSIS	EASTERN REDBUD	AS SHOWN	2" CAL. MIN.	B&B	FULL; STRAIGHT CENTRAL LEADER	25'	30'
8	LAGERSTROEMIA X 'NATCHEZ'	CRAPPE MYRTLE	AS SHOWN	1.5" CAL. PER STEM	B&B	3 CANES; FULL; MATCHED	20'	20'
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION	MATURE HEIGHT	MATURE SPREAD
9,311 SF	TIPWAY 419 BERMUDA SOD	-	SOD	-	-	WEED FREE	-	-
SAPLING TREE MIX	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION	MATURE HEIGHT	MATURE SPREAD
1,183	-	SAPLING TREE MIX	8' O.C.	SAPLING	BARE ROOT	-	-	-

LANDSCAPE REQUIREMENTS PROVIDED

- INTERIOR PARKING LOT ISLAND LANDSCAPING: (1) DECIDUOUS TREE MIN. 2" CALIPER AND MIN. 8' HEIGHT AT TIME OF PLANTING.
- WHERE TREES CANNOT BE RETAINED ON SITE, THEY MUST BE PROVIDED AT A RATE OF 8 TREES PER ACRE WITH AT LEAST HALF CAPABLE OF ATTAINING A HEIGHT OF 50' OR MORE AT MATURITY. SUCH TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF 2 INCHES AT 6 INCHES ABOVE GROUND AT PLANTING. UNLESS OF AN ORNAMENTAL VARIETY, WHICH SHALL HAVE A MINIMUM TRUNK DIAMETER OF 1.25 INCHES AT 6" ABOVE GROUND AT PLANTING.
- TOTAL QUANTITY OF TREES TO BE PROVIDED ON SITE FOR 14.50 ACRES = 116

ACRES	REQUIRED	PROVIDED
14.50	116	117

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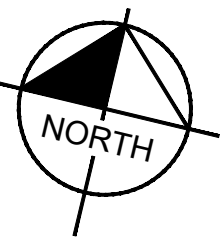
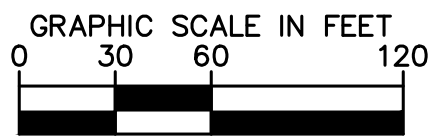
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ELMINGTON CAPITAL
GROUP
KNOXVILLE, TN



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PERMIT REVIEW
ONLY



9-B-19-DT
Revised: 8/26/2019

ARCHITECTURAL CODE ANALYSIS AND UNIT MATRIX

APPLICABLE CODES:

CITY OF KNOXVILLE:
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL FIRE CODE*
2009 ICC/ANSI-117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
CITY OF KNOXVILLE ZONING ORDINANCE

* WITH LOCAL AMENDMENTS

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF EIGHT TOTAL RESIDENTIAL (R-2) BUILDINGS OF TYPE VA CONSTRUCTION AND A FREESTANDING AMENITY BUILDING (A-3), ALSO OF TYPE VA CONSTRUCTION. OF THE EIGHT TOTAL BUILDINGS, THERE ARE TWO TYPICAL BUILDING TYPES: BUILDING "A" IS A THREE/FOUR SPLIT LEVEL BUILDING AND BUILDING "B" IS A THREE/TWO SPLIT LEVEL BUILDING. ALL BUILDINGS ARE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.2.

OCCUPANCY TYPES:: IBC CHAPTER 3

BUILDING "A": GROUP R-2 (RESIDENTIAL)
BUILDING "B": GROUP R-2 (RESIDENTIAL)
LEASING: GROUP A-3 (ASSEMBLY)

CONSTRUCTION TYPES:: IBC 602

TYPE VA (PROTECTED - FULLY SPRINKLERED IN ACCORDANCE WITH NFPA-13R.
THE LEASING BUILDING WILL BE FULLY SPRINKLERED IN ACCORDANCE WITH NFPA-13.)

STRUCTURAL FIRE RATINGS:: IBC TABLE 601

EXTERIOR BEARING WALLS 1-HOUR
INTERIOR BEARING WALLS 1-HOUR
FLOORS 1-HOUR
ROOF 1-HOUR

FIRE SUPPRESSION SYSTEM:: IBC 903

FULLY SPRINKLERED (NFPA-13R AND NFPA-13 FOR THE LEASING BUILDING)

HEIGHT AND AREA:: (ALLOWABLE PER IBC TABLE 504.3, 504.4, 506.2)

(R-2) OCCUPANCY TYPE (TYPE VA)
AREA 12,000 GSF
STORIES 4
HEIGHT 60'

(A-3) OCCUPANCY TYPE (TYPE VA)
AREA 46,000 GSF
STORIES 3
HEIGHT 70'

HEIGHT AND AREA:: (ACTUAL)

BUILDING "A": (R-2) OCCUPANCY TYPE (TYPE VA)
AREA
LOWER LEVEL 4,643 GSF
FIRST FLOOR 9,250 GSF
SECOND FLOOR 9,124 GSF
THIRD FLOOR 9,124 GSF
STORIES 3 AT FRONT AND 4 AT REAR
HEIGHT 34' - 9 1/2" AVERAGE BLDG. HEIGHT AT FRONT
46' AVERAGE BLDG. HEIGHT AT REAR

BUILDING "B": (R-2) OCCUPANCY TYPE (TYPE VA)
AREA
FIRST FLOOR 5,276 GSF
SECOND FLOOR 10,805 GSF
THIRD FLOOR 10,700 GSF
STORIES 3 AT FRONT AND 2 AT REAR
HEIGHT 34' - 10" AVERAGE BLDG. HEIGHT AT FRONT
24'-3" AVERAGE BLDG. HEIGHT AT REAR

LEASING: (A-3) OCCUPANCY TYPE (TYPE VA)
AREA 2,617 GSF
STORIES 1
HEIGHT 18' - 8" AVERAGE BLDG. HEIGHT

FIRE SEPARATION DISTANCE RATINGS:: IBC TABLE 602

BUILDING "A": GROUP R-2 OCCUPANCY
FACADE DISTANCE REQUIRED PROVIDED
NORTH 30'+ 0 1
SOUTH 30'+ 0 1
EAST 20'-30' 1 1
WEST 20'-30' 1 1

BUILDING "B": GROUP R-2 OCCUPANCY
FACADE DISTANCE REQUIRED PROVIDED
NORTH 30'+ 0 1
SOUTH 10'-30' 1 1
EAST 15' 1 1
WEST 15' 1 1

LEASING: GROUP A-3 OCCUPANCY
FACADE DISTANCE REQUIRED PROVIDED
NORTH 30'+ 0 1
SOUTH 20'-30' 1 1
EAST 30'+ 0 1
WEST 20'-30' 1 1

OPENING PROTECTION IS NOT REQUIRED FOR OPENINGS WITHIN THE FIRE SEPARATION DISTANCES IN IBC TABLE 705.8 SINCE THE BUILDING IS FULLY SPRINKLERED PER NFPA 13R.

PROTECTED OPENING REQUIREMENTS:: IBC TABLE 705.8

DISTANCE ALLOWED
30'+ NO LIMIT
25'-30' NO LIMIT
20'-25' NO LIMIT
15'-20' 75%
10'-15' 45%

UNIT AND BUILDING MATRIX

BUILDING "A":

LOWER LEVEL: UNIT TYPE: COUNT:
A1 1
A1r 1
B1 1
B1r 1
C1 0
C2 0
C2r 0

LEVEL 1: UNIT TYPE: COUNT:
A1 2
A1r 2
B1 2
B1r 2
C1 0
C2 0
C2r 0

LEVEL 2: UNIT TYPE: COUNT:
A1 2
A1r 2
B1 2
B1r 2
C1 0
C2 0
C2r 0

LEVEL 3: UNIT TYPE: COUNT:
A1 2
A1r 2
B1 2
B1r 2
C1 0
C2 0
C2r 0

TOTAL: 28 UNITS
(7-A1, 7-A1r, 7-B1, 7-B1r)

BUILDING "B":

LEVEL 1: UNIT TYPE: COUNT:
A1 0
A1r 0
B1 2
B1r 2
C1 0
C2 0
C2r 0

LEVEL 2: UNIT TYPE: COUNT:
A1 1
A1r 0
B1 2
B1r 2
C1 1
C2 1
C2r 1

LEVEL 3: UNIT TYPE: COUNT:
A1 1
A1r 0
B1 2
B1r 2
C1 1
C2 1
C2r 1

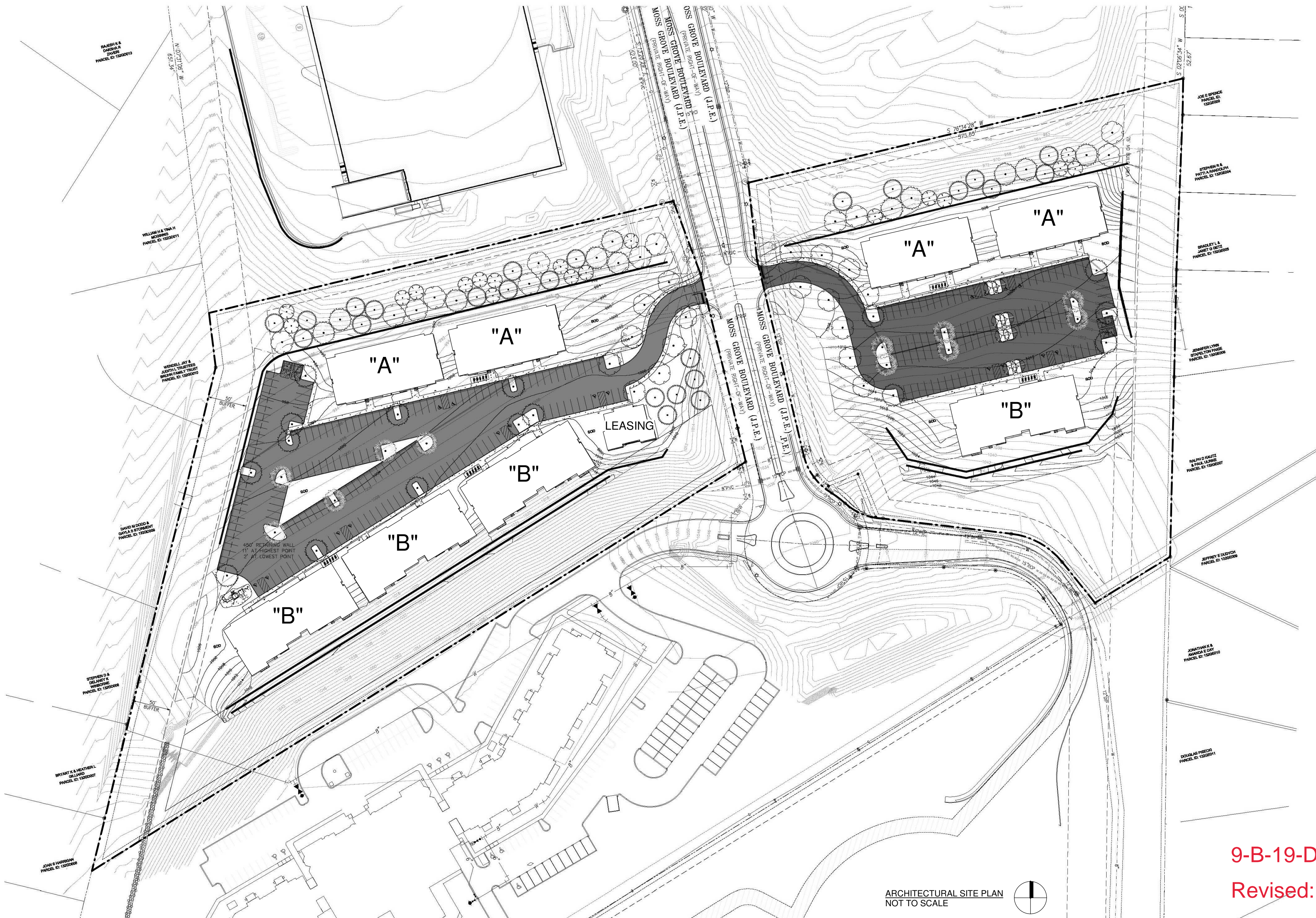
TOTAL: 20 UNITS
(2-A1, 6-B1, 6-B1r, 2-C1, 2-C2, 2-C2r)

TOTALS:

UNIT TYPE: COUNT:
A1 36
A1r 28
B1 52
B1r 52
C1 8
C2 8
C2r 8

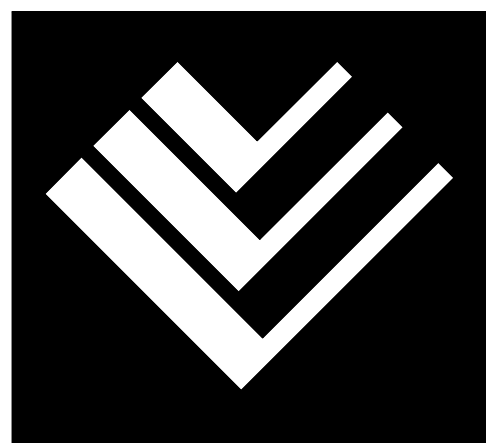
192 UNITS
(64 ONE BED, 104 TWO BED, 24 THREE BED)*

*4 UNITS SHALL BE ANSI TYPE A UNITS.



