

SITE DEVELOPMENT PLANS



FOR

CHICK-FIL-A, INC.

62 INDOOR SEATS PROVIDED

2187 GREENLAND WAY,

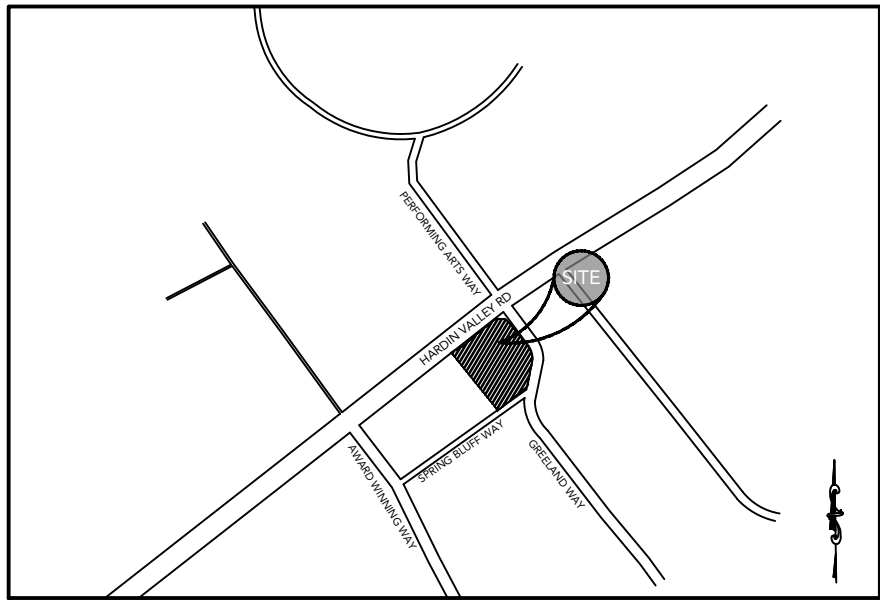
KNOXVILLE, TN 37932

Revision 8-30-2023 9-B-23-TOB / 9-C-23-DP

AUGUST 28, 2023

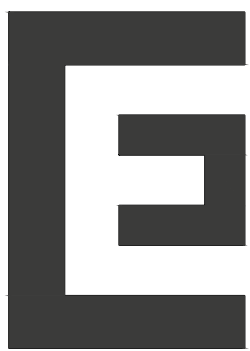
ACTIVITY SCHEDULE											
TASK DESCRIPTION:	MONTHS: (2019)										
	Start Date: June 1, 2019										
	JUNE	JULY	AUGUST	SEPTEMBER							
	1	2	3	4							
CONSTRUCTION EXIT AND PERIMETER SILT FENCE	X										
TEMPORARY SEDIMENT STORAGE FACILITIES	X										
CLEARING & GRUBBING	X										
ROUGH GRADING	X										
TEMPORARY STABILIZATION (GRASSING)		X									
CURB AND GUTTER		X	X								
GRAVEL SUBBASE FOR ROADS AND PARKING AREAS			X								
BUILDING CONSTRUCTION		X	X	X							
FINAL GRADING				X							
PAVING				X							

CONSTRUCTION NOTES:
ANTICIPATED START PROJECT DATE XXXX
ANTICIPATED COMPLETE PROJECT DATE XXX
1. INSTALL EROSION CONTROL FENCE
2. DEMOLITION
3. CONSTRUCT STORM SYSTEM
4. CONSTRUCT WATER AND SEWER SYSTEM
5. FINE GRADE SITE
6. INSTALL GRASSING AND MULCH (TEMPORARY VEGETATION)
7. CONSTRUCT BUILDING
8. INSTALL CURB AND GUTTER
9. PAVE SITE
10. FINAL STABILIZATION (PERMANENT VEGETATION), CLEAN STORM DRAIN SYSTEM
11. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES



LOCATION MAP
SCALE: N.T.S.

DESIGN BY:



CIVIL ENGINEER
CARTER ENGINEERING CONSULTANTS, INC.
3651 MARS HILL RD. STE. 3600
WATKINSVILLE, GA 30677
CONTACT: 770.725.1200
MARK CAMPBELL, P.E.
MARK@CARTERENGINEERING.COM

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CAUTION
THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.

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GENERAL PLAN SET NOTES

1. THE ENGINEER IS NOT RESPONSIBLE FOR COST CHANGES DURING CONCEPTUAL, PRELIMINARY, OR DESIGN PHASE.
2. BIDS & QUOTES SHALL BE BASED ON PLAN SETS LABELED "ISSUE FOR BID" ON THE REVISION BLOCK.
3. BIDS & QUOTES SHALL BE REVISED BASED ON PLANS LABELED "ISSUE FOR CONSTRUCTION" ON THE REVISION BLOCK.
4. IF DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE DEVIATION FROM THIS PLAN SET, THE ENGINEER SHOULD BE NOTIFIED FOR UPDATED PLANS AND/ OR FIELD CHANGES.
5. THE ENGINEER IS NOT RESPONSIBLE FOR DESIGN OR CONSTRUCTION COST ASSOCIATED WITH FIELD CHANGES OR DEVIATION FROM THIS PLAN SET DUE TO UNFORESEEN SITE CONDITIONS, CLIENT MODIFICATION REQUEST AND/ OR CONTRACTOR CHANGES.
6. THE ENGINEER IS NOT RESPONSIBLE FOR THE EFFICACY OF FIELD CHANGES OR DEVIATION FROM THIS PLAN SET IN ANYWAY, UNLESS CHANGES ARE DIRECTED BY THE ENGINEER.

DEVELOPMENT DATA:

-OWNER: CHICK-FIL-A, INC.

-OWNER ADDRESS: 5200 BUFFINGTON RD., ATLANTA GA 30349

-DEVELOPER: CHICK-FIL-A, INC.

-DEVELOPER ADDRESS: 5200 BUFFINGTON RD, ATLANTA GA 30349

-SITE ADDRESS: 2187 GREENLAND WAY, KNOXVILLE, TN 37932

-ALL IMPROVEMENTS TO CONFORM WITH THE CITY OF CHARLOTTE, NC AND THE MECKLENBURG COUNTY CONSTRUCTION STANDARDS AND SPECIFICATIONS, LATEST EDITION.

-ENGINEER: CARTER ENGINEERING CONSULTANTS, Inc.

-ZONING: PC

-SITE ACREAGE: 1.75 - DISTURBED AREA: 1.75

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

REVISION BLOCK:	REVISION	DATE	INITIAL REVIEW	PCR	TTODA SUBMITTAL	REVISED PER TTODA COMMENTS
REV. #	A	06/02/2023				
	B	06/06/2023				
	C	07/25/2023				
	D	08/28/2023				

MARK CAMPBELL
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE
NO. 34862

CARTER ENGINEERING
1010 COMMERCE DRIVE,
BOGART, GA 30622

P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

COVER

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Sheet

C-1.0

ISSUE FOR PERMIT

PROJECT GEOGRAPHICAL INFORMATION

14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DEMOLITION FROM THE RESPONSIBLE AUTHORITIES AND REGULATIONS AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL APPLICABLE LAWS PRIOR TO COMMENCING DEMOLITION WORK.
15. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL OF THE INFORMATION WITHIN THESE DOCUMENTS AND ALL INFORMATION PROVIDED BY THE COMMISSION'S STAFF BROUGHT TO THE ATTENTION OF THE LEAD ENGINEER/ARCHITECT PRIOR TO BID SUBMITTAL.
16. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITY TO THAT AREA DELINEATED IN THE DRAWING AND APPROVED BY OFFICIALS.
17. ALL OTHER EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, GAS, ELECTRIC, TELEPHONE, AND WATER & SEWER SHALL BE PRESERVED AND PROTECTED AT ALL TIMES AS NEEDED AND AS REQUIRED.

1. IF ROCK IS ENCOUNTERED, CLEAR AWAY EARTH TO EXPOSE MATERIAL. NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION. REMOVE ROCK TO A DEPTH OF 6 INCHES BELOW AND 8 INCHES ON EACH SIDE OF PIPES IN TRENCHES. A MEASUREMENT OF EXTENT OF ROCK TO BE REMOVED SHALL BE MADE. ROCK EXCAVATION SHALL BE PAID FOR IN ACCORDANCE WITH AGREEMENT WITH THE OWNER.

NOTE:

THE TOPOGRAPHIC AND ELEVATION DATA SHOWN HEREON WAS OBTAINED FROM YOUNG - HOBBS AND ASSOCIATES AND IS NOT CERTIFIED AS CORRECT BY THIS ENGINEER. USERS OF THIS DATA DO SO AT THEIR OWN RISK.

STAKING:

1. THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION STAKING AND CONSTRUCTION ACTIVITIES BASED ON THE LATEST APPROVED DESIGN PLANS AND/OR (DESIGN FILES) AS PROVIDED AND AS WARRANTED BY CLIENT AND PROJECT NEEDS.
2. PRIOR TO COMMENCING CONSTRUCTION STAKING OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR AND/OR STAKING SURVEYOR SHALL CONFIRM WITH THE PROJECT LEAD ENGINEER/ARCHITECT, WHO'S RESPONSIBILITY IS TO VERIFY THAT THE LATEST PLANS AND/OR DESIGN FILES ARE BEING UTILIZED.
3. THE ENGINEER/LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR OWNERS, CONTRACTORS OR SURVEYORS STAKING OR PERFORMING CONSTRUCTION ACTIVITIES BASED ON OUT-OF-DATE DESIGN PLANS AND/OR DESIGN FILES.
4. CONSTRUCTION STAKING SHALL ADHERE TO THE HORIZONTAL AND VERTICAL DATUM LISTED IN THIS CONSTRUCTION SET AND AS PROVIDED IN THE CORRESPONDING FILES, NOTES, AND/OR DRAWINGS.

TOLERANCES & DISCREPANCIES:

5. IF, DURING CONSTRUCTION STAKING OR CONSTRUCTION ACTIVITIES, SURVEY DISCREPANCIES ARE ENCOUNTERED WITH REGARD TO THE DESIGN PLANS OR DESIGN FILE, WORK SHOULD CEASE AND THE LEAD ENGINEER/LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. IF THE ISSUE OR ISSUES, THE ENGINEER / LANDSCAPE ARCHITECT CAN NOT BE HELD RESPONSIBLE OR LIABLE FOR RESULTS THAT THEY HAVE NOT RECEIVED NOTIFICATION.
6. THE CONSTRUCTION TOLERANCES SHOWN IN THE CORRESPONDING DRAWINGS, NOTES, AND/OR FILES, SHALL BE THE APPROPRIATE CONSTRUCTION TOLERANCES. HOW TOLERANCES CAN BE MADE IF IT IS DETERMINED THAT CERTAIN DEVIATED CONSTRUCTION ACTIVITIES DO NOT ADVERSELY AFFECT THE DESIGN REQUIREMENTS OR FUNCTIONALITY, THE LEAD ENGINEER/LANDSCAPE ARCHITECT WILL BE NOTIFIED IMMEDIATELY. IF THE LEAD ENGINEER/LANDSCAPE ARCHITECT IS NOTIFIED ON THIS BASIS, IF IT IS DETERMINED THAT THE CERTAIN DEVIATED CONSTRUCTION ACTIVITIES DO ADVERSELY AFFECT THE DESIGN REQUIREMENTS, FUNCTIONALITY, AND INTENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THE DEVIATIONS. THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY AS DETERMINED AND REQUIRED BY DESIGN PROFESSIONAL, AT THE CONTRACTOR'S EXPENSE.