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MOSS GROVE FLATS

0 MOSS GROVE BOULEVARD, KNOXVILLE, TN 37922

ELMINGTON
CAPITAL

SEAL

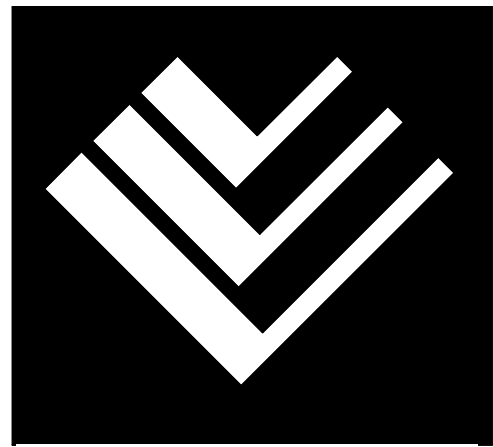
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PROJECT INFO

A001

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PROJECT SV - 19048



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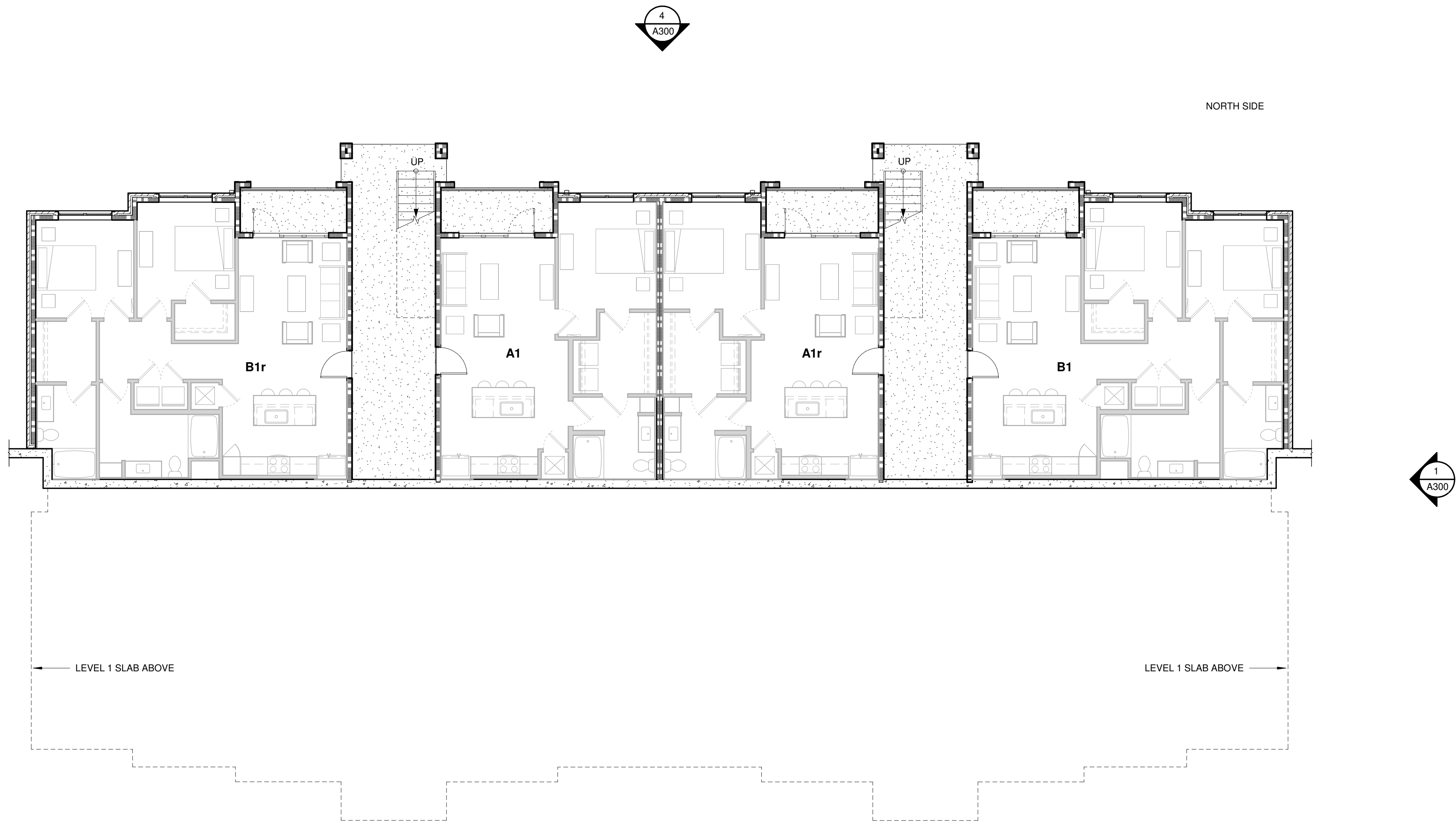
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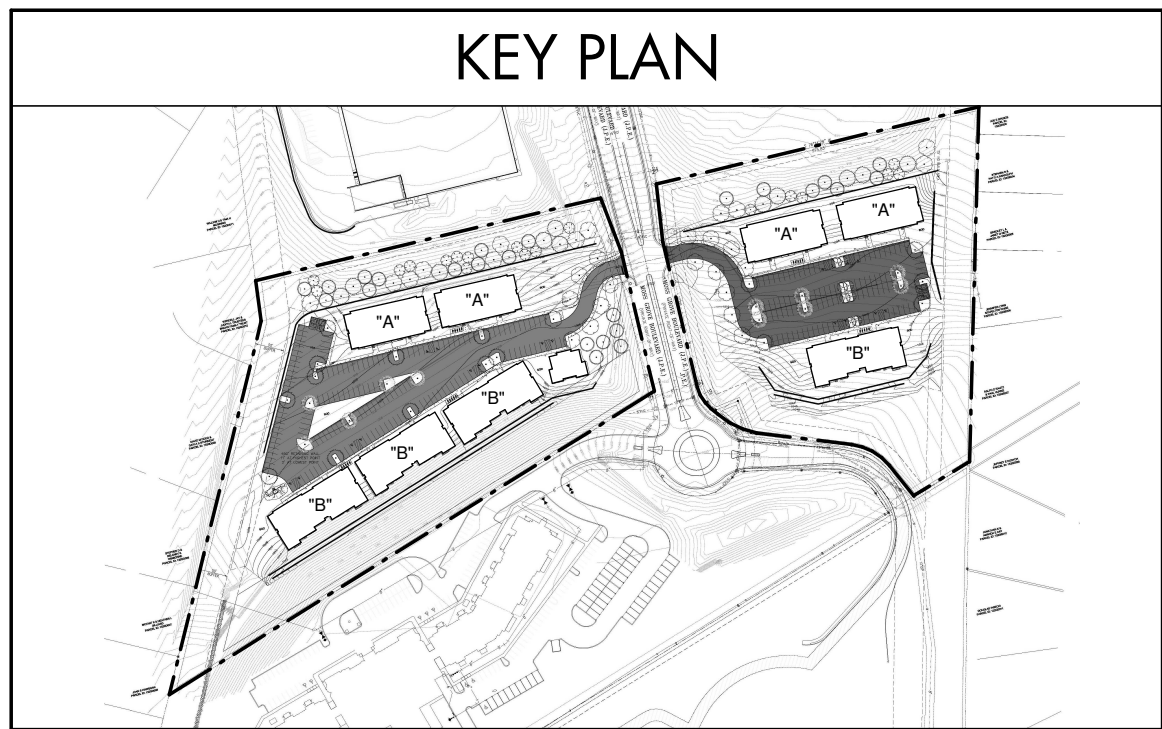
BLDG. A - LOWER
LEVEL FLOOR PLAN

A201

DRAWN:	SJO
CHECKED:	Checker
PROJECT	SV - 19048



1 BLDG. A LOWER LEVEL
1/8" = 1'-0"

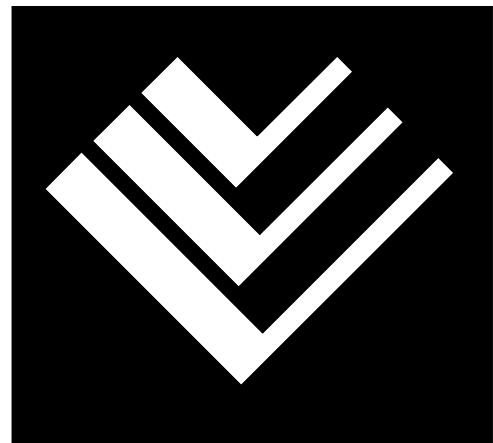


WALL LEGEND	
	INTERIOR WOOD STUD PARTITION PARTITION TYPE A
	INTERIOR WOOD STUD PARTITION PARTITION TYPE B
	1 HR RATED WOOD STUD PARTITION (UNIT SEPARATION) PARTITION TYPE C

PLAN GENERAL NOTES	
1.	REFERENCE SHEET A006 FOR PARTITION TYPES
2.	ALL DIMENSIONS ARE DESIGNATED AS FOLLOWS UNLESS SPECIFICALLY NOTED OTHERWISE: 2.1 WOOD STUDS: DIMENSIONED FROM FACE OF STUD TO FACE OF STUD 2.2 CMU: DIMENSIONED FROM FACE OF CMU BLOCK 2.3 EXTERIOR WALLS: DIMENSIONED FROM EXTERIOR FACE OF STUD
3.	PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED HANDRAILS, CASEWORK, TOILET ACCESSORIES, OR OTHER HUNG ITEMS.
4.	REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL CONDITIONS
5.	PROVIDE "SUPER ANCHOR" ROOF ANCHORS NO MORE THAN 30'-0" O.C. AND HALF WAY UP THE ROOF SLOPE FROM THE DRAINAGE VALLEY. INSTALL PER MANUFACTURER'S AND OSHA REQUIREMENTS. ROOFER TO FLASH PER MANUFACTURER'S REQUIREMENTS.
----- CONTROL JOINT LOCATION, SEE 4/AXXX FOR DETAILS	

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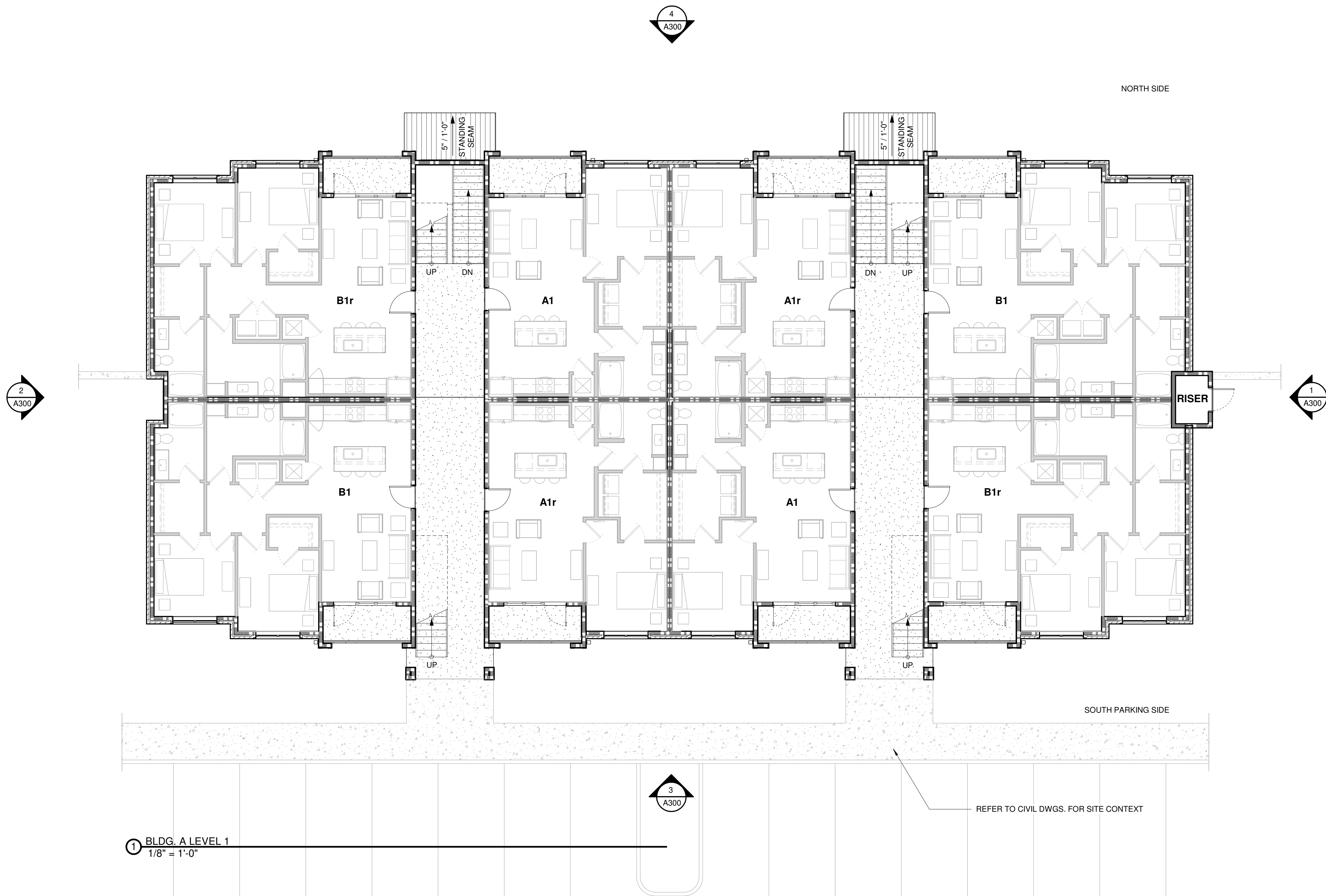
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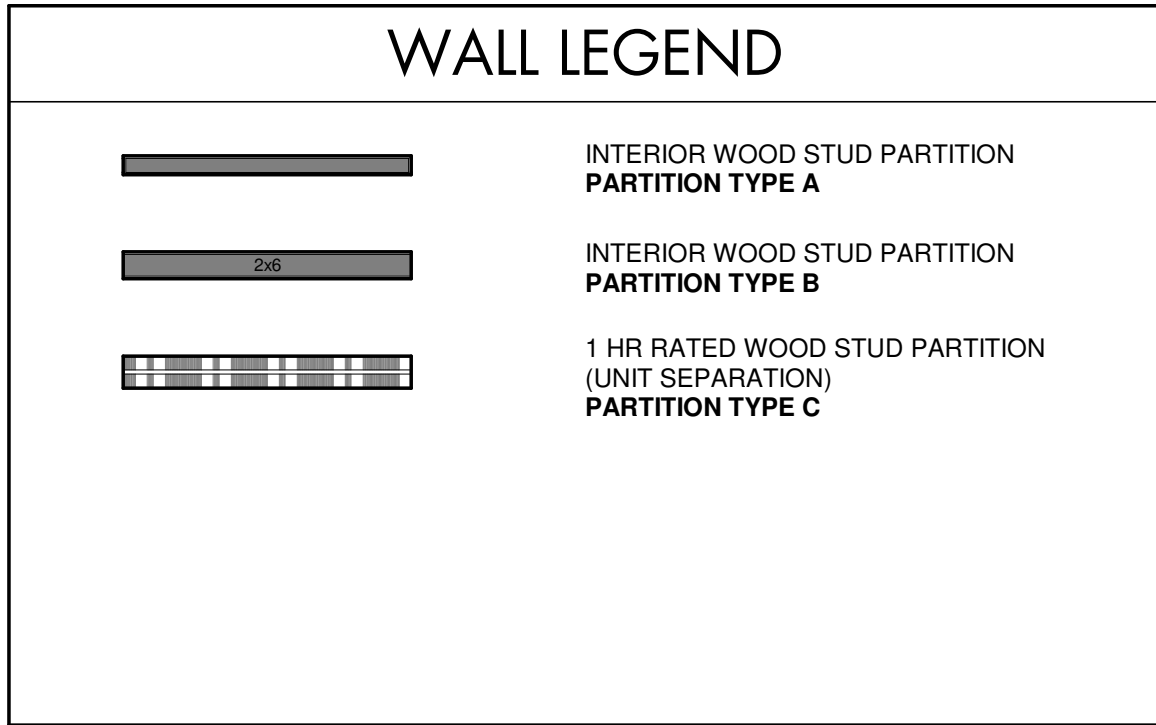
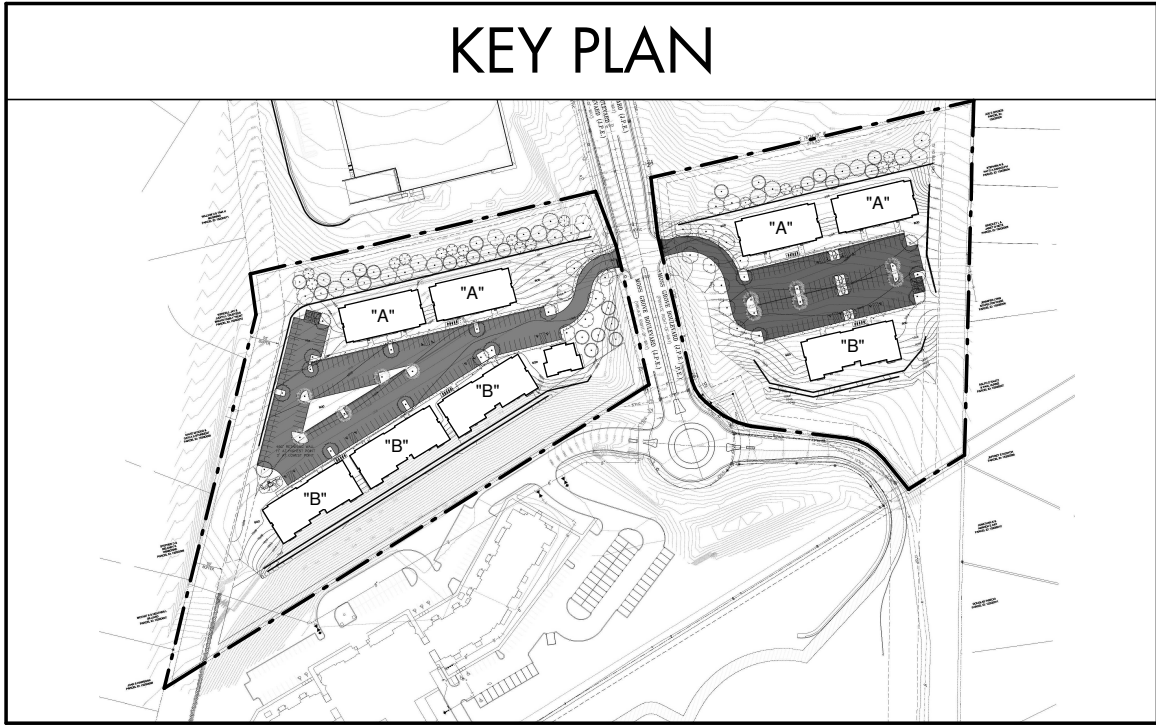
BLDG. A - FIRST FLOOR
PLAN

A202

DRAWN:	SIN
CHECKED:	Checker
PROJECT	SV - 19048

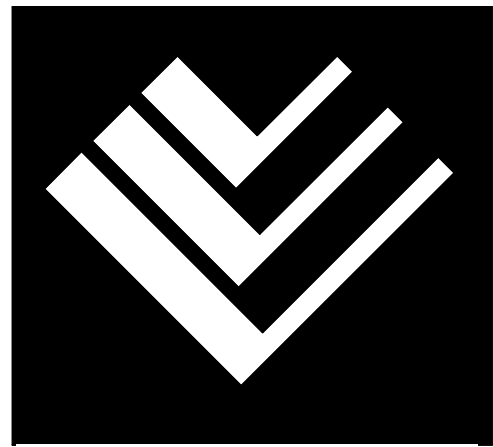


1 BLDG. A LEVEL 1
1/8" = 1'-0"



- PLAN GENERAL NOTES
- REFERENCE SHEET A006 FOR PARTITION TYPES
 - ALL DIMENSIONS ARE DESIGNATED AS FOLLOWS UNLESS SPECIFICALLY NOTED OTHERWISE:
 - WOOD STUDS: DIMENSIONED FROM FACE OF STUD TO FACE OF STUD
 - CMU: DIMENSIONED FROM FACE OF CMU BLOCK
 - EXTERIOR WALLS: DIMENSIONED FROM EXTERIOR FACE OF STUD
 - PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED HANDRAILS, CASEWORK, TOILET ACCESSORIES, OR OTHER HUNG ITEMS.
 - REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL CONDITIONS
 - PROVIDE "SUPER ANCHOR" ROOF ANCHORS NO MORE THAN 30'-0" O.C. AND HALF WAY UP THE ROOF SLOPE FROM THE DRAINAGE VALLEY. INSTALL PER MANUFACTURER'S AND OSHA REQUIREMENTS. ROOFER TO FLASH PER MANUFACTURER'S REQUIREMENTS.
- CONTROL JOINT LOCATION, SEE 4/AXXX FOR DETAILS

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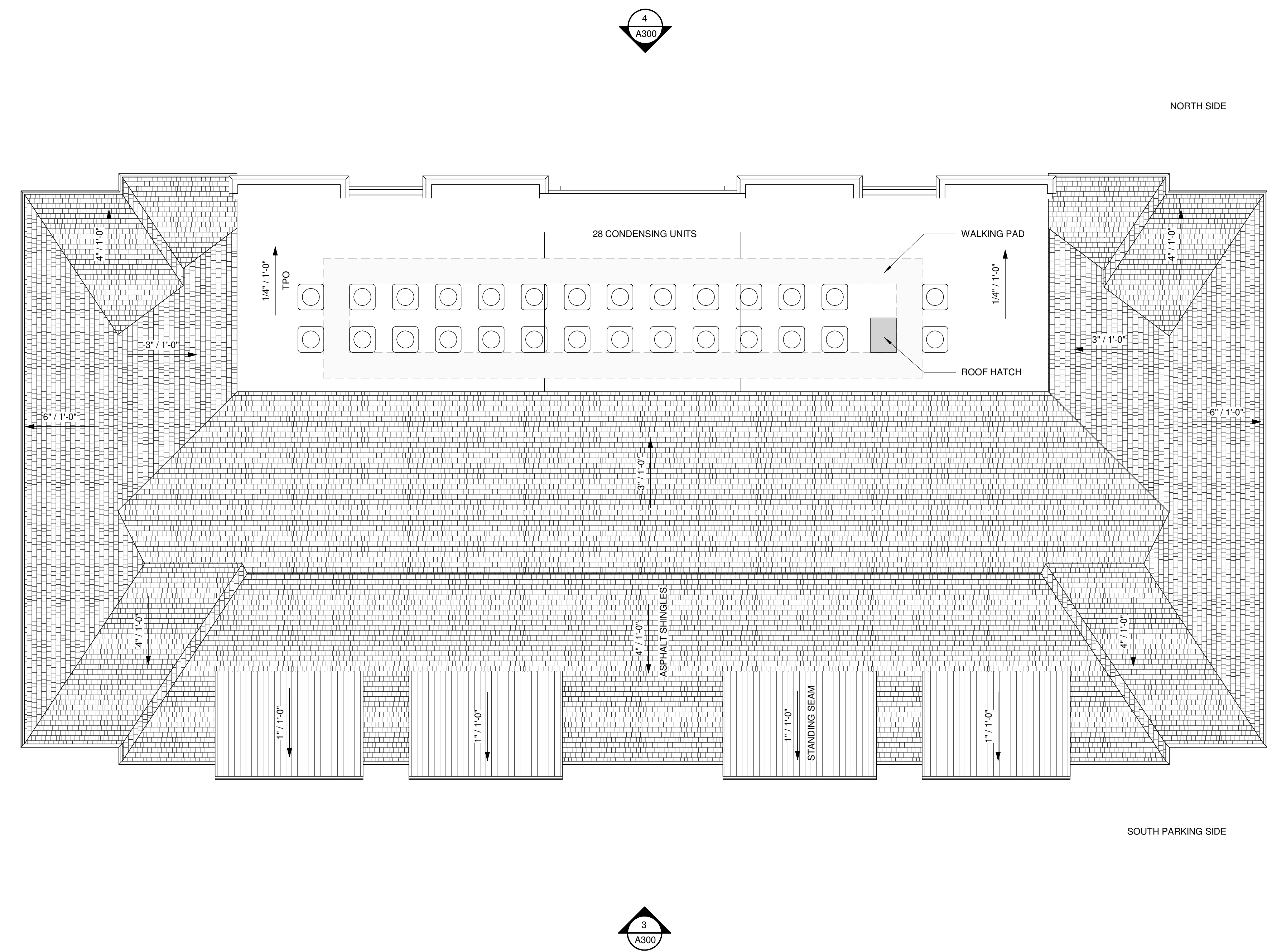
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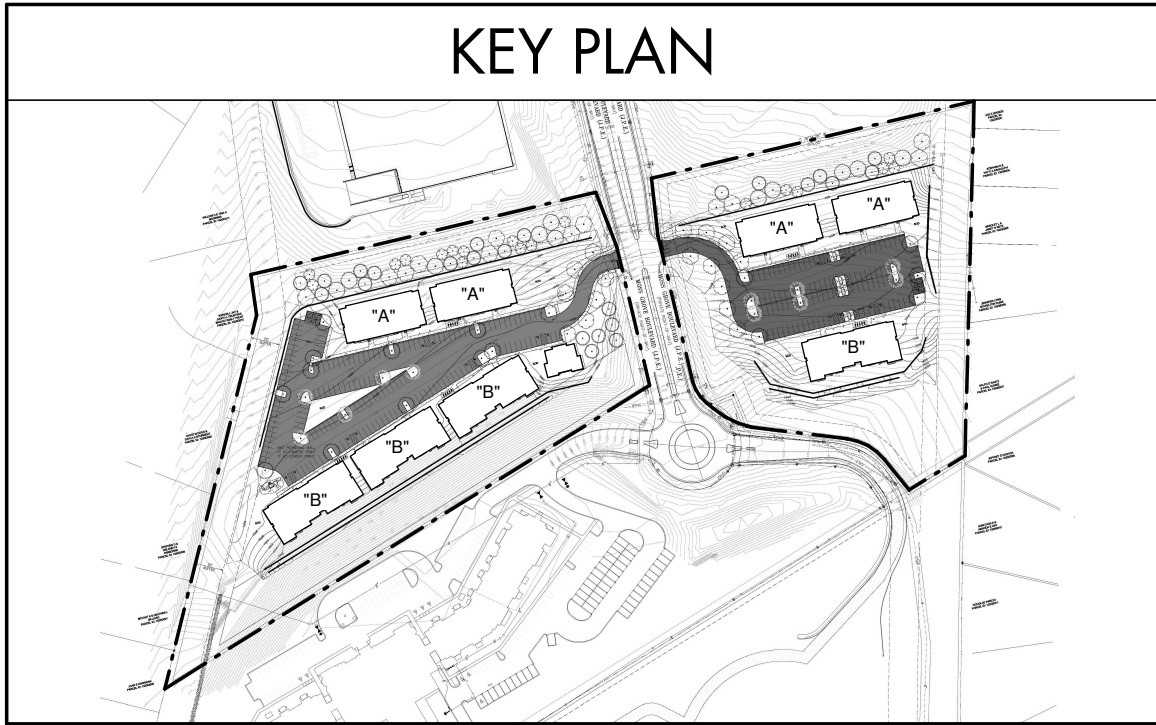
BLDG. A - ROOF PLAN