CIVIL ENGINEERING DESIGN TOLERANCES FOR PROJECT:

GENERAL GRADING:	±0.10 FEET	RETAINING WALLS:	±0.05 FEET
ALL PIPE/CONDUITS:	±0.05 FEET	SITE FEATURES (SPOT ELEV., ETC.)	±0.05 FEET
DRAINAGE STRUCTURES:	±0.05 FEET	UTILITY ELEVATIONS:	±0.10 FEET
SANITARY SEWER STRUCTURES:	±0.05 FEET	EROSION CONTROL BMPs:	±0.05 FEET
STORMWATER POND FEATURES:	±0.05 FEET		

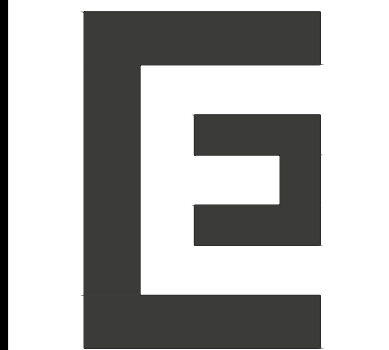
AS-BUILT & SPECIFICATIONS:

7. THE ENGINEER/LANDSCAPE ARCHITECT SHOULD BE PROVIDED WITH AN AS-BUILT SURVEY OF THE PROJECT FOR REVIEW AND APPROVAL AFTER THE PROJECT IS COMPLETE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING EFFORTS WITH DESIGN PROFESSIONAL.
8. SEE THE PROJECT SPECIFICATIONS FOR ADDITIONAL SITE SPECIFIC REQUIREMENTS REGARDING CONSTRUCTION, MATERIALS, TESTING, AND CERTIFICATIONS.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

REVISION BLOCK:		
REV. #	DATE	REVISION
A	06/02/2023	INITIAL REVIEW
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-	-	-
-	-	-



CARTER
ENGINEERING

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1010 COMMERCE DRIVE,
BOGART, GA 30622

P: 770.725.1200
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HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DF

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

GENE

GENERAL NOTES

REVISION 4-2023

Job No. : 23043CFA

Store : 05442

Date : 08/28/23

Sheet

C-1.1

SITE UTILITIES

SEWER
Agency: West Knox Utility District
Address: 2328 Lovell Road, Knoxville, TN 37932
Contact: Mr. Christian Kidd, P.E.
Phone: 865-690-2521
Email: ckidd@wkud.com

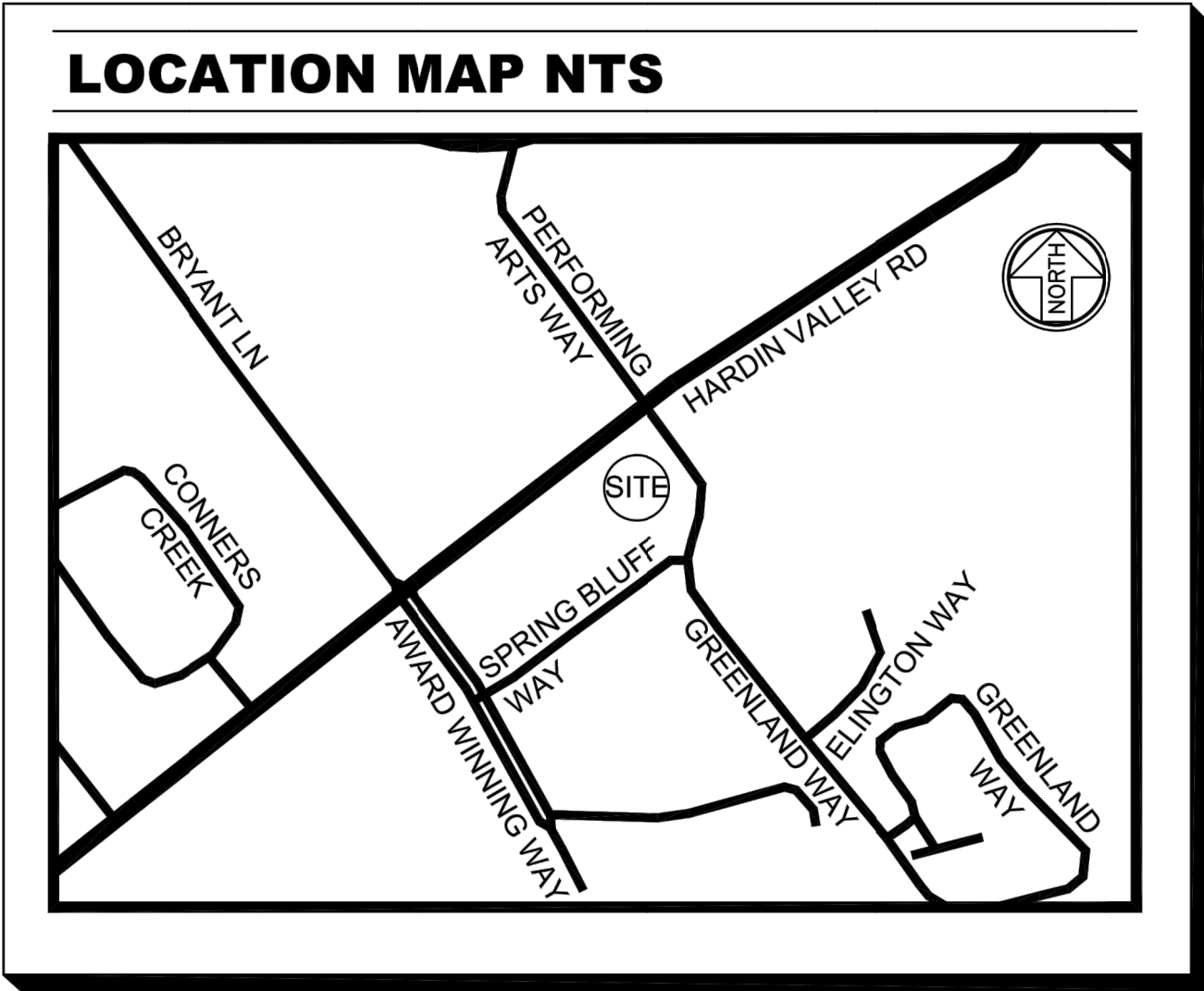
STORM
Agency: Knox County Land Development Services
Address: 205 West Baxter Avenue, Knoxville, TN 37917
Contact: Mr. Martin Pleasant
Phone: 865-215-5859
Email: Martin.Pleasant@knoxcounty.org

WATER
Agency: West Knox Utility District
Address: 2328 Lovell Road, Knoxville, TN 37932
Contact: Mr. Christian Kidd, P.E.
Phone: 865-690-2521
Email: ckidd@wkud.com

ELECTRIC
Agency: LCLUB – Lenoir City Utilities Board
Address: 7698 Creekwood Park Blvd., Lenoir City, TN 37772
Contact: Mr. Jay Hines
Phone: 865-886-0730
Email: jhines@lclub.com

TELEPHONE
Agency: AT&T
Address:
Contact: Customer Service
Phone: 877-625-9103
Email:

GAS
Agency: Knoxville Utilities Board (KUB)
Address: 4428 Western Ave, Knoxville, TN 37921
Contact: New Construction
Phone: 865-558-2955
Email:



SITE ADDRESS

2187 GREENLAND WAY
KNOXVILLE, TN 37932

PARKING COUNT

REGULAR - 0
HANDICAP - 0

CLIENT INFORMATION

CHICK-FIL-A
5200 BUFFINTON ROAD
ATLANTA, GA 3034-32998

OWNER INFORMATION

OKR, GP
INST. NO. 201806040071672;
PLAT OF LOT 4R, THE VILLAGE AT
HARDIN VALLEY
PLAT BOOK 200807170003887
PARCEL ID 103MA004
CITY OF KNOXVILLE,
KNOX COUNTY, TN

LAND DESCRIPTION (PER TITLE COMMITMENT):

PARCEL 1:
A CERTAIN TRACT OR PARCEL OF LAND IN KNOX COUNTY, STATE OF TENNESSEE, DESCRIBED AS FOLLOWS,
TO-WIT:
SITUATED IN DISTRICT NUMBER SIX (6) OF KNOX COUNTY, TENNESSEE, AND WITHOUT THE CORPORATE LIMITS
OF THE CITY OF KNOXVILLE, TENNESSEE, AND BEING KNOWN AS ALL OF LOT NUMBER 1R, IN THE REVISED
FINAL PLAT OF LOTS 1, 2, 3, 5, 7, & 8 OF THE VILLAGE AT HARDIN VALLEY SUBDIVISION, AS THE SAME APPEARS
OF RECORD IN INSTRUMENT NO. 201008160009832 IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE,
TO WHICH SPECIFIC REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION.

LESS AND EXCEPT: QUIT CLAIM DEED RECORDED FEBRUARY 10, 2017, IN INSTRUMENT NO. 201702100049663, IN
THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE. BEING THE SAME PROPERTY CONVEYED TO OKR GP,
A TENNESSEE GENERAL PARTNERSHIP (BY VIRTUE OF WARRANTY DEED FROM KNOXVILLE TVA EMPLOYEES
CREDIT UNION, DATED MAY 23, 2016, RECORDED JUNE 6, 2016, IN INSTRUMENT NO. 20160600070861, IN THE
REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE).

PARCELS 2, 3 AND 5:
A CERTAIN TRACT OR PARCEL OF LAND IN KNOX COUNTY, STATE OF TENNESSEE, DESCRIBED AS FOLLOWS,
TO-WIT:
SITUATED IN THE SIXTH (6TH) CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, AND BEING LOTS 2R, 3R AND 5 OF
THE REVISED FINAL PLAT OF LOTS 1, 2, 3, 5, 7, & 8 OF THE VILLAGE AT HARDIN VALLEY, AS SHOWN ON PLAT OF
RECORD IN INSTRUMENT NO. 201008160009832 IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE, TO
WHICH PLAT SPECIFIC REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION. BEING THE SAME
PROPERTY CONVEYED TO OKR GP, A TENNESSEE GENERAL PARTNERSHIP (BY VIRTUE OF WARRANTY DEED
FROM BURR, LLC, A TENNESSEE LIMITED LIABILITY COMPANY, DATED MAY 23, 2016, RECORDED MAY 26, 2016, IN
INSTRUMENT NO. 201605260068745, KNOX COUNTY, TENNESSEE).

PARCEL 4:
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING LOCATED ON CLT MAP 103 AND BEING SITUATED
WITHIN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE BEING LOT 4 OF THE VILLAGE AT HARDIN
VALLEY SUBDIVISION AS SHOWN ON THAT CERTAIN FINAL PLAT OF THE VILLAGE AT HARDIN VALLEY, OF
RECORD AS INSTRUMENT NUMBER 20071002-0027968 IN THE OFFICE OF THE REGISTER OF DEEDS FOR KNOX
COUNTY, TENNESSEE, AS AMENDED BY THAT CERTAIN FINAL PLAT OF LOT 4, THE VILLAGE AT HARDIN VALLEY,
OF RECORD AS INSTRUMENT NUMBER 20080717-003867 IN THE OFFICE OF THE REGISTER OF DEEDS FOR KNOX
COUNTY TENNESSEE.

LESS AND EXCEPT:
THE FOLLOWING PORTION OF THE ABOVE-DESCRIBED PROPERTY THAT WAS CONVEYED BY GRANTOR TO
KNOX COUNTY, TENNESSEE: COMMENCING AT THE POINT OF BEGINNING, POINT BEING 68.22 FEET RIGHT OF
THE CENTERLINE STA. 186+54.83; THENCE SOUTH 50 DEGREES, 41 MINUTES, 12 SECONDS WEST, A DISTANCE
OF 29.86 FEET; THEN NORTH 39 DEGREES, 18 MINUTES, 48 SECONDS WEST, A DISTANCE OF 19.45 FEET TO THE
ENDING POINT BEING 49.22 FEET RIGHT OF STA. 186+23.71, CONTAINING 378 SQUARE FEET, MORE OR LESS, IN
THE ABOVE-DESCRIBED PARCEL.

BEING THE SAME PROPERTY CONVEYED TO OKR GP, A TENNESSEE GENERAL PARTNERSHIP (BY VIRTUE OF
SPECIAL WARRANTY DEED FROM SUNTRUST BANK, A GEORGIA BANKING CORPORATION, DATED MAY 29, 2018,
RECORDED JUNE 4, 2018, IN INSTRUMENT NO. 201806040071672, KNOX COUNTY, TENNESSEE).

PARCEL 6:
SITUATED WITHIN THE SIXTH (6TH) CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, WITHOUT THE CORPORATE
LIMITS OF THE CITY OF KNOXVILLE, TENNESSEE, BEING LOT 6 OF THE FINAL PLAT OF THE VILLAGE AT HARDIN
VALLEY, AS SHOWN ON MAP FILED FOR RECORD AS INSTRUMENT NO. 200710020027968 IN THE KNOX COUNTY
REGISTER OF DEEDS OFFICE, TO WHICH MAP SPECIFIC REFERENCE IS HEREBY MADE FOR A MORE
PARTICULAR DESCRIPTION OF SAID LOT, BEING THE SAME PROPERTY CONVEYED TO OKR GP, A TENNESSEE
GENERAL PARTNERSHIP (BY VIRTUE OF WARRANTY DEED FROM ORNL FEDERAL CREDIT UNION, DATED MAY 23,
2016, RECORDED JUNE 9, 2015, IN INSTRUMENT NO. 201506090067733, KNOX COUNTY, TENNESSEE).

ZONING: PER SITE INVESTIGATION REPORT

THE FOLLOWING ZONING INFORMATION WAS TAKEN FROM THE SITE INVESTIGATION REPORT.

THE SUBJECT PARCEL IS ZONED (PC), PLANNED COMMERCIAL ZONE, AND (TO), TECHNOLOGY OVERLAY.

BUILDING SETBACK	BUILDING	PARKING	LANDSCAPING
FRONT (HARDIN VALLEY RD)	50'	20'	20'
REAR (SPRING BLUFF WAY)	50'	0'	0'
LEFT SIDE (GREENLAND WAY)	50'	0'	0'
RIGHT SIDE (UNDEVELOPED/PARKING LOT)	20'	0'	0'

MAXIMUM BUILDING HEIGHT: EXCEPT IN HILLSIDE AND RIDGETOP PROTECTION AREAS, THE MAXIMUM ALLOWABLE
HEIGHT OF A STRUCTURE IS SET AT NINETY (90) FEET, MEASURED FROM THE FINISHED GRADE..

BUILDING FLOOR AREA RATIO: SHALL NOT EXCEED 30% EXCEPT WHERE A PROPOSED BUILDING INCLUDES AN
UNDER-BUILDING PARKING STRUCTURE, IN WHICH CASE THE FLOOR AREA RATION MAY NOT EXCEED 40%.

SURVEYOR'S CERTIFICATION:

To: CHICK-FIL-A, INC A GEORGIA CORPORATION, DESIGNEE OF HILLIARD CREWS PARTNERSHIP, A
TENNESSEE GENERAL PARTNERSHIP AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE
MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND
INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11, 13, 14, 16, 17, 18, AND 19 OF TABLE
A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 11, 2022.

DATE OF PLAT OR MAP: FEBRUARY 15, 2023.

PRELIMINARY

KENNETH A. BAU, RLS 2019
kenny@younghobbs.com

LAND DESCRIPTION (AS SURVEYED):

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING LOCATED ON CLT MAP 103 AND BEING SITUATED
WITHIN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE BEING LOT 4R OF THE FINAL PLAT OF LOT 4,
THE VILLAGE AT HARDIN VALLEY, OF RECORD AS INSTRUMENT NUMBER 20080717-003867 IN THE OFFICE OF THE
REGISTER OF DEEDS FOR KNOX COUNTY TENNESSEE.

LESS AND EXCEPT:
THE FOLLOWING PORTION OF THE ABOVE-DESCRIBED PROPERTY THAT WAS CONVEYED BY GRANTOR TO
KNOX COUNTY, TENNESSEE: COMMENCING AT THE POINT OF BEGINNING, POINT BEING 68.22 FEET RIGHT OF
THE CENTERLINE STA. 186+54.83; THENCE SOUTH 50 DEGREES, 41 MINUTES, 12 SECONDS WEST, A DISTANCE
OF 29.86 FEET; THEN NORTH 39 DEGREES, 18 MINUTES, 48 SECONDS WEST, A DISTANCE OF 19.45 FEET TO THE
ENDING POINT BEING 49.22 FEET RIGHT OF STA. 186+23.71, CONTAINING 378 SQUARE FEET, MORE OR LESS, IN
THE ABOVE-DESCRIBED PARCEL.

BEING THE SAME PROPERTY CONVEYED TO OKR GP, A TENNESSEE GENERAL PARTNERSHIP (BY VIRTUE OF
SPECIAL WARRANTY DEED FROM SUNTRUST BANK, A GEORGIA BANKING CORPORATION, DATED MAY 29, 2018,
RECORDED JUNE 4, 2018, IN INSTRUMENT NO. 201806040071672, KNOX COUNTY, TENNESSEE).

AS DESCRIBED AS FOLLOWS:

BEGINNING AT 5/8" IRON PIN FOUND IN THE SOUTH-EAST RIGHT OF WAY LINE OF HARDIN VALLEY ROAD, SAID
IRON PIN BEING THE NORTH CORNER OF LOT 2R, AS SHOWN IN INSTR. NO. 201008160009832; THENCE WITH
SAID RIGHT OF WAY LINE, AS FOLLOWS: N 62°02'14" E A DISTANCE OF 48.37 FEET TO A 5/8" IRON PIN FOUND;
THENCE N 50°37'39" E A DISTANCE OF 179.32 FEET TO A PK NAIL SET; THENCE S 39°18'48" E A DISTANCE OF
19.45 FEET TO A 1/2" IRON PIN SET; THENCE N 50°41'12" E A DISTANCE OF 29.84 FEET TO A 1/2" IRON PIN SET;
THENCE WITH THE SOUTHWEST RIGHT OF WAY LINE OF GREENLAND WAY, AS FOLLOWS: S 84°19'41" E A
DISTANCE OF 6.34 FEET TO A 5/8" IRON PIN SET; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN
ARC LENGTH OF 19.93 FEET WITH A RADIUS OF 25.00 FEET WITH A CHORD BEARING OF S 61°29'32" E, WITH A
CHORD LENGTH OF 19.40 FEET TO A 5/8" IRON PIN FOUND; THENCE S 38°42'21" E A DISTANCE OF 129.74 FEET
TO A 5/8" IRON PIN FOUND; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 81.59
FEET WITH A RADIUS OF 93.50 FEET WITH A CHORD BEARING OF S 13°39'29" E, WITH A CHORD LENGTH OF
79.02 FEET TO A 5/8" IRON PIN FOUND; THENCE S 11°20'49" W A DISTANCE OF 90.28 FEET TO A 5/8" IRON PIN
FOUND; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 17.39 FEET WITH A RADIUS
OF 25.00 FEET WITH A CHORD BEARING OF S 31°07'34" W, WITH A CHORD LENGTH OF 17.04 FEET TO A 5/8"
IRON PIN FOUND; THENCE WITH THE NORTHWEST RIGHT OF WAY LINE OF SPRING BLUFF WAY S 51°04'58" W A
DISTANCE OF 150.37 FEET TO A 5/8" IRON PIN FOUND; THENCE LEAVING SAID RIGHT OF WAY LINE WITH LOTS
2R & 3R, AS SHOWN IN INSTR. NO. 201008160009832 N 38°41'12" W A DISTANCE OF 314.12 FEET TO THE POINT
OF BEGINNING, HAVING AN AREA OF 76,244 SQUARE FEET, 1.750 ACRES, MORE OR LESS.

NOTES CORRESPONDING TO
SCHEDULE B SECTION II:

FIDELITY NATIONAL TITLE INSURANCE COMPANY
COMMITMENT DATE: NOVEMBER 1, 2022 @ 8:00 A.M.
COMMITMENT NO.: TN2522101000J223586ATL
ITEMS 1-9 ARE STANDARD EXCEPTIONS AND/OR NOT SURVEYING RELATED.

THE TITLE COMMITMENT PROVIDED TO THE SURVEYOR IS FOR MULTIPLE PARCELS. THE
SURVEYOR REVIEW THE TITLE COMMITMENT AS TO HOW THE ITEMS WOULD AFFECT LOT 4R OF
INSTRUMENT NUMBER 200807170003867.

10. EASEMENT AGREEMENT AND TERMINATION OF EASEMENT RECORDED JUNE 12, 1990, IN
BOOK 2011, PAGE 89, AFOSAID RECORDS. DOES NOT AFFECT. (DOES NOT AFFECT EASEMENT
PARCEL)

11. UTILITY EASEMENT RECORDED JUNE 13, 2002, IN INSTRUMENT NO. 200206130102985,
AFOSAID RECORDS. DOES NOT AFFECT. (DOES NOT AFFECT EASEMENT PARCEL)

12. EASEMENT CONTAINED IN WARRANTY DEED RECORDED JUNE 19, 2002, IN INSTRUMENT NO.
200206190104399, AFOSAID RECORDS. DOES NOT AFFECT.

13. TERMS AND CONDITIONS OF AGREED FINAL ORDER RECORDED AUGUST 21, 2007, IN
INSTRUMENT NO. 200708270018101, AFOSAID RECORDS. (AFFECTS PARCEL 1, 3, 5 AND 6) DOES
NOT AFFECT.

14. ACCESS AND CONSTRUCTION EASEMENT AGREEMENT RECORDED APRIL 19, 2011, IN
INSTRUMENT NO. 201104190061661, AFOSAID RECORDS.

PARCELS 1, 2, 3, 5 AND 6: DOES NOT AFFECT.

15. RESTRICTIONS CONTAINED IN SPECIAL WARRANTY DEED RECORDED JUNE 4, 2018, IN
INSTRUMENT NO. 201806040071672, AFOSAID RECORDS. AFFECTS, NOT PLOTTABLE. (EXPIRE ON
JUNE 3, 2023)

16. TERMS AND CONDITIONS OF DECLARATION OF COVENANTS CONDITIONS AND
RESTRICTIONS (THE VILLAGE AT HARDIN VALLEY) RECORDED OCTOBER 1, 2007, IN INSTRUMENT
NO. 200710010027935; AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA
RECORDED MARCH 8, 2013, IN INSTRUMENT NO. 201303080058732; AS AMENDED BY THAT
AMENDED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED APRIL 19,
2011, IN INSTRUMENT NO. 201104190061662; AS AFFECTED BY THAT PARTIAL RELEASE AS TO
EASEMENT AREA RECORDED MARCH 8, 2013, IN INSTRUMENT NO. 201303080058734, AFOSAID
RECORDS. AFFECTS, NO PLOTTABLE EASEMENTS.

17. EASEMENT CONTAINED IN WARRANTY DEED RECORDED NOVEMBER 20, 2001, IN
INSTRUMENT NO. 20011120040361, AFOSAID RECORDS. DOES NOT AFFECT.

18. EASEMENT CONTAINED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 11, 2015, IN
INSTRUMENT NO. 201509110016843, AFOSAID RECORDS.

PARCELS 1, 2, 3, 4, 5 AND 6: AF FECTS VESTED TITLE ONLY, NO PLOTTABLE EASEMENT.

19. UTILITY EASEMENT IN FAVOR OF WEST KNOX UTILITY DISTRICT RECORDED FEBRUARY 13,
2002, IN INSTRUMENT NO. 200202130066934, AFOSAID RECORDS. DOES NOT AFFECT. (DOES
NOT AFFECT EASEMENT PARCEL)

20. COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER FACILITIES
RECORDED AUGUST 31, 2007, IN INSTRUMENT NO. 200708310019574, AFOSAID RECORDS.
AFFECTS, NO PLOTTABLE EASEMENTS.

21. UTILITY EASEMENT AGREEMENT RECORDED JULY 18, 2008, IN INSTRUMENT NO.
20080718000449 AND INSTRUMENT NO. 200807180004495, INSTRUMENT NO. 200807180004496,
AFOSAID RECORDS. AFFECTS, NO NEW EASEMENTS CREATED.

22. DECLARATION OF ACCESS EASEMENTS RECORDED AUGUST 16, 2010, IN INSTRUMENT
NO. 201008160009831, AFOSAID RECORDS. DOES NOT AFFECT. (DOES NOT AFFECT
EASEMENT PARCEL)

23. RECIPROCAL EASEMENT AGREEMENT AND AMENDMENT OF RESTRICTIONS RECORDED
FEBRUARY 28, 2011, IN INSTRUMENT NO. 201102280051664; AS AFFECTED BY THAT PARTIAL
RELEASE AS TO EASEMENT AREA RECORDED MARCH 8, 2013, IN INSTRUMENT NO.
201303080058732; AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA
RECORDED MARCH 8, 2013, IN INSTRUMENT NO. 201303080058734, AFOSAID RECORDS.
AFFECTS, NO PLOTTABLE EASEMENTS.

24. EASEMENTS, RIGHTS OF WAY, BOUNDARY LINES AND IMPROVEMENTS AS SHOWN ON
PLAT RECORDED IN INSTRUMENT NO. 200710020027968; INSTRUMENT NO. 200807170003867,
INSTRUMENT NO. 201008160009832, AFOSAID RECORDS. AFFECTS, AS SHOWN.

25. TERMS AND CONDITIONS OF CONSENT AGREEMENT BY ORNL FEDERAL CREDIT UNION
RECORDED APRIL 1, 2011, IN INSTRUMENT NO. 201104010058566, AFOSAID RECORDS.
PARCEL 4: DOES NOT AFFECT. (DOES NOT AFFECT EASEMENT PARCEL)

26. GRANT OF TRANSMISSION LINE EASEMENT RECORDED IN BOOK 1243, PAGE 68,
AFOSAID RECORDS. DOES NOT AFFECT.

TABLE A NOTES:

ITEM 2: SITE ADDRESS SHOWN IS PER KNOX COUNTY, TN TAX RECORD.
ITEM 3: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE
DESIGNATIONS OF ZONE "X" BY THE SECRETARY OF HOUSING
AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP
NO. 47060C0233G, WITH AN EFFECTIVE DATE OF AUGUST 5, 2013,
IN KNOX COUNTY UNINCORPORATED AREAS, STATE OF
TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE
MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS
SITUATED.*
ITEM 5: CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS
SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS.
ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS
TOGETHER WITH AN OPLUS SOLUTION, DATED 02/21/2023 (NAVDO8,
GEOID12B).
ITEM 6A: NO ZONING LETTER SENT TO THIS SURVEYOR.
ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING
CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE
PROCESS OF CONDUCTING THE FIELDWORK.
ITEM 17: THERE WAS NO EVIDENCE OF RECENT CHANGES IN STREET
RIGHT OF WAY LINES. THERE WAS NO EVIDENCE OF RECENT OR
STREET SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN
THE PROCESS OF CONDUCTING THE FIELDWORK.

SURVEY NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF
UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN
SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES,
AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE
UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE
ACCURACY OF THOROUGHNESS OF THE INFORMATION CONCERNING
UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (TENNESSEE
ONE CALL 811 - T8NN811.COM) (TICKET NUMBER 220681406).

NO PRIVATE UTILITY LOCATE WAS PERFORMED ON THIS SITE AT THE TIME OF
THIS SURVEY.

CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES, FOR
EASEMENT WIDTH AND RESTRICTIONS. UTILITIES ARE APPROXIMATE AND
SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON
OR ENTITIES NAMED HEREON. NO EXPRESS OR IMPLIED WARRANTIES WITH
RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY
PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

LIST OF ENCRACHMENTS: NONE NOTED

THERE ARE NO BUILDINGS ON SITE AT THE TIME OF THIS SURVEY

THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH CHAPTER
0603-3, STANDARDS OF PRACTICE AS ADOPTED BY THE TENNESSEE STATE
BOARD OF EXAMINERS FOR LAND SURVEYORS

GROUND MEASUREMENTS ARE USED AS THE BASIS FOR LOCATION OF ALL
FEATURES OF THE SUBJECT PROPERTY.

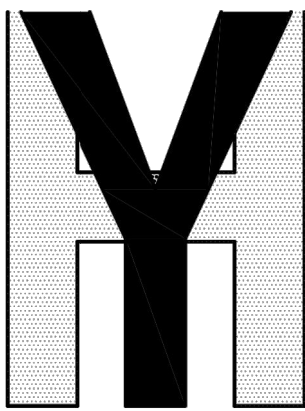
UNLESS STATED OTHERWISE, ANY MONUMENT REFERRED TO HEREIN AS AN
"IRON PIN SET" IS A SET 1/2" DIAMETER REBAR, 18" IN LENGTH, WITH A YELLOW
PLASTIC CAP STAMPED "YOUNG HOBBS" OR A PK NAIL SET WITH A 1-1/2"
ALUMINUM DISK STAMPED "YOUNG HOBBS".