A205

DRAWN:	SJO
CHECKED:	Checker
PROJECT	SV - 19048

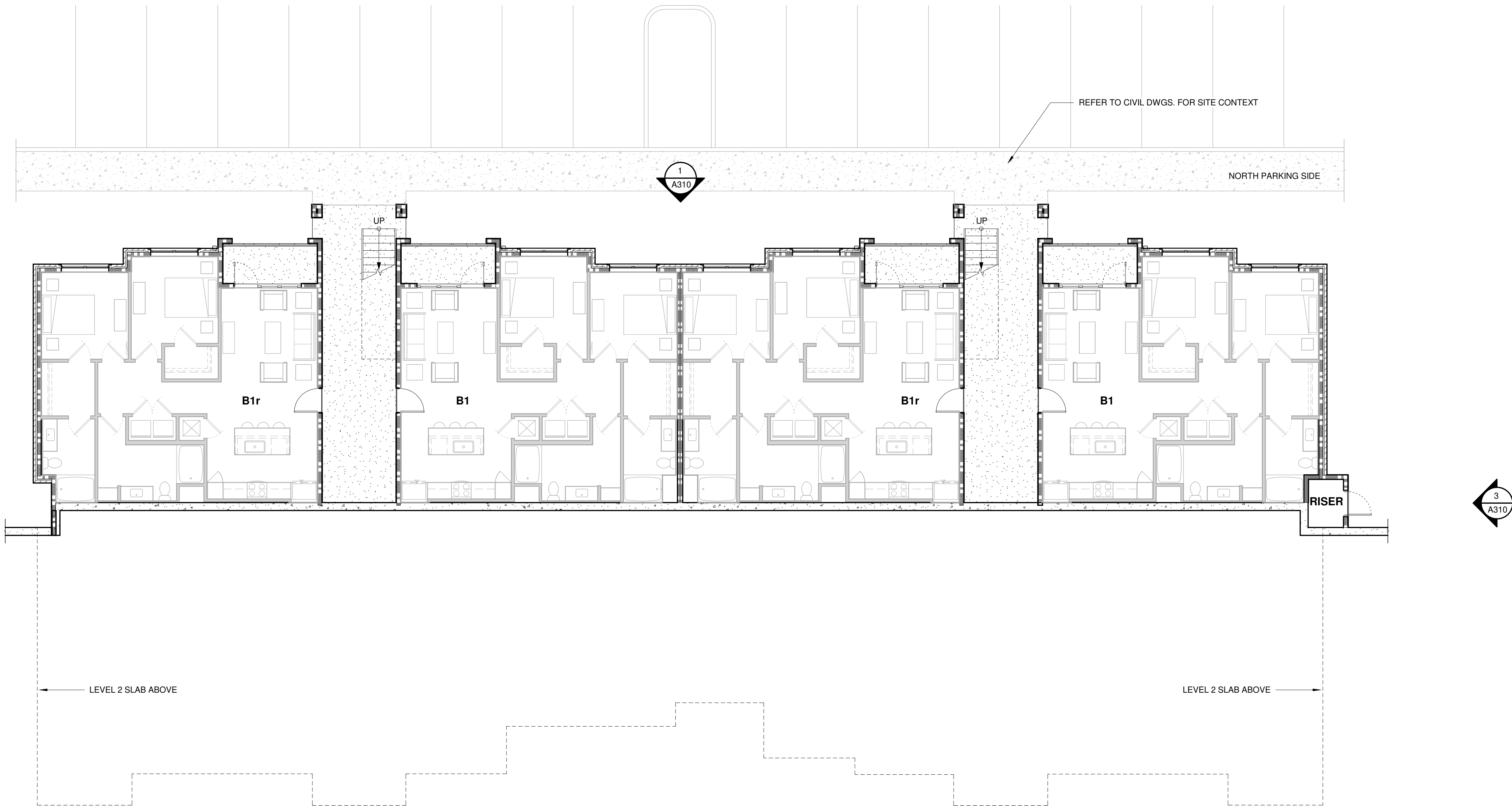


1 BLDG. A ROOF PLAN
1/8" = 1'-0"

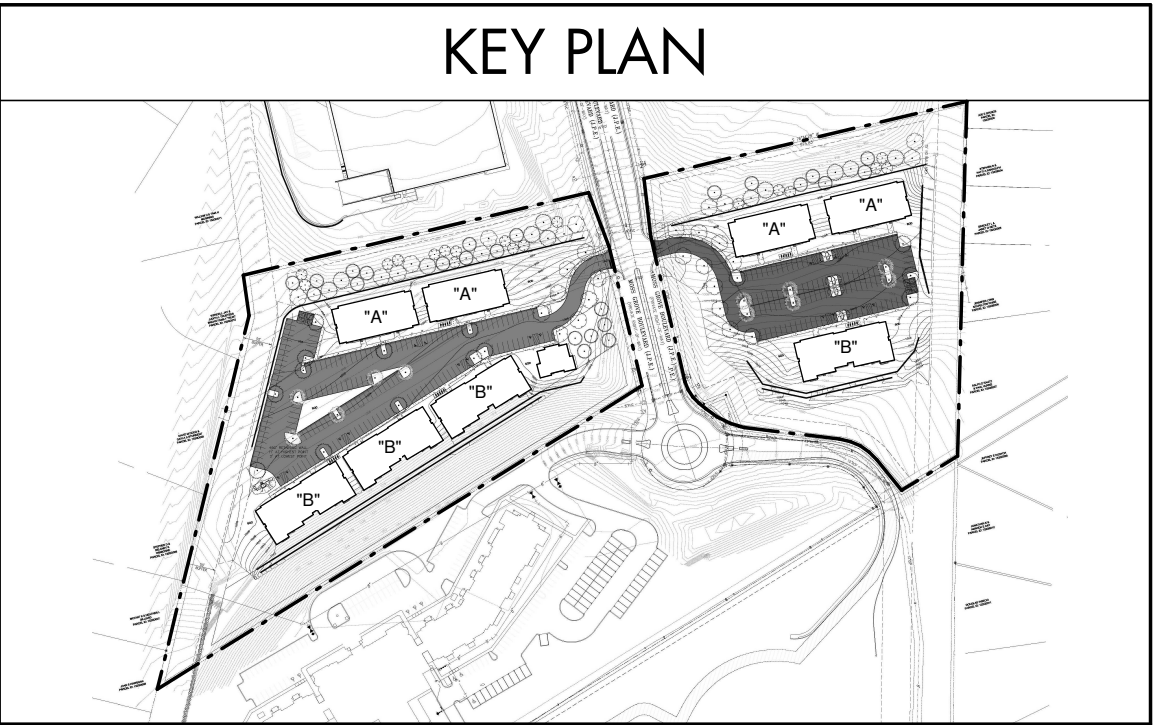


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1 BLDG. B LEVEL 1
1/8" = 1'-0"

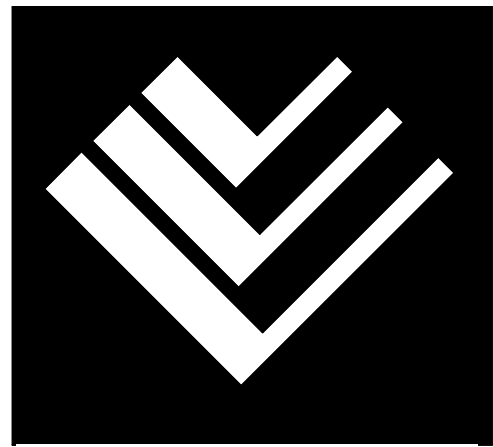


WALL LEGEND	
	INTERIOR WOOD STUD PARTITION PARTITION TYPE A
	INTERIOR WOOD STUD PARTITION PARTITION TYPE B
	1 HR RATED WOOD STUD PARTITION (UNIT SEPARATION) PARTITION TYPE C

PLAN GENERAL NOTES	
1. REFERENCE SHEET A006 FOR PARTITION TYPES	
2. ALL DIMENSIONS ARE DESIGNATED AS FOLLOWS UNLESS SPECIFICALLY NOTED OTHERWISE: 2.1 WOOD STUDS: DIMENSIONED FROM FACE OF STUD TO FACE OF STUD 2.2 CMU: DIMENSIONED FROM FACE OF CMU BLOCK 2.3 EXTERIOR WALLS: DIMENSIONED FROM EXTERIOR FACE OF STUD	
3. PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED HANDRAILS, CASEWORK, TOILET ACCESSORIES, OR OTHER HUNG ITEMS.	
4. REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL CONDITIONS	
5. PROVIDE "SUPER ANCHOR" ROOF ANCHORS NO MORE THAN 30'-0" O.C. AND HALF WAY UP THE ROOF SLOPE FROM THE DRAINAGE VALLEY. INSTALL PER MANUFACTURER'S AND OSHA REQUIREMENTS. ROOFER TO FLASH PER MANUFACTURER'S REQUIREMENTS.	
----- CONTROL JOINT LOCATION, SEE 4/AXXX FOR DETAILS	

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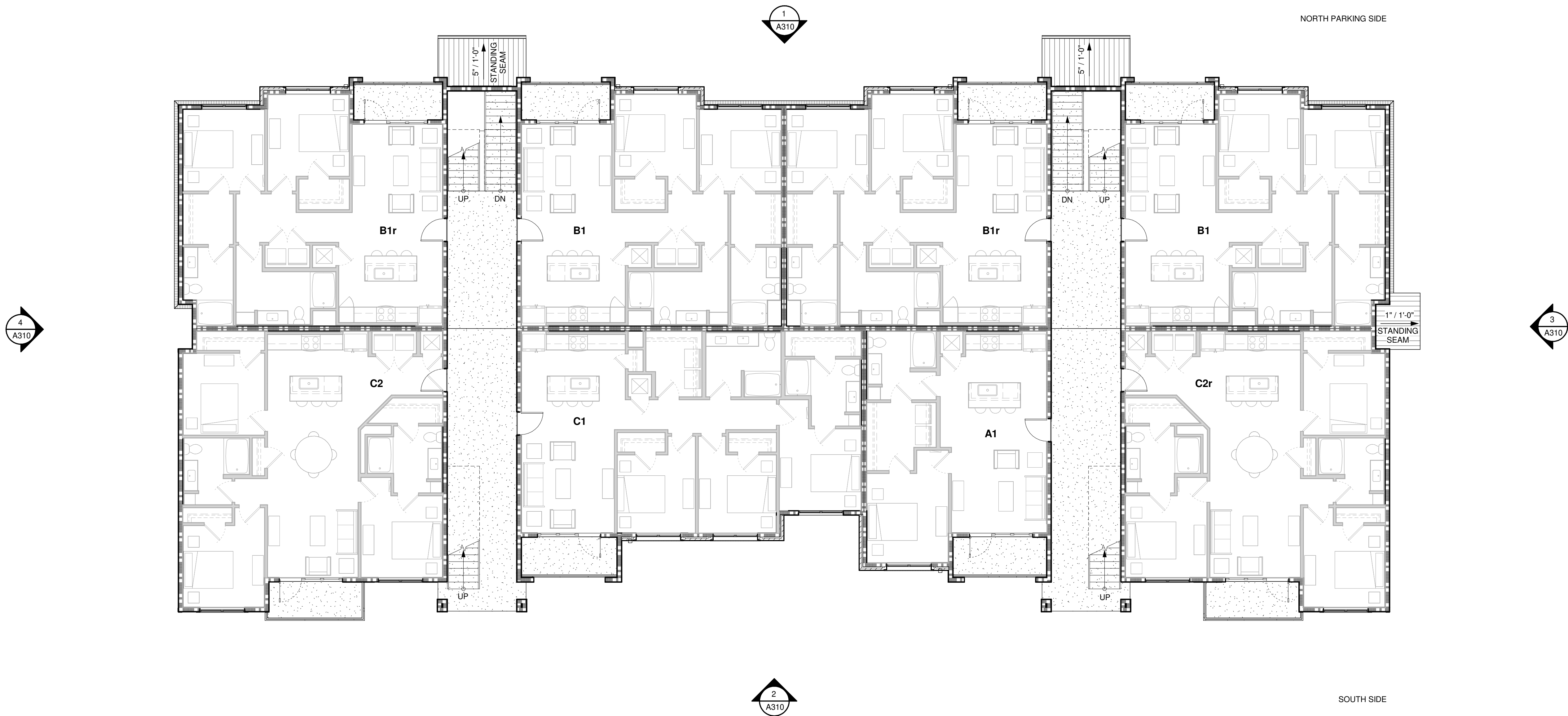
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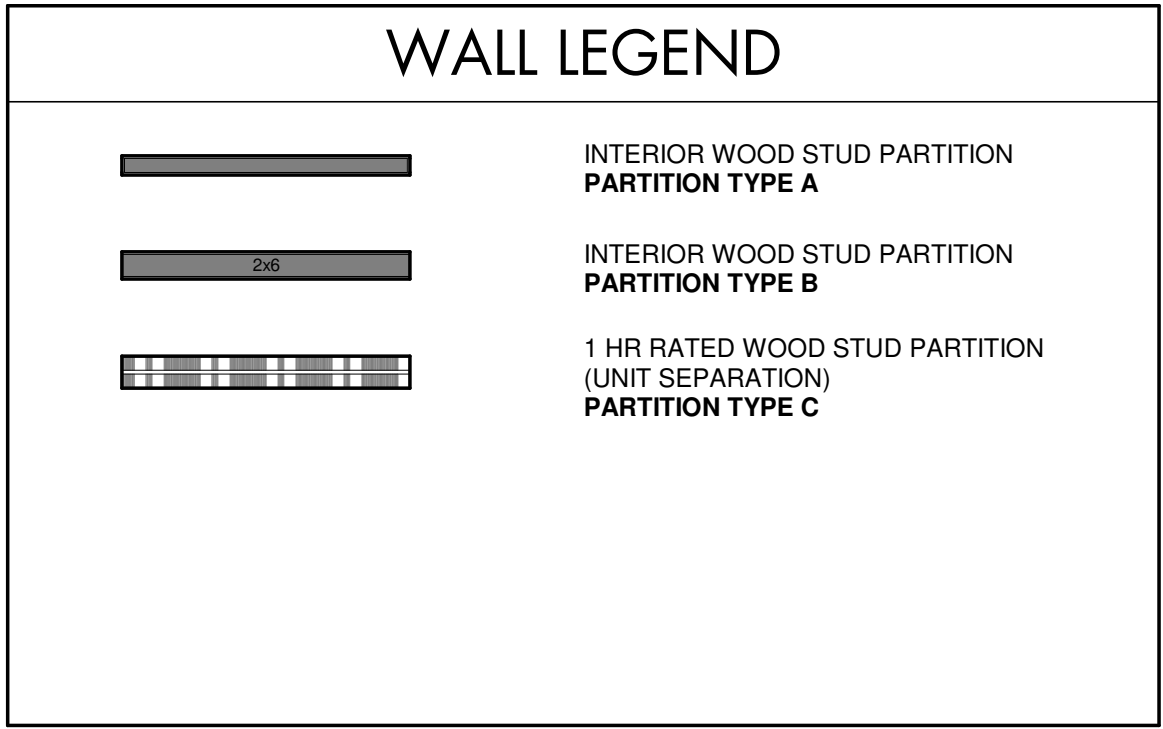
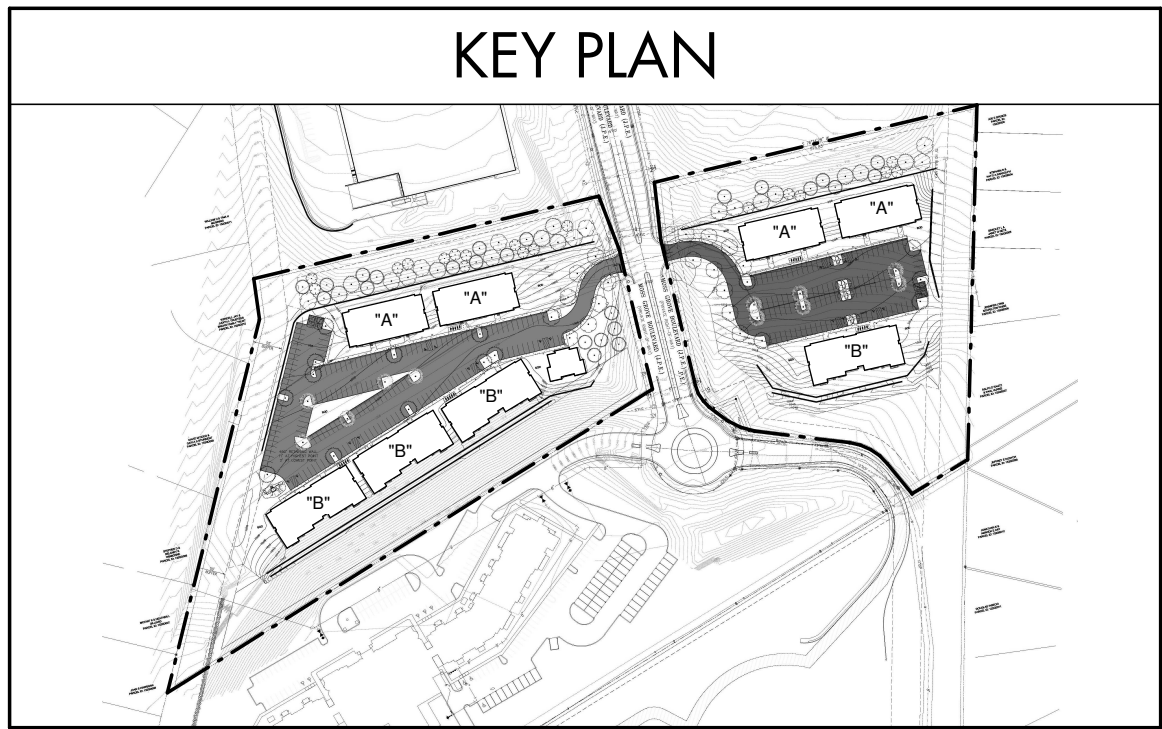
BLDG. B - SECOND
FLOOR PLAN