ALL MATTERS SHOWN ON RECORDED PLATS ARE SHOWN ON SURVEY.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE RECORDED
INFORMATION SHOWN, AND THAT THIS SURVEY IS CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF. I HEREBY CERTIFY THAT THIS IS A CATEGORY 1
SURVEY AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED TRAVERSE IS
BETTER THAN 1:10,000 AS SHOWN HEREON.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



YOUNG - HOBBS
AND
ASSOCIATES

1202 Crossland Ave.
Clarksville, TN 37040
Phone 931-645-2524
Fax 931-645-2768

PRELIMINARY,
NOT FOR RECORDING
OR TRANSFER

CHICK-FIL-A

HARDIN VALLEY
KNOXVILLE, TENNESSEE

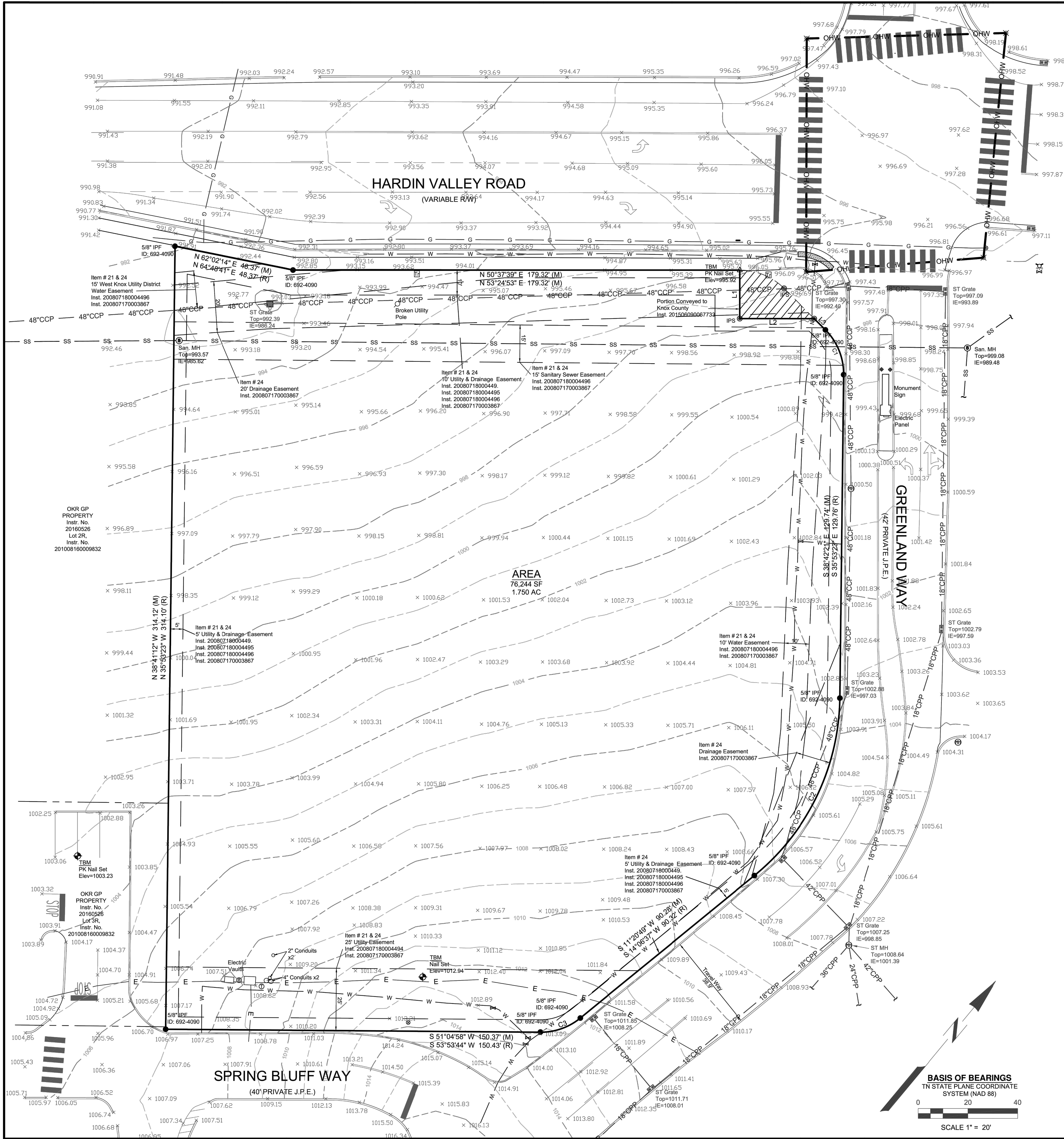
FSU# 5442

REVISION SCHEDULE			DESCRIPTION
NO.	DATE		TOL COMMENTS
1	5/19/23		
2			

YHA PROJECT #	026-23
DATE (FIELD)	2/15/23
DATE (OFFICE)	2/21/23
CHECKED BY	CTH

ALTA/NSPS LAND
TITLE SURVEY
SHEET 1 OF 2
SHEET NUMBER

C-1.2



SITE ADDRESS

2187 GREENLAND WAY
KNOXVILLE, TN 37932

PARKING COUNT

REGULAR - 0
HANDICAP - 0

CLIENT INFORMATION

CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998

OWNER INFORMATION

OKR, GP
INST. NO. 201806040071672;
PLAT OF LOT 4R, THE VILLAGE AT
HARDIN VALLEY,
PLAT BOOK 200807170003867
PARCEL ID 103MA004
CITY OF KNOXVILLE,
KNOX COUNTY, TN

Item # 24
PLAT NOTE: (INSTR. NO. 200807170003867)
1. JOINT PERMANENT EASEMENT (J.P.E.) ARE NOT A PUBLIC
ROADS AND WILL NOT BE MAINTAINED BY KNOX COUNTY.
2. JOINT PERMANENT EASEMENT WILL ALSO FUNCTION AS A
UTILITY EASEMENT.
3. THE GRADE OF THE JPE IS 12% OR LESS.
4. THE DECLARATION OF MAINTENANCE AGREEMENT FOR
THE JPE IS OF RECORD IN INSTRUMENT #200708310019574
OF SAID REGISTERS OFFICE.
5. THE HOMEOWNERS ASSOCIATION HAS BEEN
ESTABLISHED TO BE RESPONSIBLE FOR THE MAINTENANCE
OF THE DETENTION BASIN AND COMMON AREAS AND IS OF
RECORD IN INSTRUMENT #200708310019574 OF SAID
REGISTERS OFFICE.
6. ALL LOTS WILL HAVE ACCESS TO INTERIOR STREET
SYSTEM ONLY.

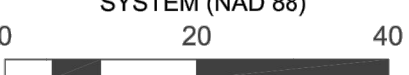
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 M	25.00'	19.93'	19.40'	S 61°29'32" E	45°40'07"
C1 R	25.00'	19.94'	19.41'	S 58°44'15" E	N/A
C2 M	93.50'	81.59'	79.02'	S 13°39'29" E	49°59'47"
C2 R	93.50'	81.59'	79.03'	S 10°53'23" E	N/A
C3 M	25.00'	17.39'	17.04'	S 31°07'34" W	39°50'40"
C3 R	25.00'	17.36'	17.01'	S 34°00'11" W	N/A

LINE	BEARING	DISTANCE
L1 M	S 39°18'48" E	19.45'
L1 R	S 39°18'48" E	19.45'
L2 M	N 50°41'12" E	29.84'
L2 R	N 50°41'12" E	29.86'
L3 M	S 84°19'41" E	6.34'
L3 R	S 84°19'41" E	6.34'

LEGEND

- IRON PIN SET (IPS)
- IRON PIN FOUND, AS NOTED
- BOLLARD
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- TRAFFIC VAULT
- TRAFFIC POLE
- GAS VALVE
- TELEPHONE BOX
- CURB INLET
- GRATE INLET
- STORM MANHOLE
- EASEMENT LINE
- SETBACK LINES
- OHW
- OVERHEAD TRAFFIC WIRE
- UNDERGROUND ELECTRIC
- GAS LINE, AS NOTED
- WATER LINE, AS NOTED
- SANITARY SEWER, AS NOTED
- ST
- STORM SEWER PIPE, AS NOTED

BASIS OF BEARINGS
TN STATE PLANE COORDINATE
SYSTEM (NAD 83)

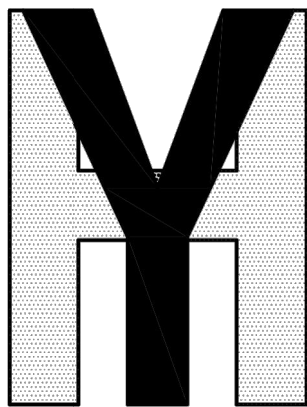


SCALE 1" = 20'



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



YOUNG - HOBBS
AND
ASSOCIATES

1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE 931-645-2524
FAX 931-645-2768

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FOR RECORDING
OR TRANSFER

CHICK-FIL-A
HARDIN VALLEY
KNOXVILLE, TENNESSEE

FSU# 5442

REVISION SCHEDULE	NO.	DATE	DESCRIPTION
1	5/19/23		TOL COMMENTS
2			

YHA PROJECT #	026-23
DATE (FIELD)	2/15/23
DATE (OFFICE)	2/2/23
CHECKED BY	CTH

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SHEET

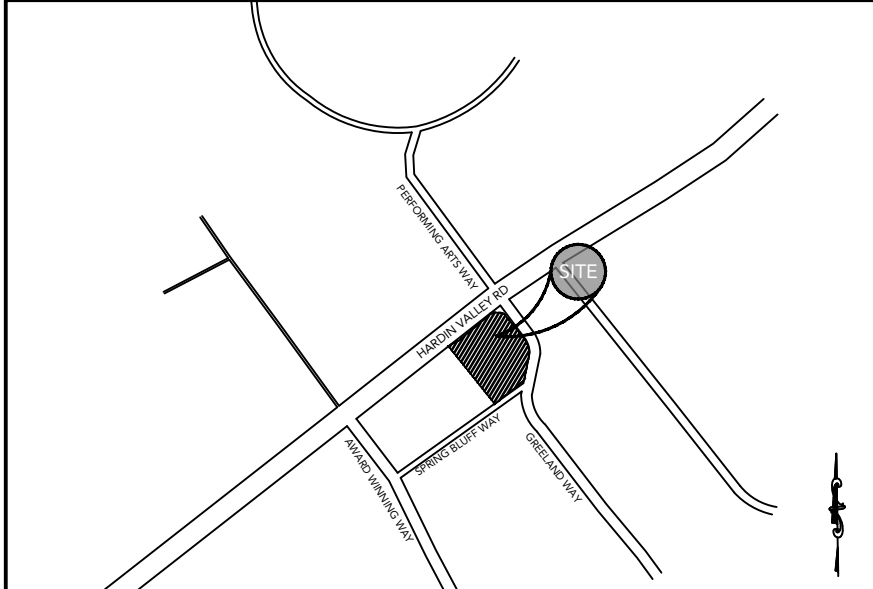
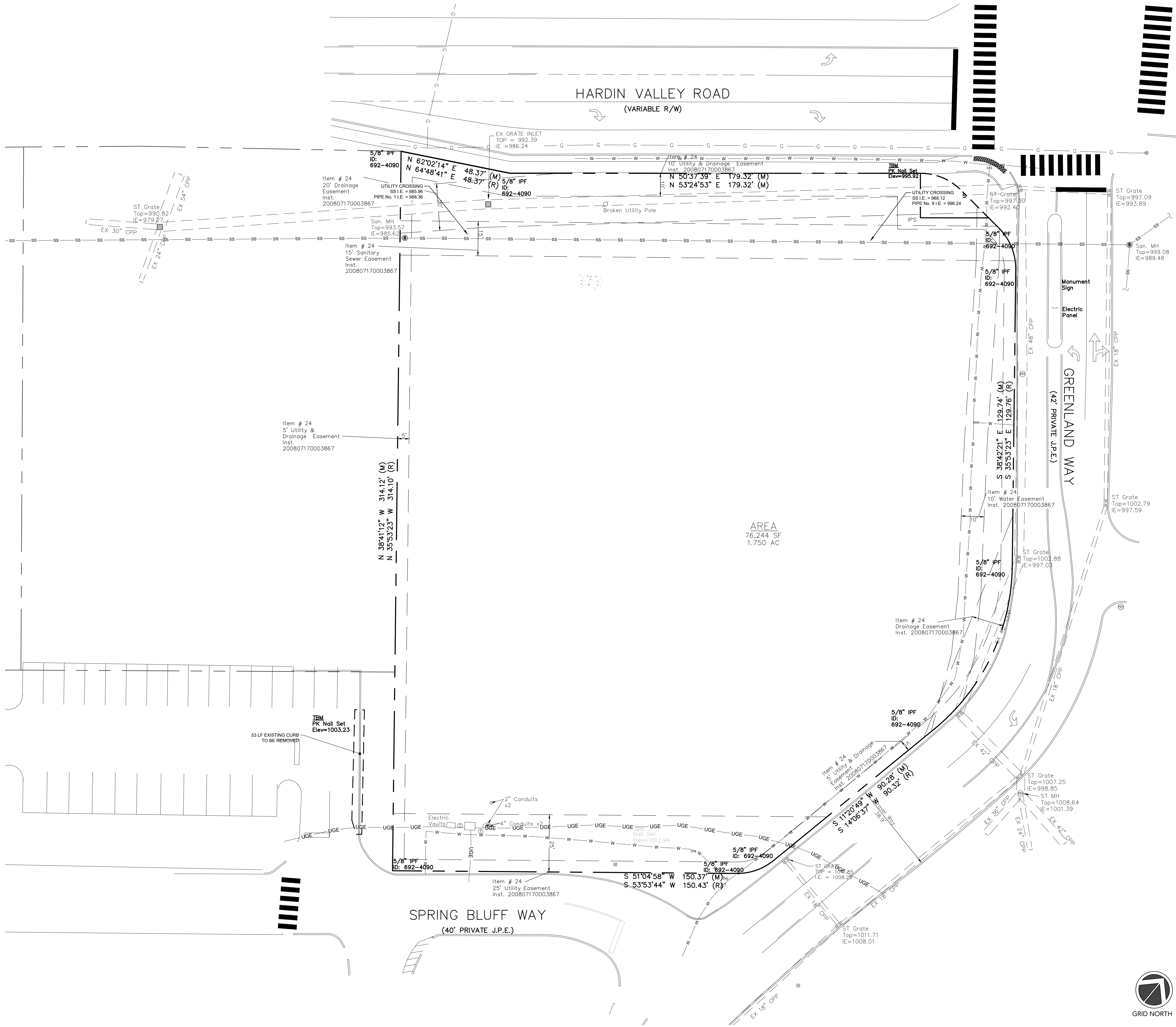
ALTA/NSPS LAND
TITLE SURVEY
SHEET 2 OF 2
SHEET NUMBER

C-1.3



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LOCATION MAP
SCALE: N.T.S.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

REVISION BLOCK:				
REV. #	DATE	REVISION	INITIAL REVIEW	PCR
A	06/02/2023	INITIAL REVIEW		
B	06/06/2023	PCR		
C	07/25/2023	TTODA SUBMITTAL		
D	08/28/2023	REVISED PER TTODA COMMENTS		





CARTER
ENGINEERING

CARTER ENGINEERING
1010 COMMERCE DRIVE,
BOGART, GA 30622

P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE
**DEMOLITION
PLAN**
REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Sheet
C-1.4

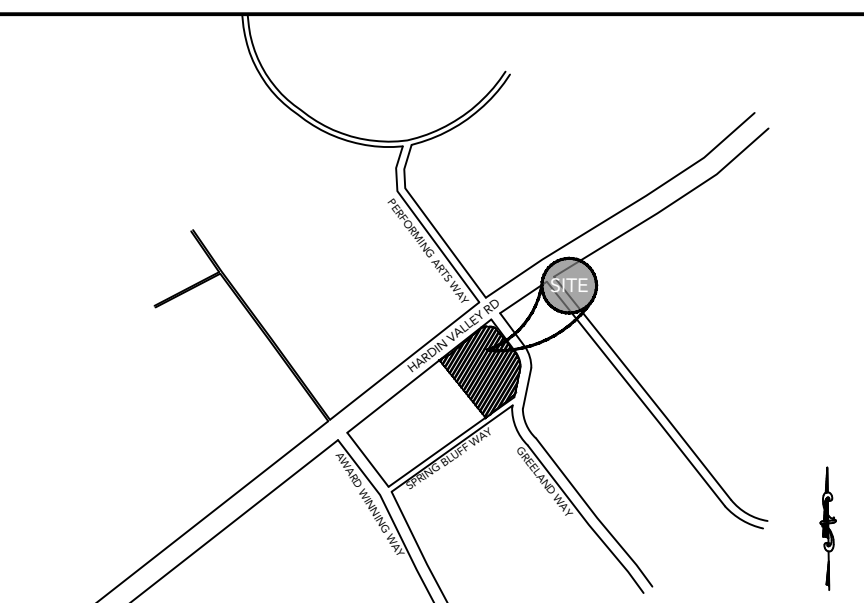
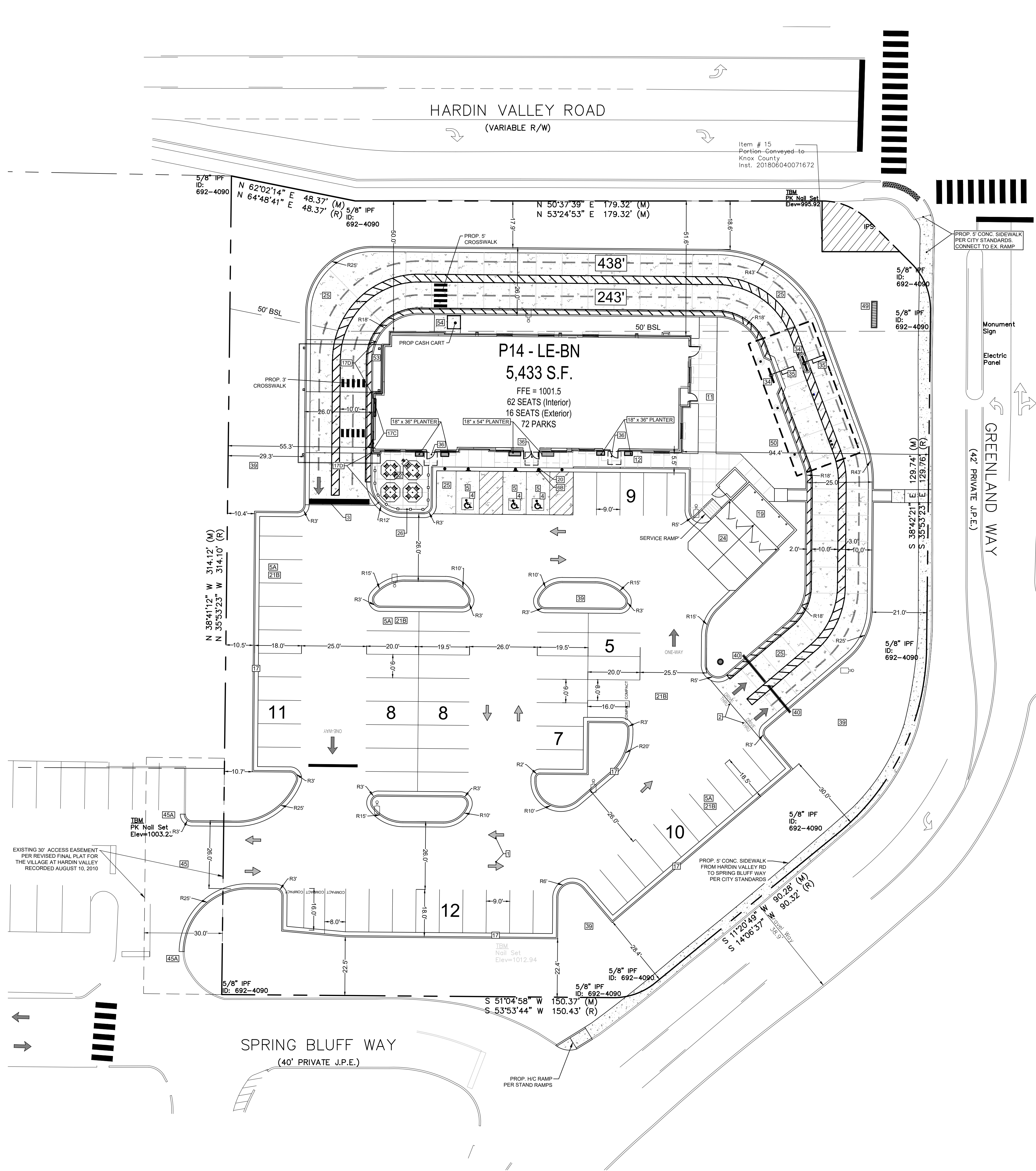
ISSUE FOR PERMIT

ENGINEER/DESIGNER NOT RESPONSIBLE FOR COST CHANGES DURING PRELIMINARY PHASE. BIDS & QUOTES SHALL BE BASED ON PLANS SETS LABELED "ISSUE FOR CONSTRUCTION".

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SITE PLAN DESIGN NOTES & KEY PLAN

- 1 PAINTED DIRECTIONAL ARROW
- 2 PAINTED DRIVE-THRU GRAPHICS
- 3 PAINTED STOP LINE GRAPHIC
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 ACCESSIBLE PARKING STALL
- 6B 90' PARKING STALL @ 9' x 18.5' (OR 9'x18')
- 6C BIYCLE PARKING
- 6 DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE)
- 6A "STOP" SIGN (SEE SIGNAGE PACKAGE)
- 6B "ACCESSIBLE PARKING" SIGN (SEE SIGNAGE PACKAGE)
- 6C "SINGLE BUILDING FOR DRIVE-THRU SERVICE" (SEE SIGNAGE PACKAGE)
- 6D "RIGHT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE)
- 6E "ONE WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE)
- 6F "LEFT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE)
- 6G "PEDESTRIAN CROSSWALK" SIGN (SEE SIGNAGE PACKAGE)
- 6H "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE)
- 6I TWO PARKING SIGN (SEE SIGNAGE PACKAGE)
- 6J TWO ORDER LANE SIGN (SEE SIGNAGE PACKAGE)
- 6K LANE MERGE SIGN (SEE SIGNAGE PACKAGE)
- 7 SIDEWALK ACCESSIBLE RAMP
- 8 CURB RAMP WITH FLARED SIDES
- 8A CURB RAMP WITH SHORT FLARED SIDES
- 8B RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES - CAST IN PLACE (ONLY IF REQUIRED)
- 11 TYPICAL CONCRETE SIDEWALK (SEE DETAIL FOR REVISIONS)
- 11A TYPICAL CONCRETE SIDEWALK SECTION WITH ADDED BLACK TENT MIX FOR AREAS WITH A CROSS SLOPE TO STEEP FOR PEDESTRIAN ACCESS
- 12 SIDEWALK WITH CURB & GUTTER SECTION (SEE DETAIL FOR REVISIONS)
- 13 DRIVE-THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 15 CONCRETE WHEEL STOP
- 16 LANDSCAPE & IRRIGATION PROTECTOR
- 17 24" CONCRETE CURB & GUTTER
- 17A SPILLING 24" CONCRETE CURB & GUTTER
- 17B CATCHING 24" CONCRETE CURB & GUTTER
- 17C CURB HEIGHT TO MATCH CONC. PAVEMENT AT DRIVE-THRU DOOR
- 17D TRANSITION CURB HEIGHT W/ RAMPED CONC. PAVEMENT TO MATCH LEVEL PAVEMENT AT DRIVE-THRU DOOR
- 18 ROLL-OVER MOUNTABLE CURB
- 19 SCREENED REFUSE ENCLOSURE
- 19A SCREENED REFUSE ENCLOSURE - STAGGERED
- 19B SCREENED REFUSE ENCLOSURE - ALTERNATE DRAINAGE
- 20 CONCRETE BOLLARD
- 21A TYPICAL PAVEMENT SECTION - MEDIUM DUTY
- 21B TYPICAL PAVEMENT SECTION - HEAVY DUTY
- 21C LIGHT DUTY PAVEMENT RESURFACE
- 22 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- 23 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING
- 26 ALUMINUM HANDRAIL
- 27 TYPICAL ADA RAMP AND HANDRAIL
- 28 CONTRACTION JOINT
- 29 KEVED CONSTRUCTION JOINT
- 30 LONGITUDINAL BUTT JOINT
- 31 EXPANSION JOINT
- 32 MULTILANE DIRECTIONAL GRAPHICS
- 33 PAINTED CROSS WALK
- 34 MENU BOARD & CANOPY ORDERING STATION
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 5'x5' LANDING AND ENTRY DOOR FROST SLAB
- 37 GREASE TRAP (SEE DRAINAGE PLAN)
- 38 ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
- 39 LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- 40 CLEARANCE BAR (SEE SIGNAGE PACKAGE)
- 41 PAVEMENT STRIPING AREA
- 42 THICKENED SLAB EDGE AT RAILING CORE GRILLS
- 43 CONCRETE FLUME
- 44 EX ASPHALT / PROP CONCRETE INTERFACE
- 45 EX/PROP ASPHALT INTERFACE
- 45A EX/PROP CURB INTERFACE
- 46 EX/PROP CONCRETE INTERFACE
- 47A SHORT TERM BIKE PARKING
- 47B LONG TERM BIKE PARKING
- 48 TRANSFORMER
- 49 CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE)
- 50 FLAGPOLE, 50' (SEE SIGNAGE PACKAGE)
- 51 RETAINING WALL WITH HANDRAIL ON TOP
- 52 TYPICAL LOCATION FOR THREE OUTDOOR TABLES WHEN MORE SPACE IS AVAILABLE, OUTDOOR SEATING MAY BE EXPANDED.
- 53 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 54 6" THICK CONCRETE SIDEWALK BETWEEN DRIVE-THRU LANE AND BUILDING
- 55 4" WIDE PAINT STRIPE
- 56 STANDARD LIGHT POLE
- 57 DRIVEWAY DELIVERY SIGN (SEE SIGNAGE PACKAGE)
- 58 CONCRETE STRIPING AREA. CONCRETE TO BE PER CONCRETE PAVING DETAIL ON SHEET C-5.1
- 59 CONCRETE VALLEY BUTTER
- 60A 4" WIDE CONCRETE FLUME
- 60B 3" WIDE CONCRETE FLUME
- 61 GATERING & GARRY-OUT (SEE SIGNAGE PACKAGE)
- 62 CURBSIDE DELIVERY (SEE SIGNAGE PACKAGE)
- 63 2" WIDE 4" THICK CONCRETE LANDSCAPE PROTECTION STRIP



LOCATION MAP
SCALE: N.T.S.