A212

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CHECKED:	Checker
PROJECT	SV - 19048



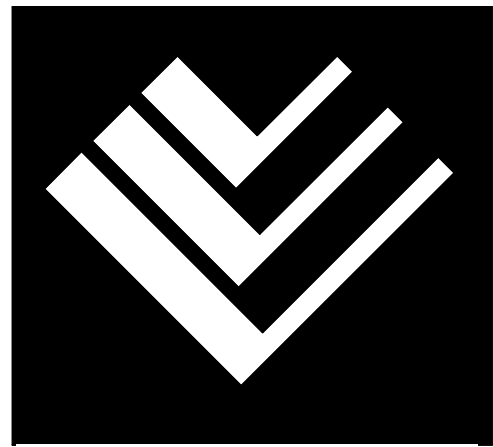
1 BLDG. B LEVEL 2
1/8" = 1'-0"



- PLAN GENERAL NOTES
- REFERENCE SHEET A006 FOR PARTITION TYPES
 - ALL DIMENSIONS ARE DESIGNATED AS FOLLOWS UNLESS SPECIFICALLY NOTED OTHERWISE:
 - WOOD STUDS: DIMENSIONED FROM FACE OF STUD TO FACE OF STUD
 - CMU: DIMENSIONED FROM FACE OF CMU BLOCK
 - EXTERIOR WALLS: DIMENSIONED FROM EXTERIOR FACE OF STUD
 - PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED HANDRAILS, CASEWORK, TOILET ACCESSORIES, OR OTHER HUNG ITEMS.
 - REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL CONDITIONS
 - PROVIDE "SUPER ANCHOR" ROOF ANCHORS NO MORE THAN 30'-0" O.C. AND HALF WAY UP THE ROOF SLOPE FROM THE DRAINAGE VALLEY. INSTALL PER MANUFACTURER'S AND OSHA REQUIREMENTS. ROOFER TO FLASH PER MANUFACTURER'S REQUIREMENTS.
- CONTROL JOINT LOCATION, SEE 4/AXXX FOR DETAILS

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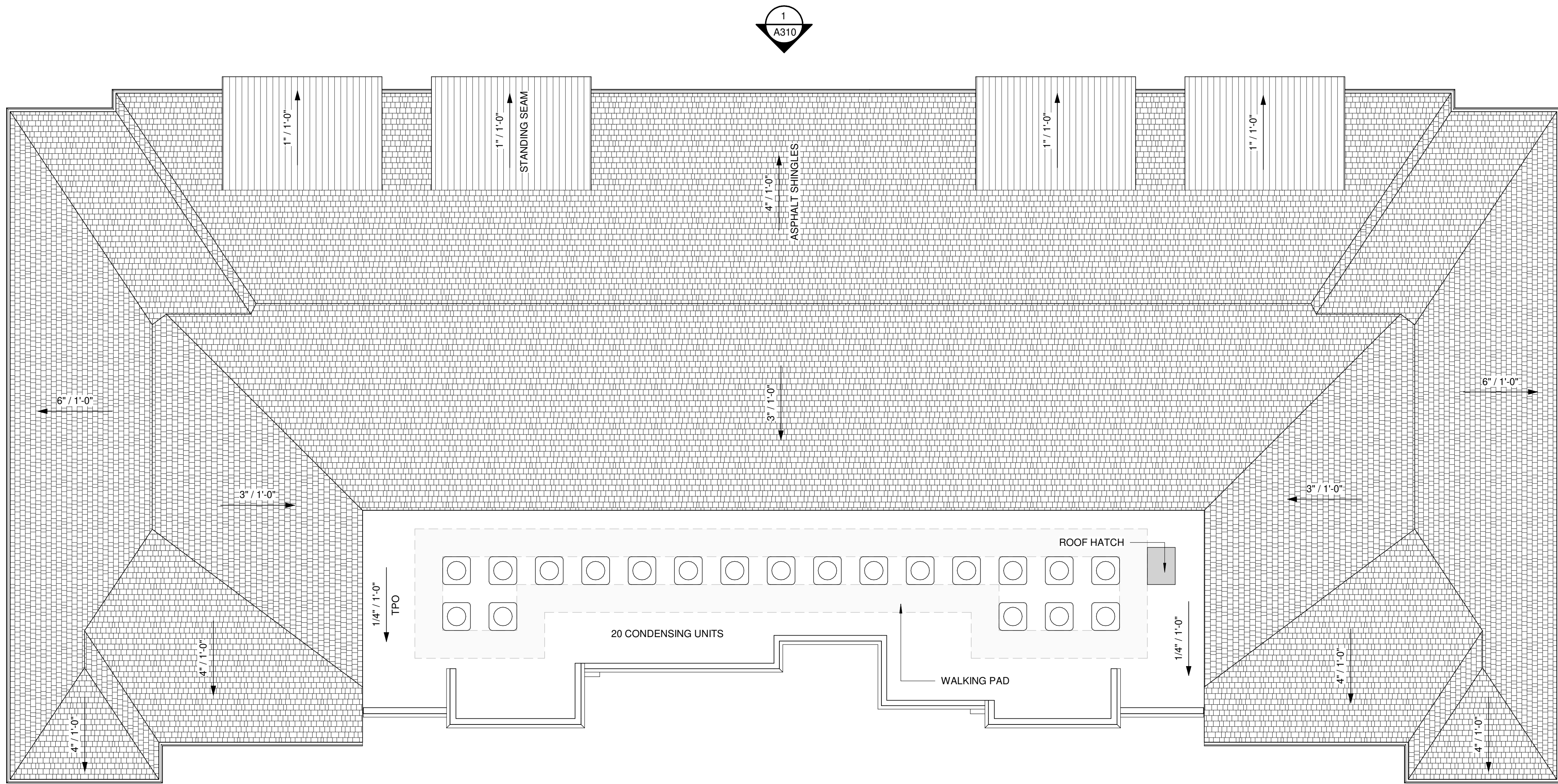
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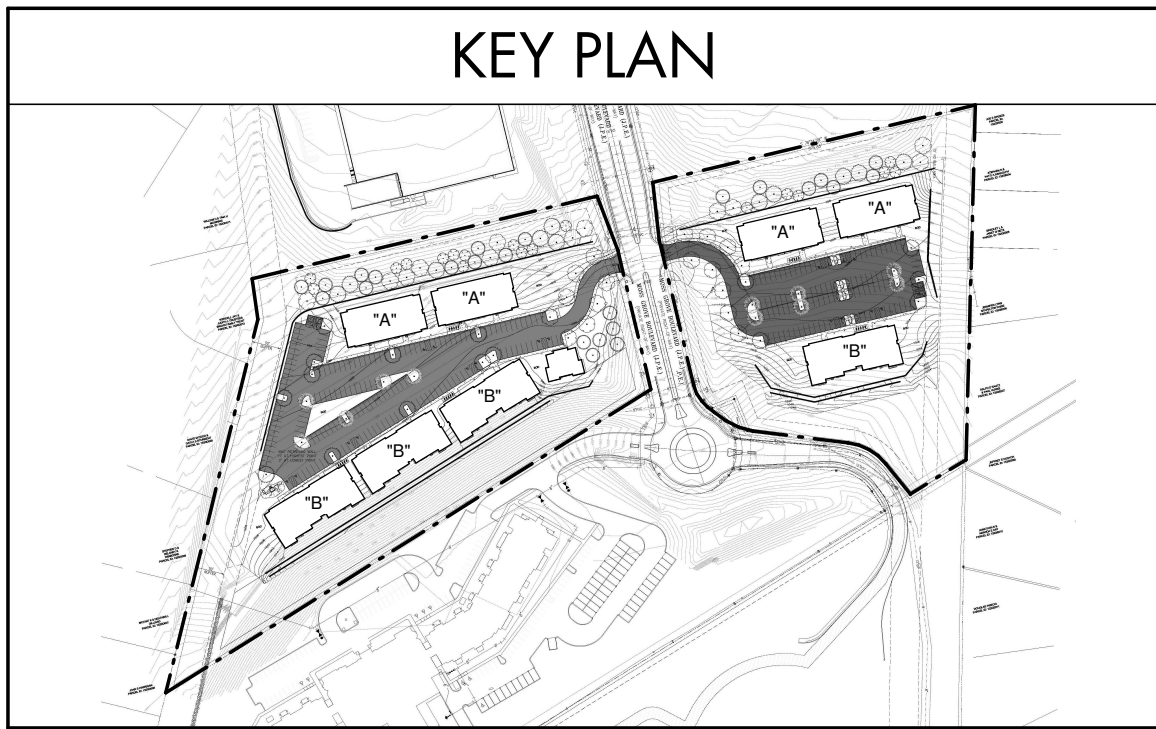
BLDG. B - ROOF PLAN

A214

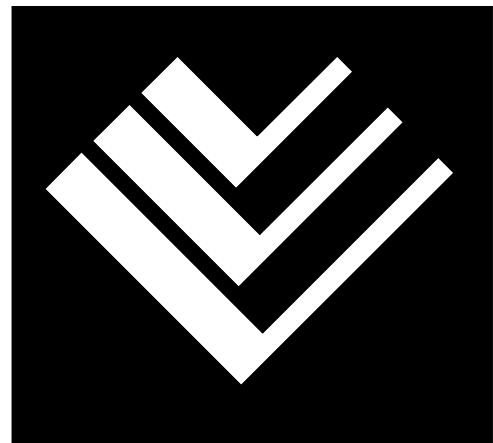
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1 BLDG. B ROOF PLAN
1/8" = 1'-0"



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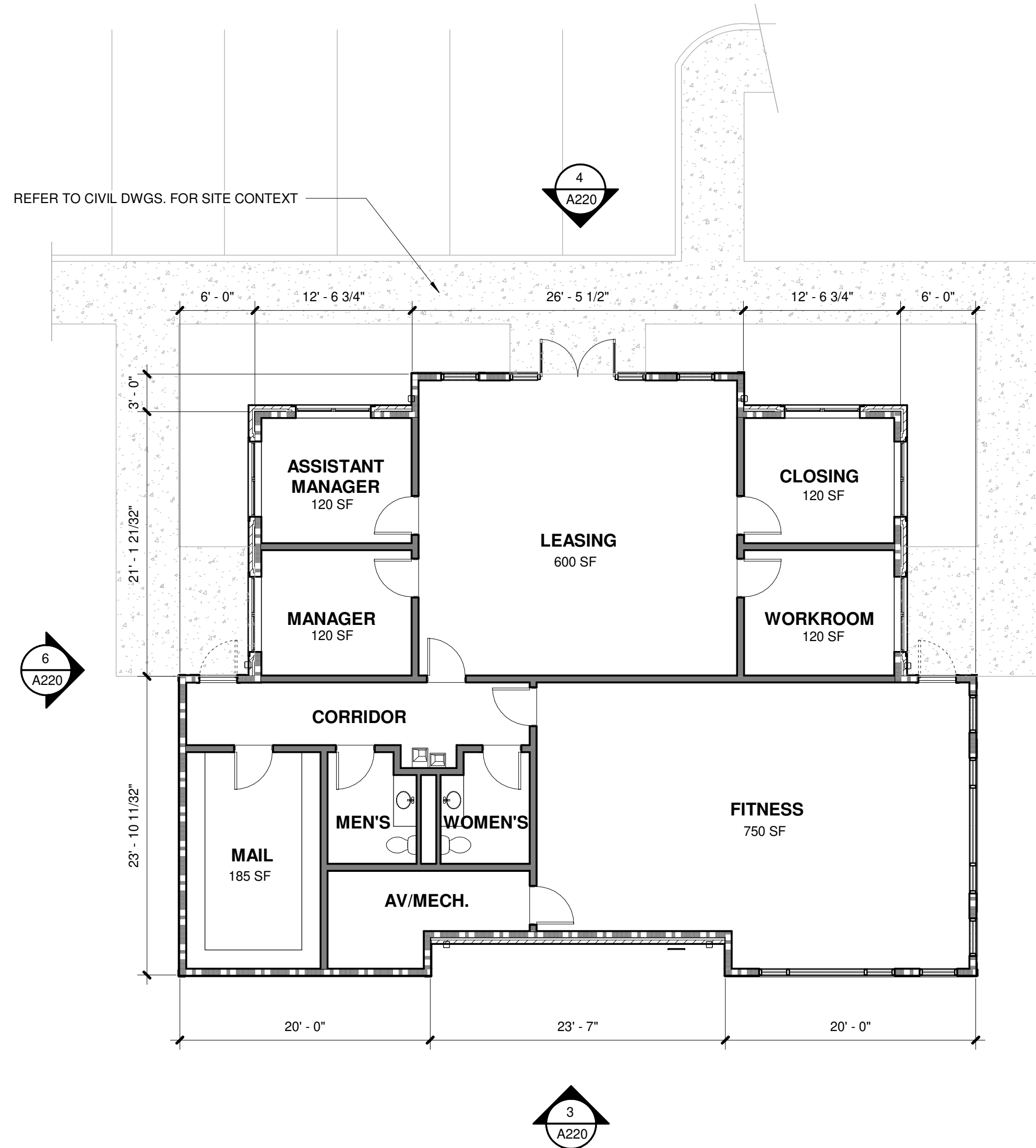
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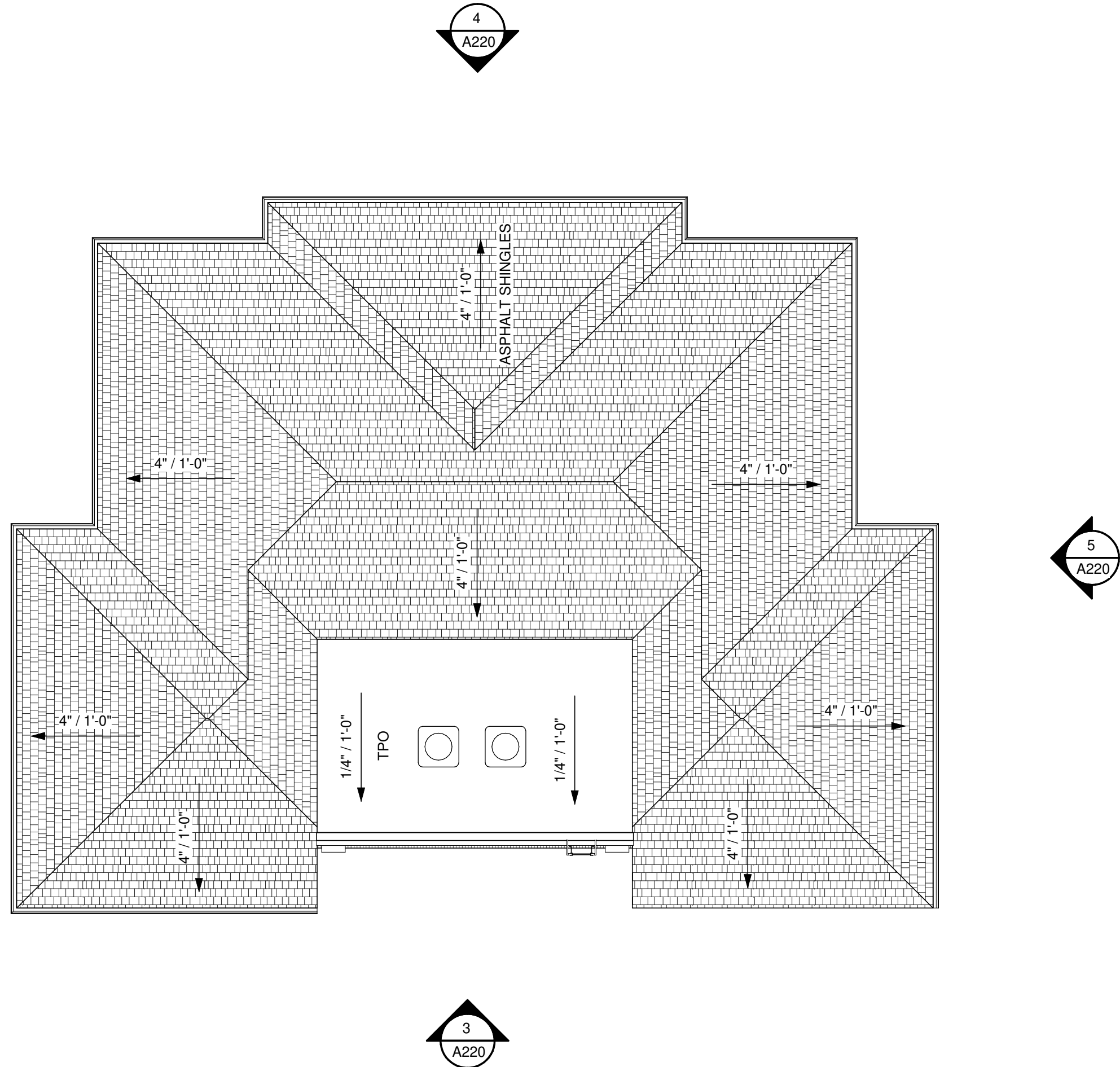
LEASING FLOOR PLAN

A220

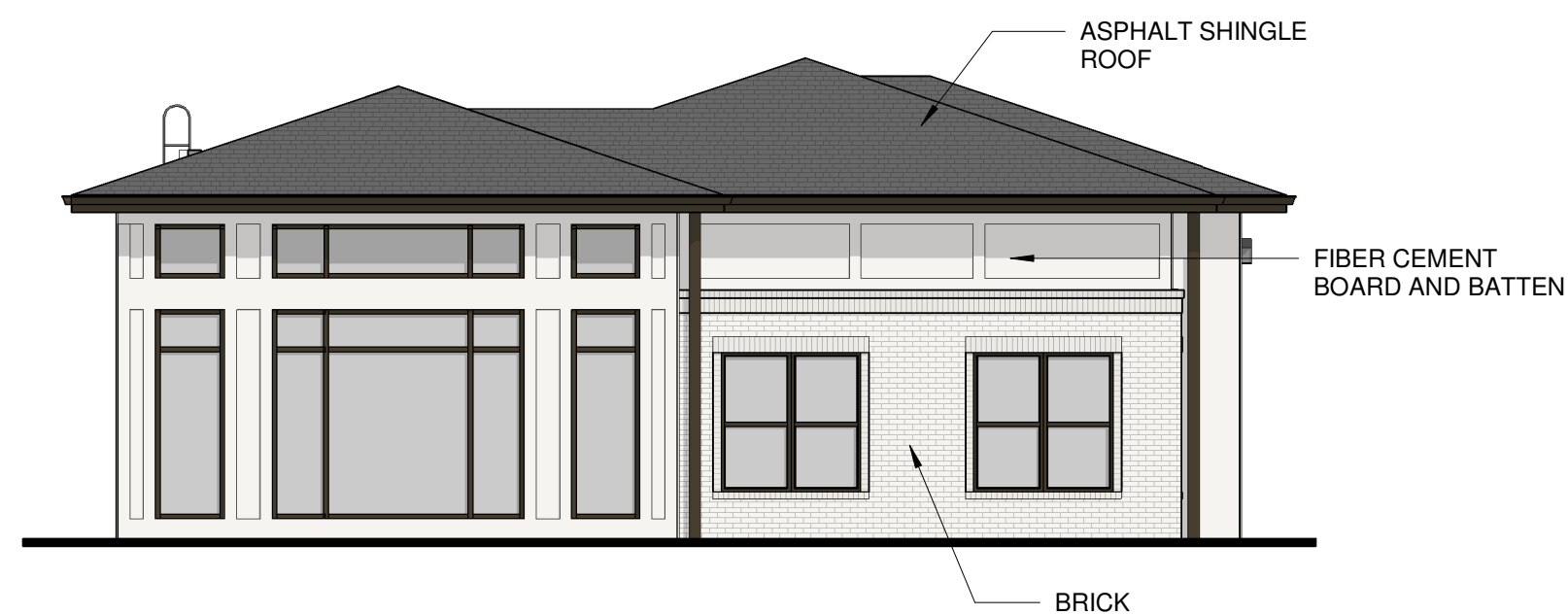
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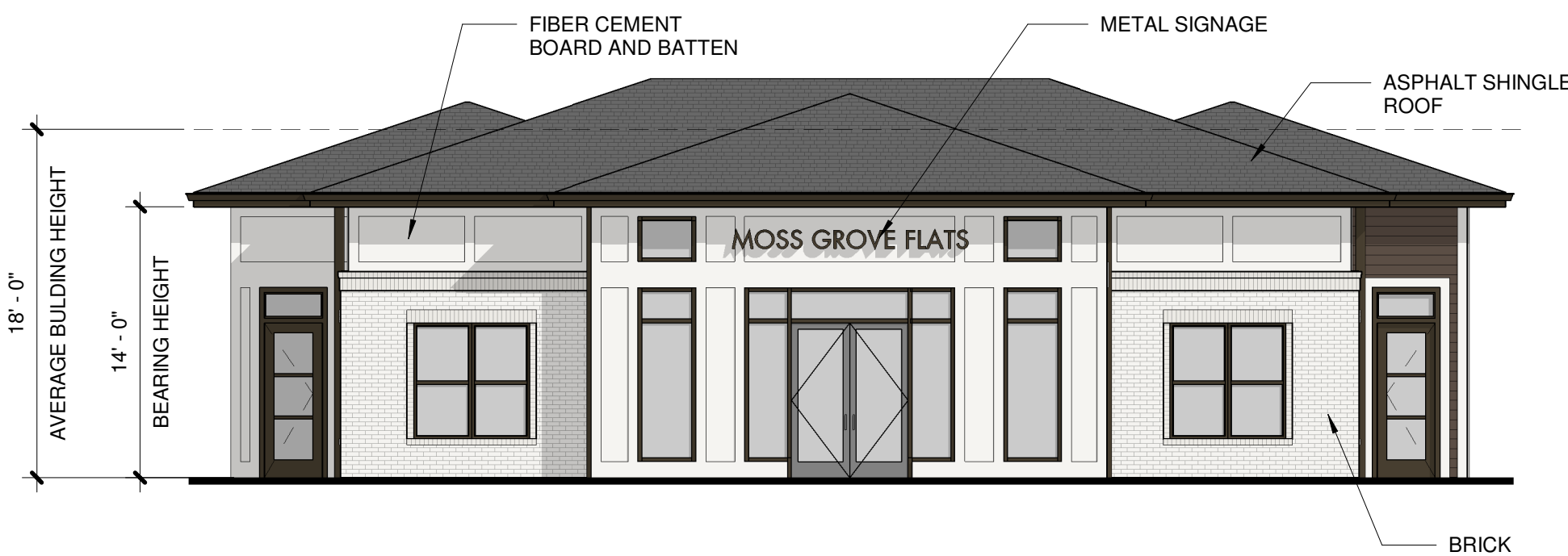
1 LEASING LEVEL 1
1/8" = 1'-0"



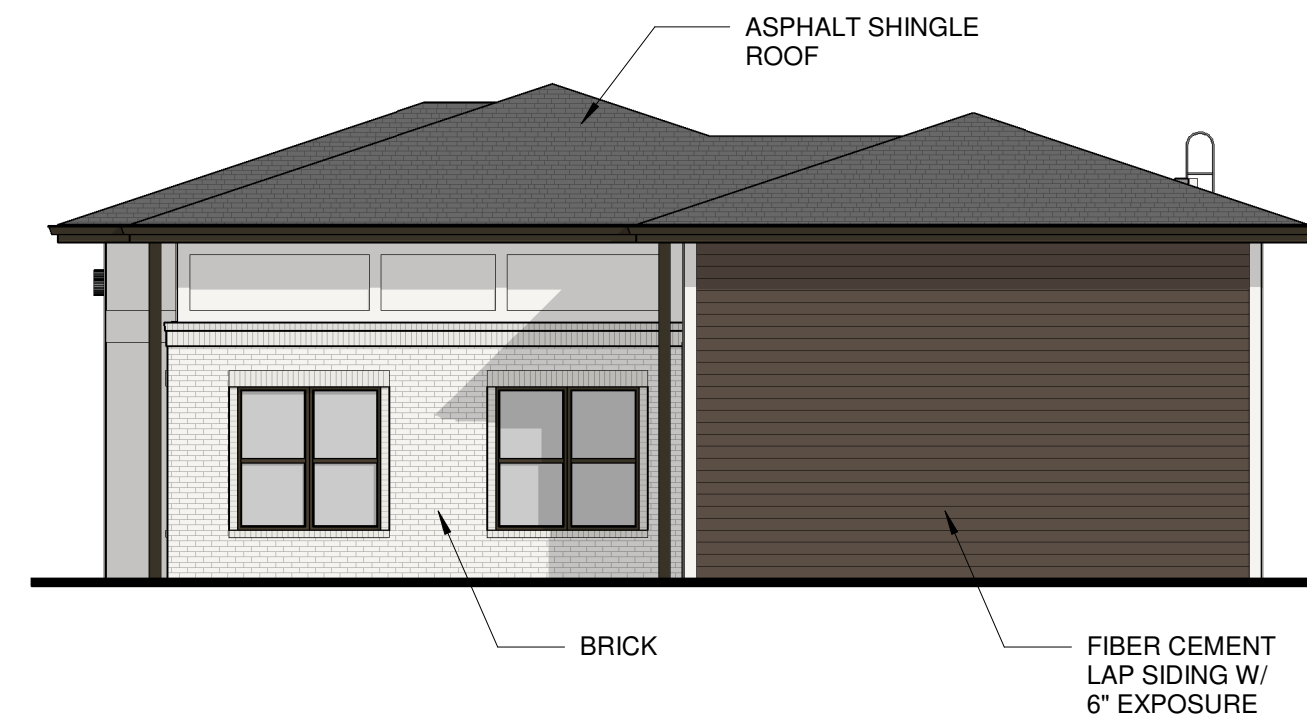
2 LEASING ROOF PLAN
1/8" = 1'-0"



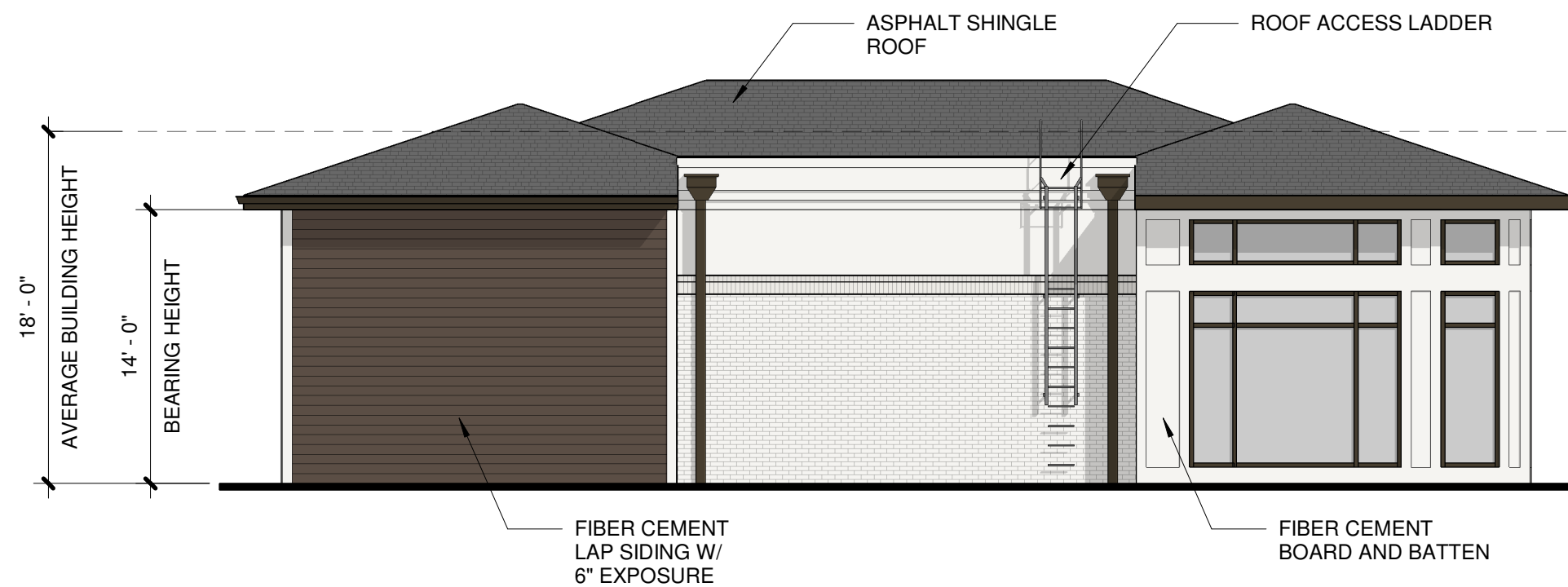
5 LEASING EAST ELEVATION
1/8" = 1'-0"