SITE DATA:

TOTAL SITE AREA:	1.75
BUILDING AREA:	5,872 S.F.
PROP. IMPERVIOUS AREA:	1.14 ACRES
PROP. IMPERVIOUS COVERAGE:	65%
PROP. OPEN SPACE:	35%
DISTURBED AREA:	1.5 AC

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

REVISION BLOCK:		REVISION	DATE	INITIAL REVIEW
REV. #	A	B	C	D
	06/02/2023	06/06/2023	07/25/2023	08/28/2023
	PCR	PCR	TTODA SUBMITTAL	REVISED PER TTODA COMMENTS



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1010 COMMERCE DRIVE,
BOGART, GA 30622

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HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

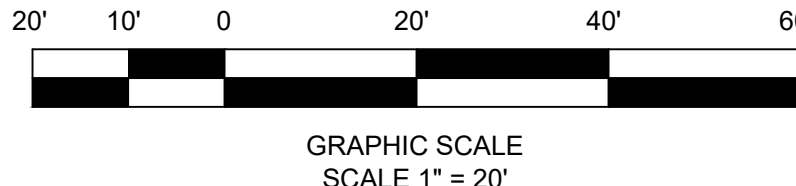
SITE PLAN

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Issue for Permit
Sheet

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GRAPHIC SCALE
SCALE 1" = 20'

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LAYOUT NOTES

1. INSTALL 2" DOMESTIC WATER SERVICE CONNECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO MAKE TAP.
- 1A. INSTALL 4" IRRIGATION WATER SERVICE CONNECTION FROM FEED WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO MAKE TAP.
- 1B. INSTALL 4" FIRE PROTECTION LINE CONNECTION TO INCLUDE MARKING TAP. (FIRE LINE BACKFLOW HAS TO BE A DCGA BACKFLOW. NO AMES BACKFLOW ALLOWED)

2. REDUCED PRESSURE ASSEMBLY

THE CONTRACTOR SHALL INSTALL A BACKFLOW PREVENTER (RBCO, OR APPROVED EQUAL) FOR SERVICE LINE INDICATED ON DRAWING. INSTALLATION SHALL INCLUDE BOX OR VAULT, AS APPLICABLE. THE CONTRACTOR SHALL COORDINATE WITH KNOXVILLE AND COUNTY FOR INSPECTION, TESTING, AND CERTIFICATION OF BACKFLOW PREVENTER. ALL BACKFLOW DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER DEPT. STANDARD SPECIFICATIONS. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL COST ASSOCIATED WITH DEVICE INSTALLATION, INSPECTION, TESTING, CERTIFICATION, ETC. TO INCLUDE ANY FEES CHARGED BY THE WATER DEPARTMENT. TESTING OF BACKFLOW DEVICE SHALL BE COMPLETED BY A CERTIFIED BACKFLOW DEVICE TESTER. ALL TEST RESULTS SHALL BE SUBMITTED TO THE WATER DEPARTMENT.

2A. REDUCED PRESSURE ASSEMBLY

SEE NOTES ITEM # 2 ABOVE - INSPECTION, TESTING AND CERTIFICATION

3. INSTALL 2" TYPE K COPPER DOMESTIC WATER SERVICE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 3A. UTILITY CROSSING: 4" TYPE K COPPER DOMESTIC WATER SERVICE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND FIRE PROTECTION CONTRACTOR.

- 3B. INSTALL 4" ANWWA C-800 WATER MAIN FOR FIRE PROTECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND FIRE PROTECTION CONTRACTOR.
- 3C. INSTALL 4" ANWWA C-800 WATER MAIN FOR FIRE PROTECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND FIRE PROTECTION CONTRACTOR.

4. INSTALL 1/2" DOMESTIC WATER METER AND METER PIT PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER AND CONTRACTOR TO INSTALL PIT.
- 4A. INSTALL 1" IRRIGATION METER AND METER PIT PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER AND AND CONTRACTOR TO INSTALL PIT.

- 4B. INSTALL 1" METER AND METER PIT PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER AND CONTRACTOR TO INSTALL PIT.
5. INSTALL 3/4" TYPE K COPPER COLD WATER SERVICE TO DUMPSTER POST HYDRANT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

6. INSTALL DUMPSTER POST HYDRANT. REFER TO THE FIXTURE CONNECTION SCHEDULE (P-31) DETACHED ON THE PROJECT PLUMBING PLANS.
7. WATER SERVICE CONNECTION POINT: CONTRACTOR TO LOCATE EXISTING WATER LINE PRIOR TO START OF CONSTRUCTION. CONNECTION TO BE MADE WITH A 12" TAPPING SADDLE & VALVE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS.

8. EXISTING WATER LINE PER RECORDS.
9. INSTALL REMOTE FIRE DEPARTMENT CONNECTION (FDC) PER FIRE DEPARTMENTS SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND FIRE PROTECTION CONTRACTOR.

10. WASTEWATER SERVICE SEWER CONNECTION POINT: CONTRACTOR TO LOCATE EXISTING SEWER PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO MAKE CONNECTION TO EXISTING SEWER AS REQUIRED PER UTILITY COMPANY'S SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR RESPONSIBLE TO OBTAIN THE CONNECTION OF THE CONNECTION POINT AND VERIFY THAT IT IS DEEP ENOUGH TO SERVICE THE BUILDING FINISHED FLOOR AS DESIGNED. REPORT ANY ISSUES TO CARTER ENGINEERING CONSULTANTS, INC. PRIOR TO THE START OF THE BUILDING FOUNDATION CONSTRUCTION.

11. INSTALL 4" SCHEDULE 40 PVC WASTEWATER SERVICE LINE AT 1% MINIMUM SLOPE. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
12. INSTALL 4" CLEAN OUT: CLEAN OUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.

- 12A. INSTALL 4" TWO-WAY CLEAN OUT: CLEAN OUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
13. INSTALL PRECAST 120 GALLON CAPACITY GREASE TRAP. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR. TOP OF RIM/ROOF TO MATCH APPROXIMATE GRADE WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. CONTRACTOR RESPONSIBLE TO VERIFY ELEVATION OF SANITARY LATERAL PIPES AT GREASE TRAP PRIOR TO THE START OF SEWER CONSTRUCTION.

14. INSTALL 4" KITCHEN WASTE LINE (FL = 2'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
15. INSTALL 3" VENT LINE: CONNECT TO GREASE INTERCEPTOR (SEE SHEET P-1 FOR LOCATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

16. INSTALL 4" RESTROOM WASTE LINE (FL = 4'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
17. INSTALL 4" SCHEDULE 40 PVC DUMPSTER WASTE LINE AT 1% MINIMUM SLOPE. INCLUDE 4" CLEAN OUT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

18. INSTALL DUMPSTER PAD DRAIN: REFER TO THE FIXTURE CONNECTION SCHEDULE (P-31) DETACHED ON THE PROJECT PLUMBING PLANS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
19. INSTALL DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS). CONNECT TO STORM SEWER. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR (SEE DETAIL B OR SHEET C-4.3).

20. INSTALL 4" SCHEDULE 40 PVC ROOF DRAIN PIPE DRAIN INCLUDING ALL NECESSARY FITTINGS. CONNECT TO ROOF DRAIN. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
21. INSTALL 10" ADS ROOF DRAIN PIPE INCLUDING ALL NECESSARY FITTINGS. CONNECT TO STORM SEWER. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

22. INSTALL GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION TO INSURE THE APPROPRIATE BENDS ARE INCORPORATED TO MAINTAIN A MINIMUM OF 1' CLEARANCE BELOW ALL STORM SEWER, WATER, AND WASTEWATER LINES OR SERVICES WHEN CROSSING. CONTRACTOR TO COORDINATE WITH GAS COMPANY.
23. COORDINATE GAS METER INSTALLATION WITH GAS COMPANY. CONTRACTOR TO MARK LOCATION OF METER ON WALL PRIOR TO GAS COMPANY ARRIVING ON-SITE.

24. INSTALL 4" SCHEDULE 40 PVC OBSERVATION GAS DETECTOR TO OBSERVATION PLANS. SITE CONTRACTOR TO COORDINATE WITH OBSERVATION CONTRACTOR (AND USSES).
25. INSTALL UNDERGROUND PRIMARY ELECTRIC SERVICE. INSTALL 3/4" SCHEDULE 40 CONDUITS FROM POWER POLE TO TRANSFORMER PAD LOCATION ALONG WITH PULL STRINGS. ALL ITEMS PER ELECTRIC COMPANY SPECIFICATIONS AND REQUIREMENTS. CONDUIT DEPTH TO BE: —

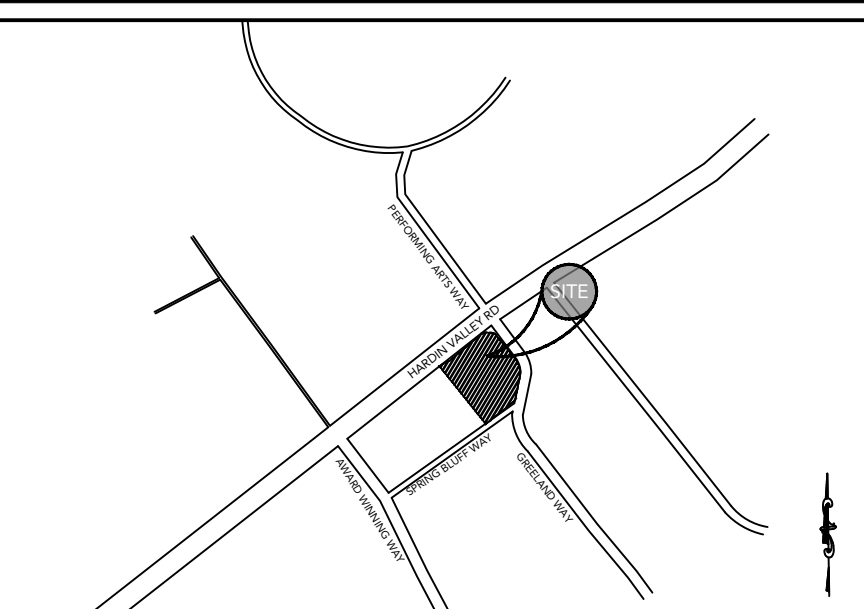
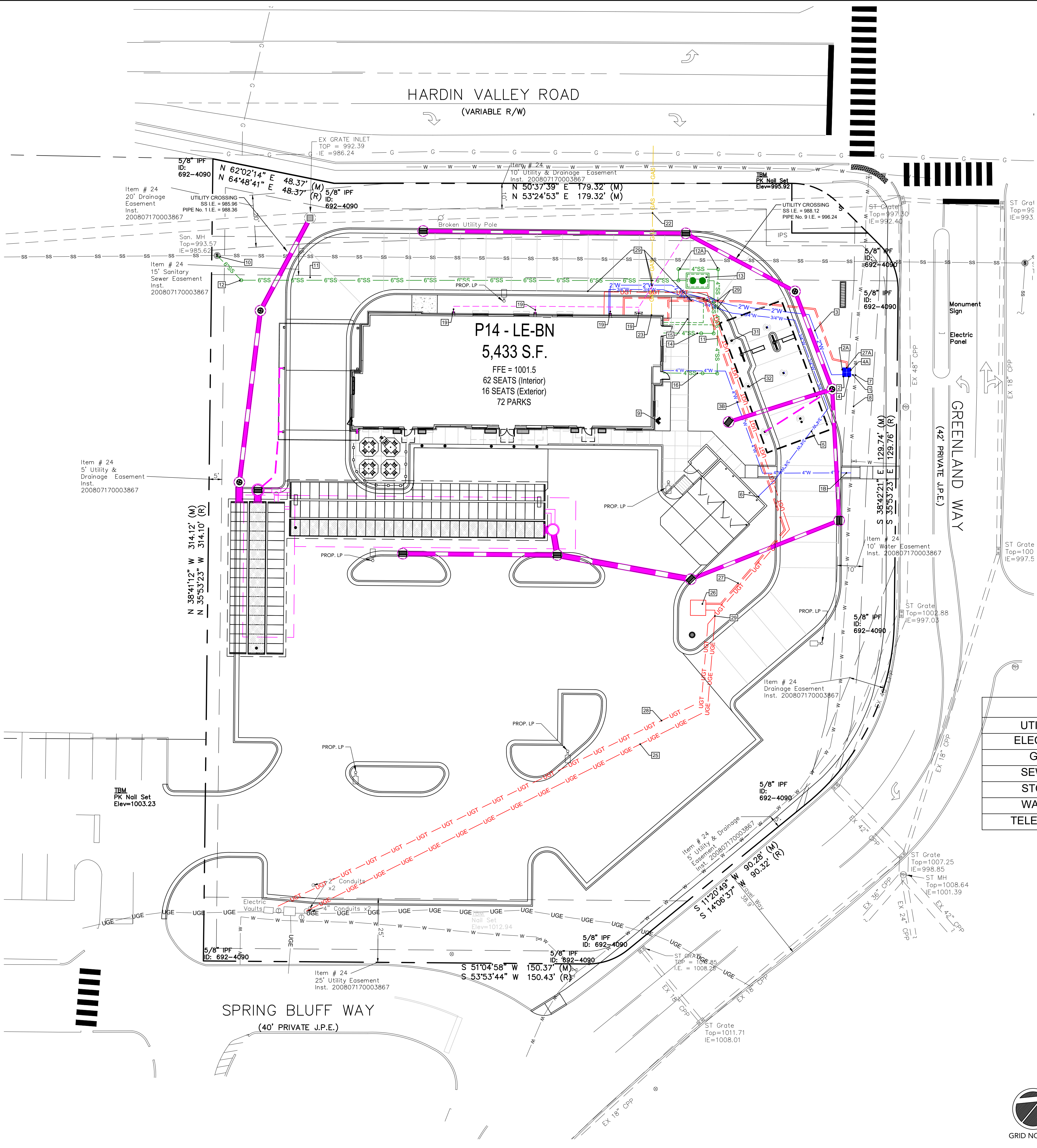
26. PROVIDE TRENCHING: — CONTRACTOR — ELECTRIC COMPANY
PROVIDE CONDUITS: — CONTRACTOR — ELECTRIC COMPANY
INSTALL CONDUITS: — CONTRACTOR — ELECTRIC COMPANY
INSTALL CABLES: — CONTRACTOR — ELECTRIC COMPANY
27. CONTRACTOR TO PROVIDE PAD MOUNTED TRANSFORMER PAD PER ELECTRIC COMPANY STANDARDS. CONTRACTOR TO INSTALL PAD MOUNTED TRANSFORMER PAD PER ELECTRIC COMPANY STANDARDS.

28. INSTALL UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING (REFER TO MEP PLANS). INSTALL TRENCHING, 2" SCHEDULE 40 PVC CONDUITS AND 1/2" SCHEDULE 40 PVC CONDUIT, CT CABINET AND METER BASE. ALL ITEMS PER ELECTRIC COMPANY SPECIFICATIONS AND REQUIREMENTS.
29. CONTRACTOR TO PROVIDE ELECTRICAL CONDUITS TO HOT BOX AT BACKFLOW PREVENTER LOCATION. COORDINATE CONDUIT SIZING AND ELECTRICAL INFORMATION WITH ELECTRICAL PLANS.

30. INSTALL UNDERGROUND PRIMARY TELEPHONE SERVICE. CONTRACTOR TO INSTALL 1/2" SCHEDULE 40 PVC CONDUIT W/ WIREWRAPPING R/S AND W/ PULL STRING FOR TELEPHONE COMPANY. A 4' X 24" X 24" PIECE OF PLYWOOD MUST BE IN PLACE PRIOR TO INSTALLATION OF THE SERVICE. ALSO A #6 GROUND MUST BE AVAILABLE. CONTRACTOR TO ALSO INSTALL AN ADDITIONAL SPARE 4" SCHEDULE 40 PVC CONDUIT PARALLEL TO THE TELEPHONE COMPANY'S CONDUIT FOR FUTURE USE BY CHOC/F&A.
31. PROPOSED UTILITY CROSSING: CONTRACTOR TO MAINTAIN REQUIRED CLEARANCES.

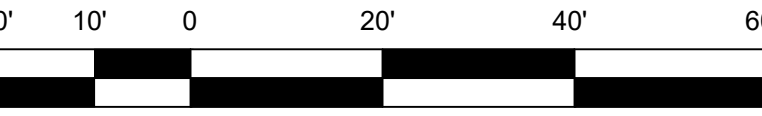
32. EXISTING UTILITY CROSSING: CONTRACTOR TO VERIFY EXACT ELEVATIONS OF THE EXISTING UTILITY PRIOR TO THE START OF CONSTRUCTION. REPORT ANY CONFLICTS WITH PROPOSED UTILITIES TO GEC DESIGN, INC. PRIOR TO THE START OF CONSTRUCTION OF THE PROPOSED UTILITY. CONTRACTOR TO MAINTAIN REQUIRED CLEARANCES.
33. PROPOSED ELECTRIC CONDUIT IN CANOPY COLUMN REFERENCE ELECTRICAL/PLUMBING PLANS.

34. PROPOSED GAS PIPING IN CANOPY COLUMN REFERENCE PLUMBING PLANS.



LOCATION MAP
SCALE: N.T.S.

UTILITY LEGEND	
UTILITY	KEY
ELECTRIC	—ELEC—ELEC—ELEC—ELEC—
GAS	—GAS—GAS—GAS—GAS—
SEWER	—SS—SS—SS—SS—
STORM	—W—W—W—W—
WATER	—W—W—W—W—
TELECOMM	—UGT—UGT—UGT—UGT—UGT—UGT—UGT—UGT—



GRAPHIC SCALE
SCALE 1" = 20'

5200 Buffington Rd.
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REVISION BLOCK:	
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HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

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KNOXVILLE, TN 37932

SHEET TITLE

UTILITY PLAN

REVISION 4-2023

Job No. : 23043CFA

Store : 05442

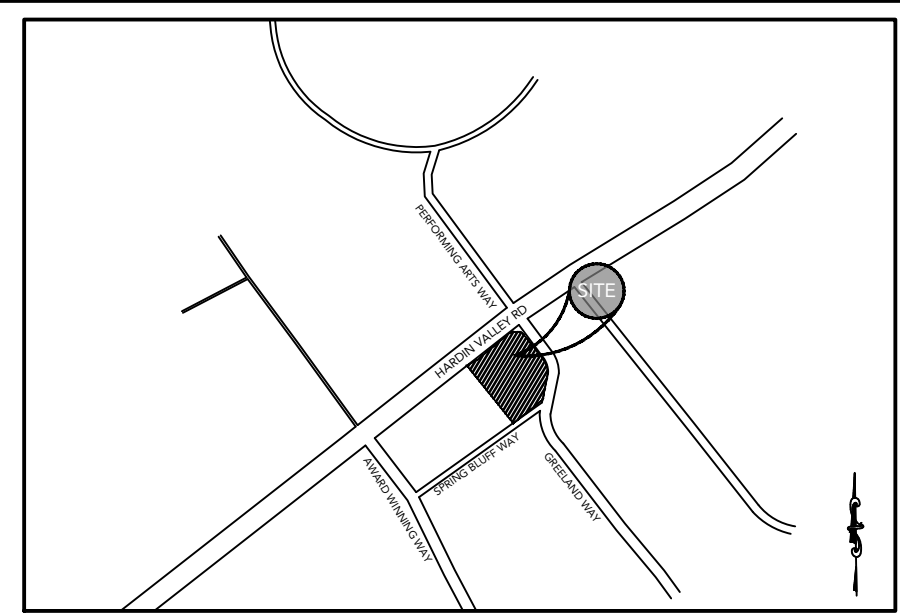
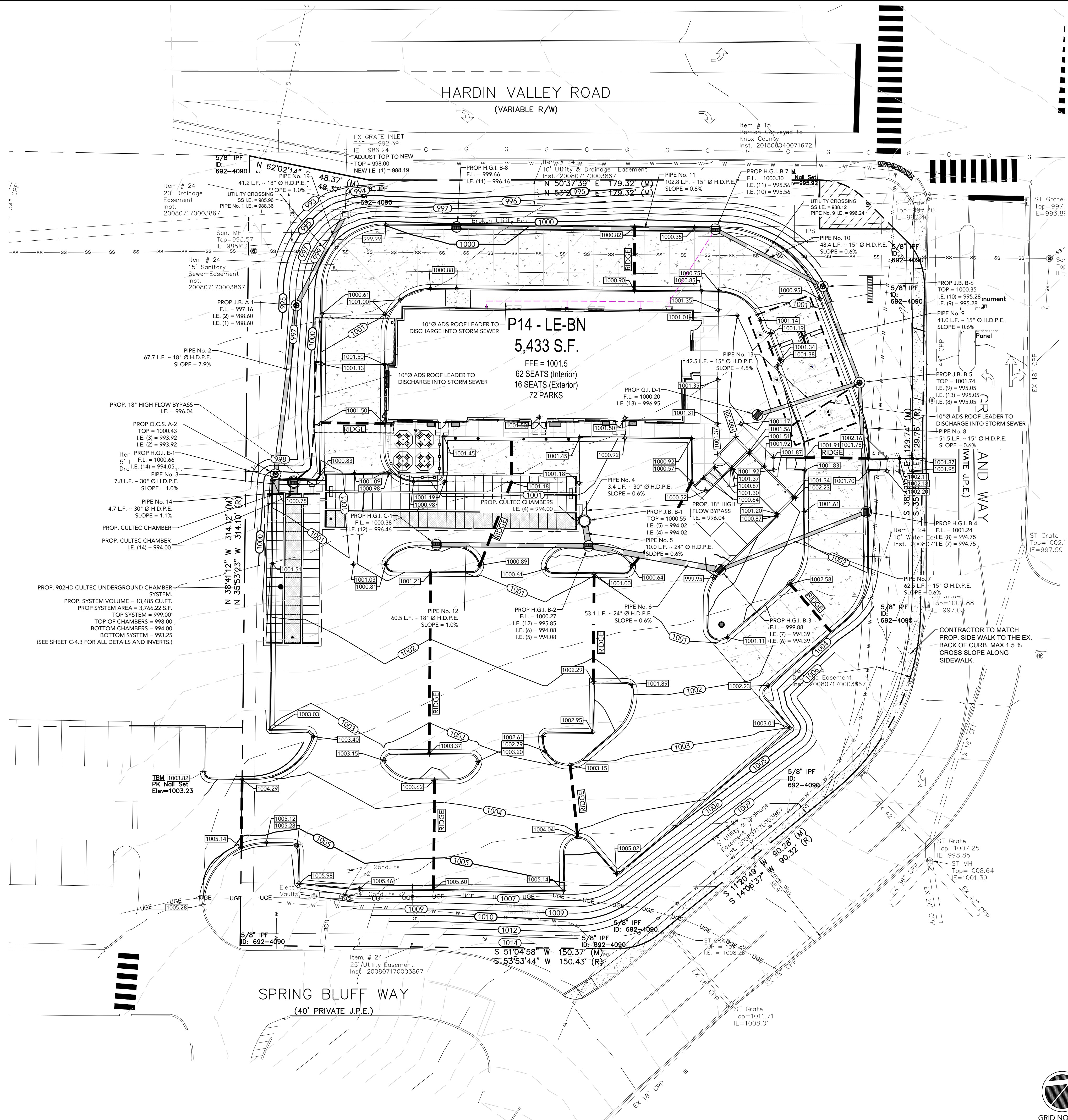
Date : 08/28/23

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C-3.0

ISSUE FOR PERMIT

ENGINEER/DRAWN NOT RESPONSIBLE FOR COST CHANGES DURING PRELIMINARY PHASE. BIDS & QUOTES SHALL BE BASED ON PLANS SETS LABELED "ISSUE FOR BID". BIDS & QUOTES SHALL BE REVISED BASED ON PLANS LABELED "ISSUE FOR CONSTRUCTION".



LOCATION MAP
SCALE: N.T.S.

GRADING NOTE:

- ALL SPOTS SHOWN ON THIS PLAN ARE FLOW LINE ELEVATIONS UNLESS OTHERWISE STATED.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT AT PROPOSED DRIVEWAY LOCATIONS.
- DUMPSTER ENCLOSURES SHALL HAVE A 4 TO 6 INCH KEY ALONG THE FACE OF THE DUMPSTER. (SEE PLAN FOR ELEVATIONS.)

STORMWATER NOTE:

THE PROPOSED SITE WILL DRAIN TO THE PROPOSED STORMWATER NETWORK. THE NETWORK WILL DISCHARGE TO AN UNDERGROUND STORMWATER MANAGEMENT FACILITY. THE FACILITY WILL PROVIDE TREATMENT OF THE FIRST 1.1" RAINFALL BY INFILTRATING THE VOLUME THROUGH THE BOTTOM OF THE SYSTEM. THE FACILITY WILL ALSO PROVIDE DETENTION OF POST DEVELOPED STORM EVENTS BELOW EXISTING STORM EVENTS PER THE HYDROLOGY REPORT DATED JULY 27, 2023.