4 LEASING NORTH ELEVATION
1/8" = 1'-0"



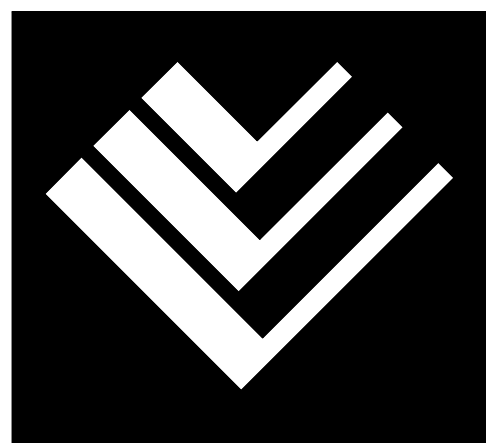
6 LEASING WEST ELEVATION
1/8" = 1'-0"



3 LEASING SOUTH ELEVATION
1/8" = 1'-0"

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BLDG. A - ELEVATIONS

A300

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CHECKED:	Checker
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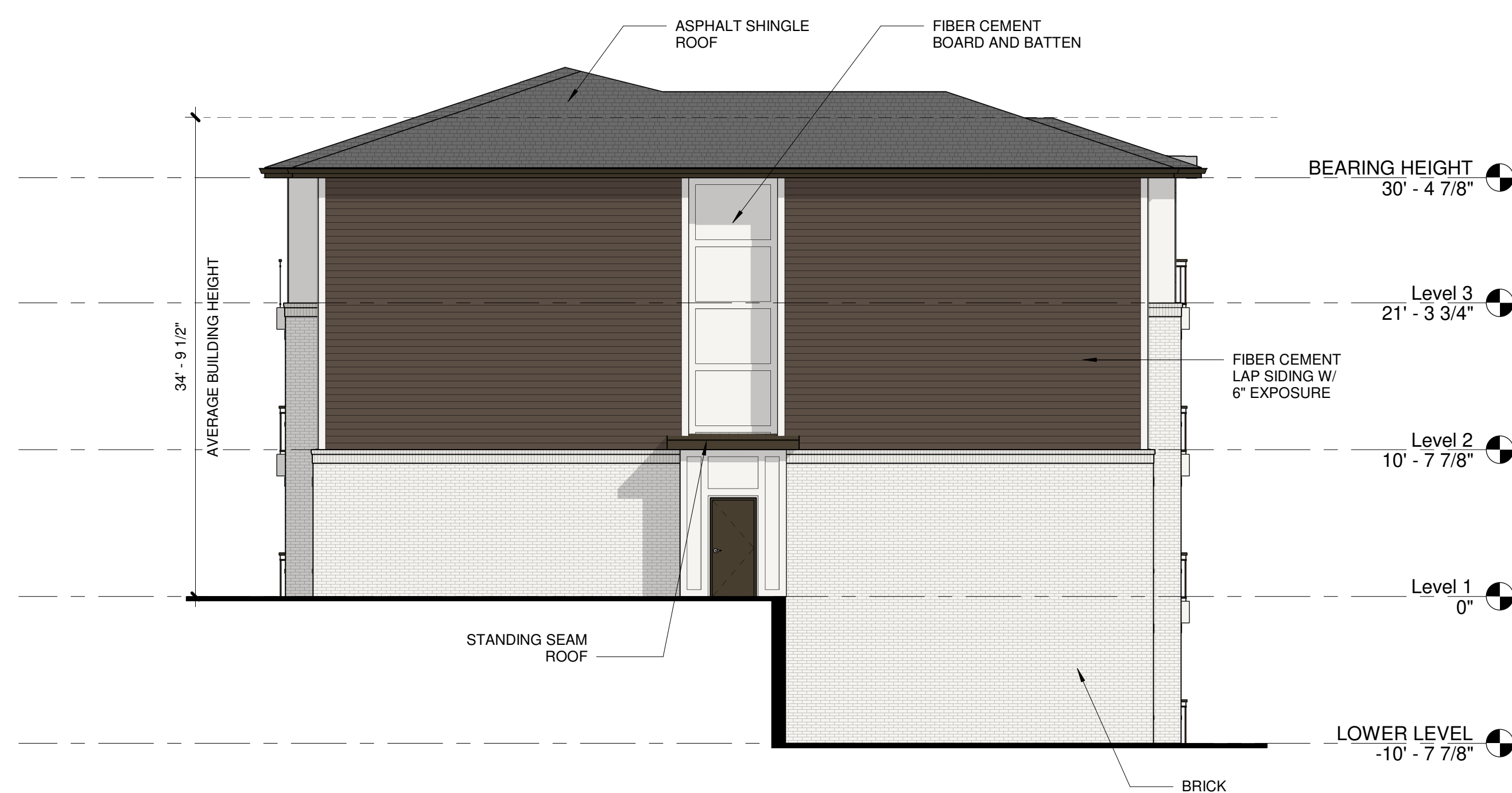
④ BLDG. A NORTH ELEVATION
1/8" = 1'-0"



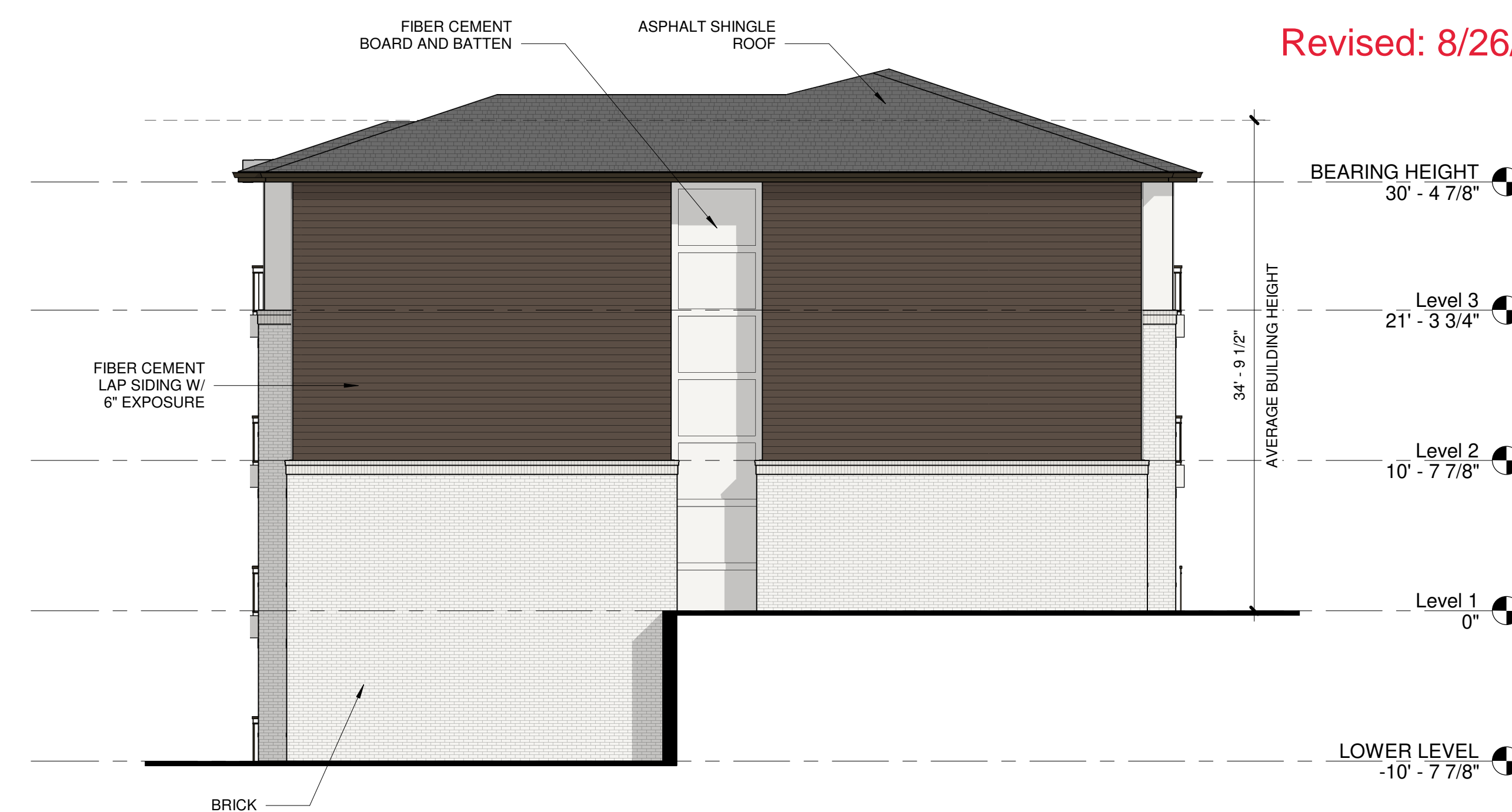
③ BLDG. A SOUTH ELEVATION
1/8" = 1'-0"

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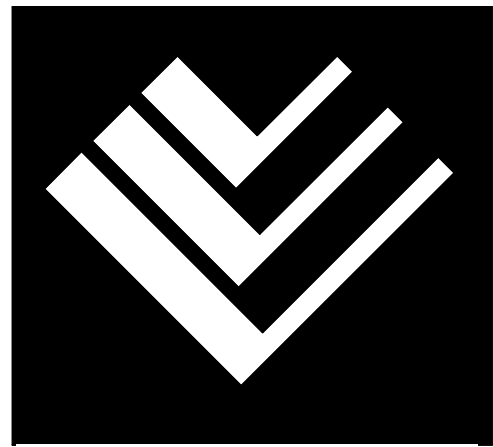
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① BLDG. A EAST ELEVATION
1/8" = 1'-0"



② BLDG. A WEST ELEVATION
1/8" = 1'-0"



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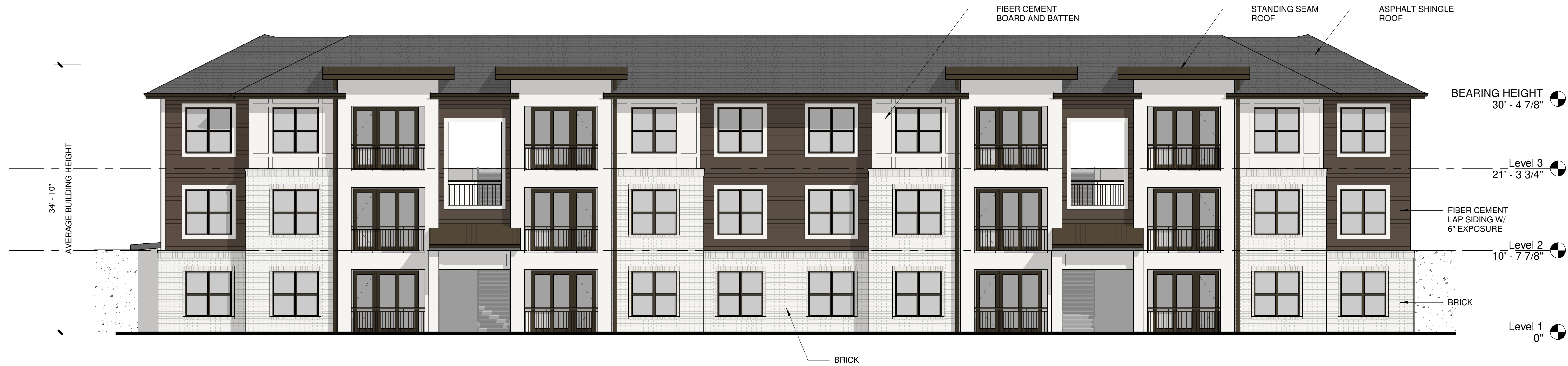
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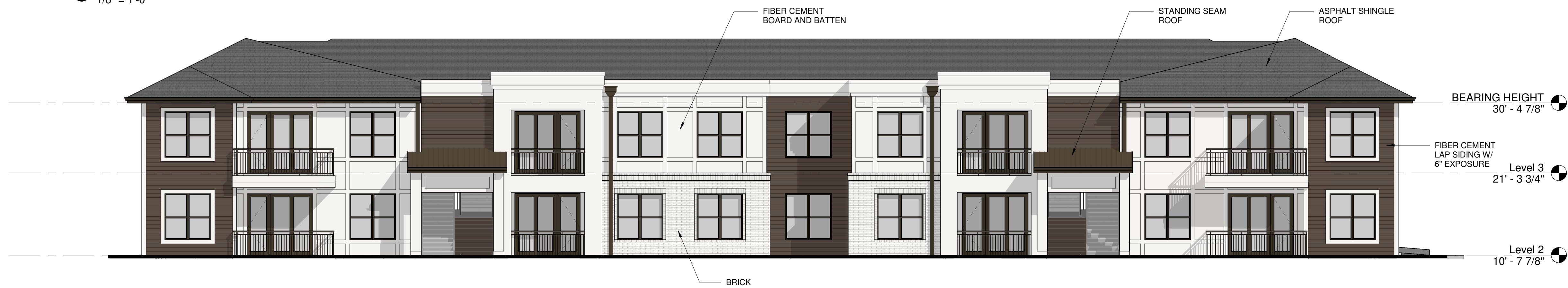
BLDG. B - ELEVATIONS

A310

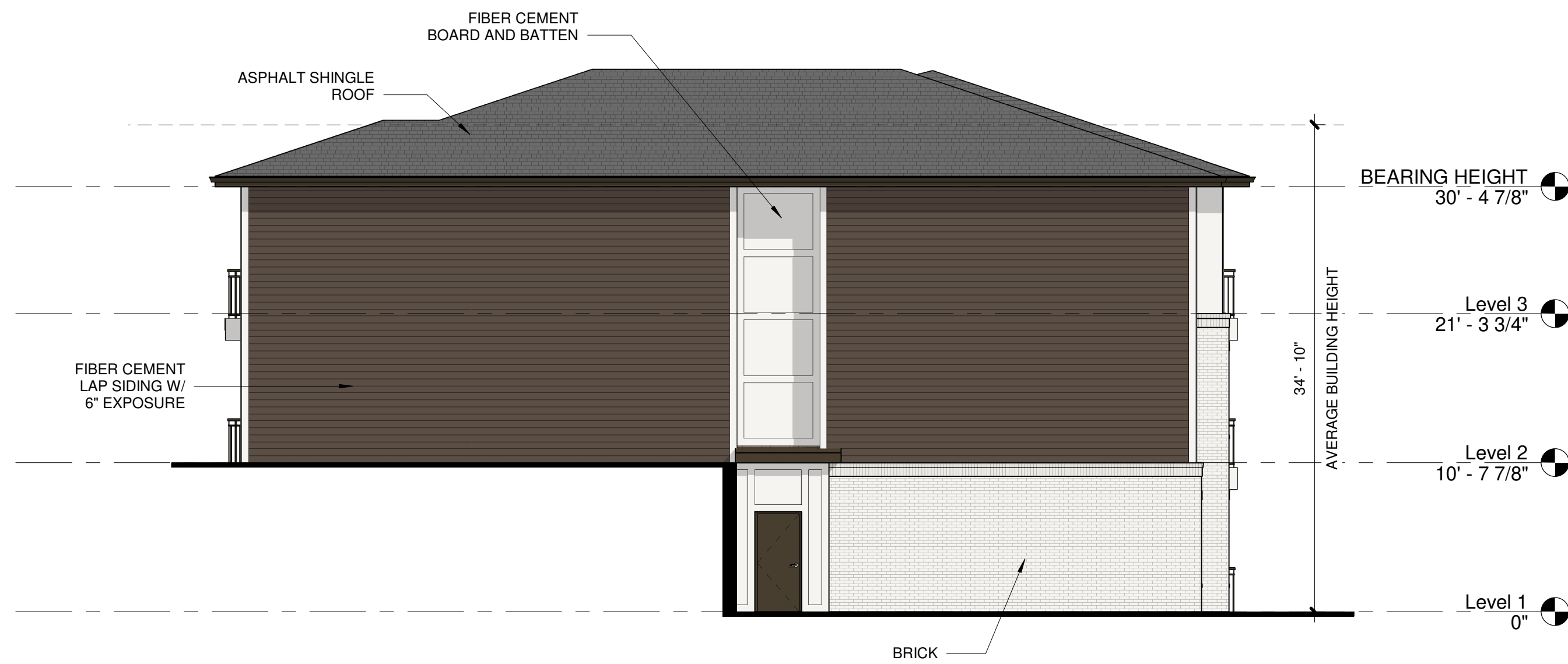
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PROJECT	SV - 19048



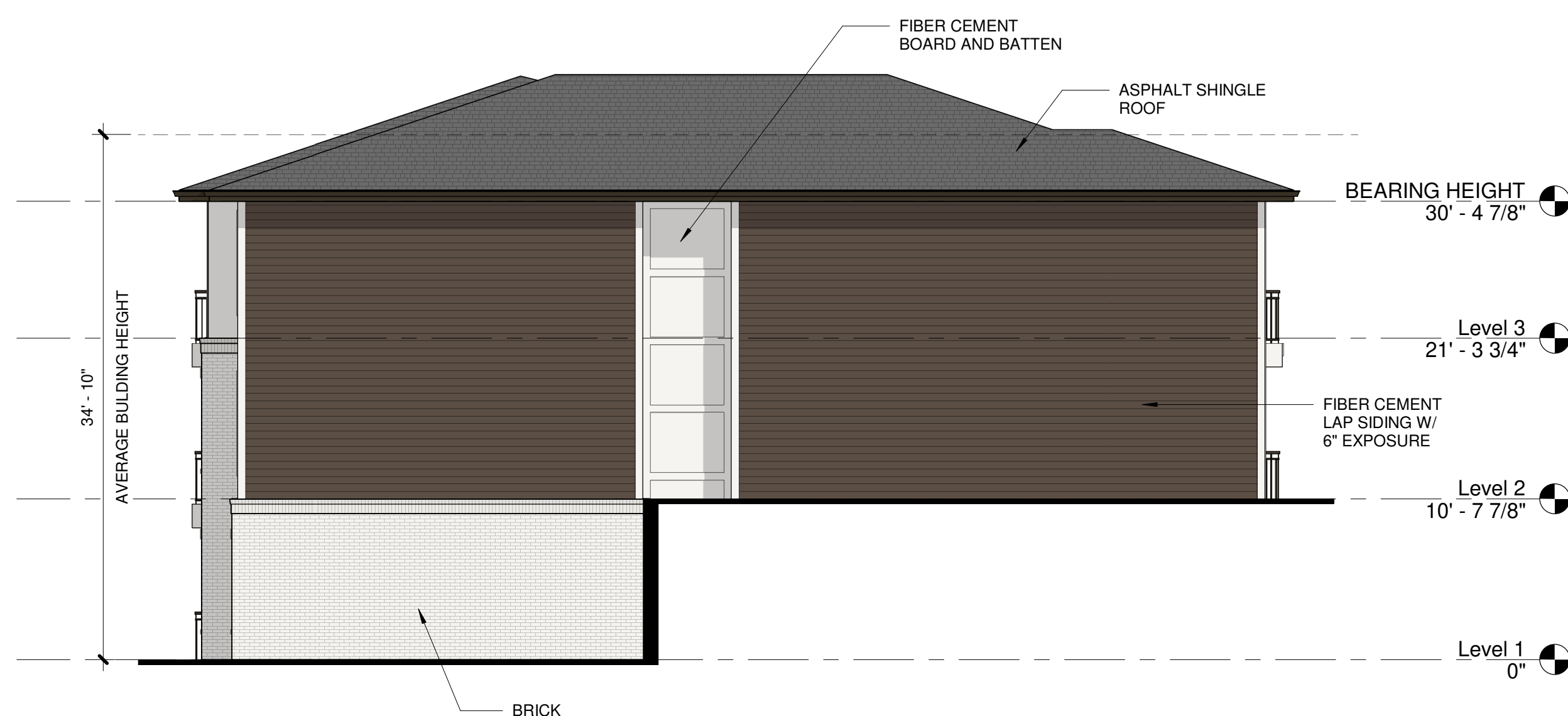
1 BLDG. B NORTH ELEVATION
1/8" = 1'-0"



2 BLDG. B SOUTH ELEVATION
1/8" = 1'-0"



3 BLDG. B EAST ELEVATION
1/8" = 1'-0"



4 BLDG. B WEST ELEVATION
1/8" = 1'-0"

9-B-19-DT

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User Friendly

Radius Edges

3-D Appearance

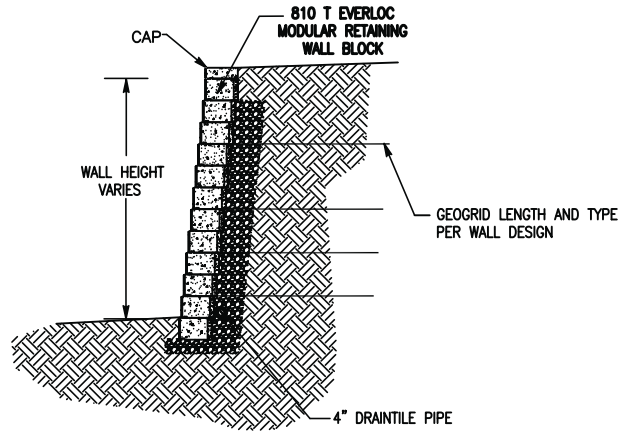
Self Aligning Corners

No Sawing At Corners

Eliminates The Need To Stay On Bond

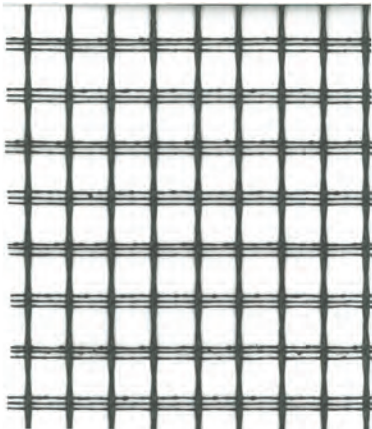
Random Look Without Multiple Sizes

Guaranteed Speedy Delivery And Service



810 T RETAINING WALL DETAIL
N.T.S.

For reinforced walls, ask about Geogrid reinforcement. Geogrid can be purchased from E. Dillon & Company and delivered to your jobsite along with **EVERLOC®** units.



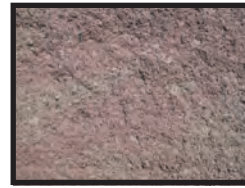
9-B-19-UR

Revised: 8/26/2019

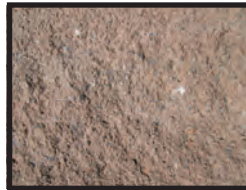
AVAILABLE COLORS



Sienna



Redwood



Copper



Ash Gray

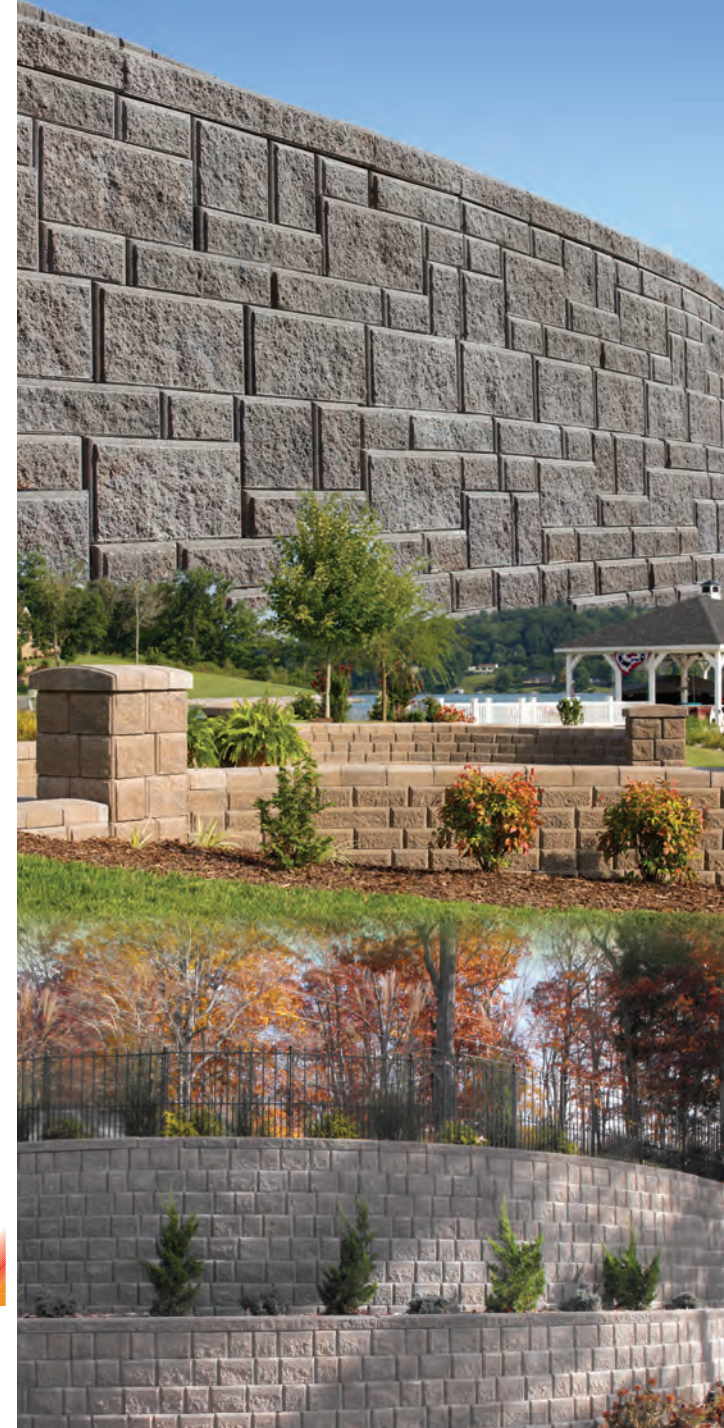
**TO PLACE ORDERS OR TO INQUIRE ABOUT
SHIPMENTS PLEASE CONTACT:
EVERLOC® RETAINING WALLS
CUSTOMER SERVICE CENTER
P O BOX 160
SWORDS CREEK, VA 24649
PH: (877) 622-9255
FAX: (276) 873-5688
EMAIL - EVERLOC@EDILLON.COM**

**WEBSITE:
WWW.EVERLOCRETAININGWALLS.COM**



EVERLOC®

RETAINING WALLS



EVERLOC®

RETAINING WALLS

WALL UNITS



833 Utility
8" h x 12" d x 6" l
72 block / cube
.33 ft²



850 Half
8" h x 12" d x 9" l
48 block / cube
.5 ft²



Corner
8" h x 9" d x 12" l
setback 3/4"
45 block / cube
1.2 ft²



810T and 810F
8" h x 12" d x 18" l
setback 3/4"
34 block / cube
1.0 ft²



Cap
4" h x 12" d x 18" l
32 block / cube
.5 ft²



450T and 450F
4" h x 12" d x 18" l
setback 3/8"
64 block / cube
.5 ft²



425 Half
4" h x 12" d x 9" l
setback 3/8"
96 block / cube



417 Utility
4" h x 12" d x 6" l
144 block / cube
.17 ft²



Half High Corner
4" h x 9" d x 12" l
setback 3/8"
90 block / cube
0.6 ft²

EVERLOC EXPRESS™ UNITS



810T and 810F
Everloc Express™
8" h x 9" d x 18" l
setback 3/4"
40 block / cube
1.0 ft²



450T and 450F
Everloc Express™
4" h x 9" d x 18" l
setback 3/8"
80 block / cube
.5 ft²



WeatherDome™
Fence Cap
3-3/4" h x 16-1/3" d x 9" l
48 block / cube
.19 ft²x2



WeatherDome™
Column Cap
4-5/8" h x 23" d x 7-1/2" l
45 block / cube
.16 ft²x2



WeatherDome™ Wall Cap
3-3/4" h x 12" d x 9" l,
80 block / cube, .19ft²x2

WEATHERDOME™ UNITS

9-B-19-UR

Revised: 8/26/2019