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D	08/28/2023	REVISED PER TTCD COMMENTS	



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SHEET TITLE

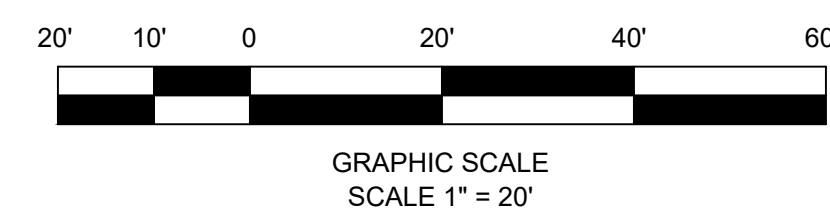
GRADING &
DRAINAGE PLAN

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Sheet

C-4.0



811 Know what's below
Call before you dig
dial 811

ISSUE FOR PERMIT

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SHEET TITLE

PIPE PROFILES

REVISION 4-2023

Job No. : 23043CFA

Store : 05442

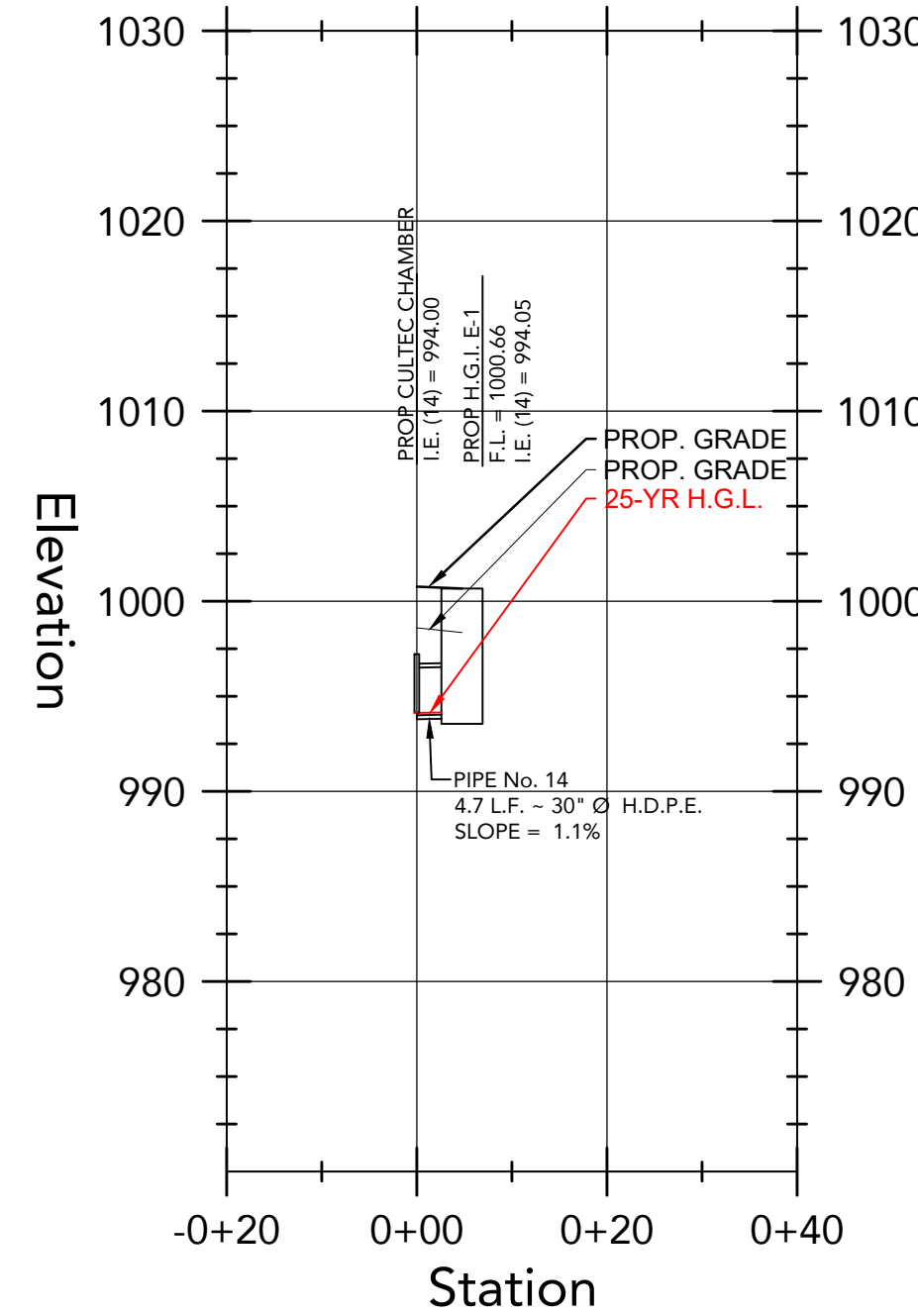
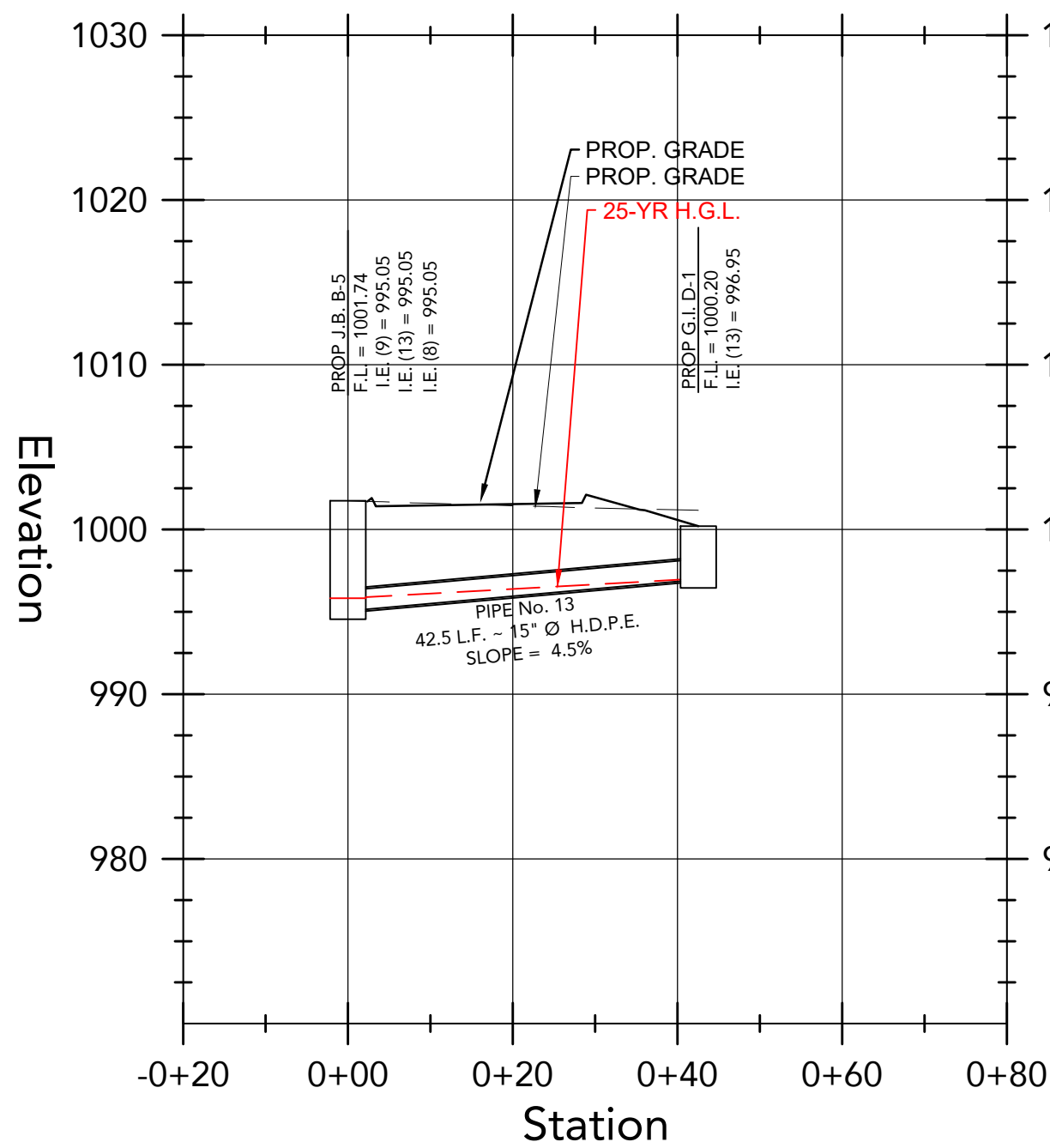
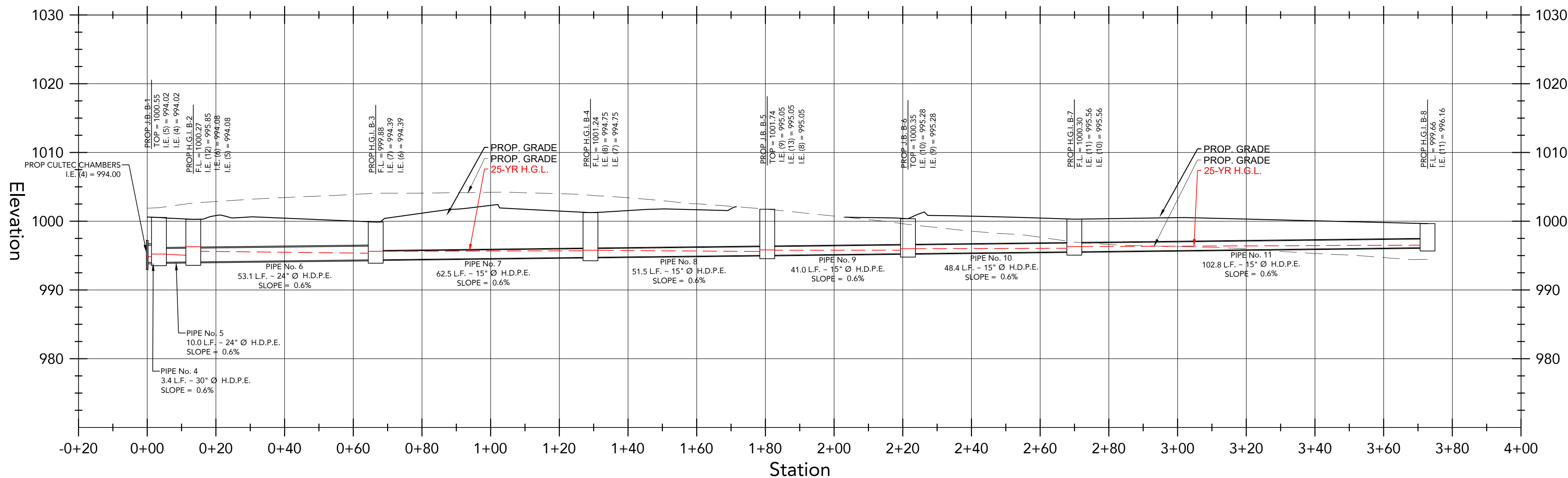
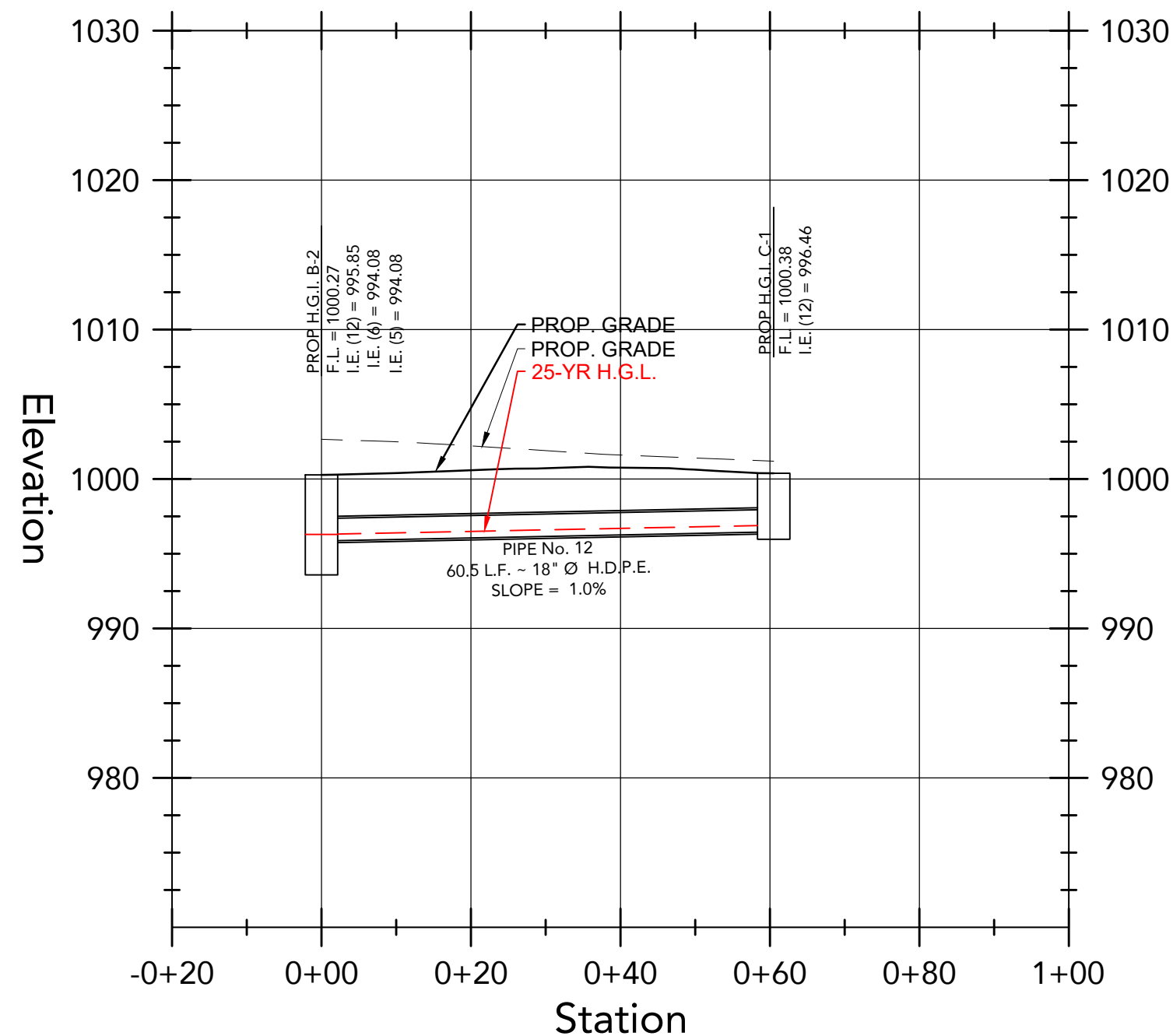
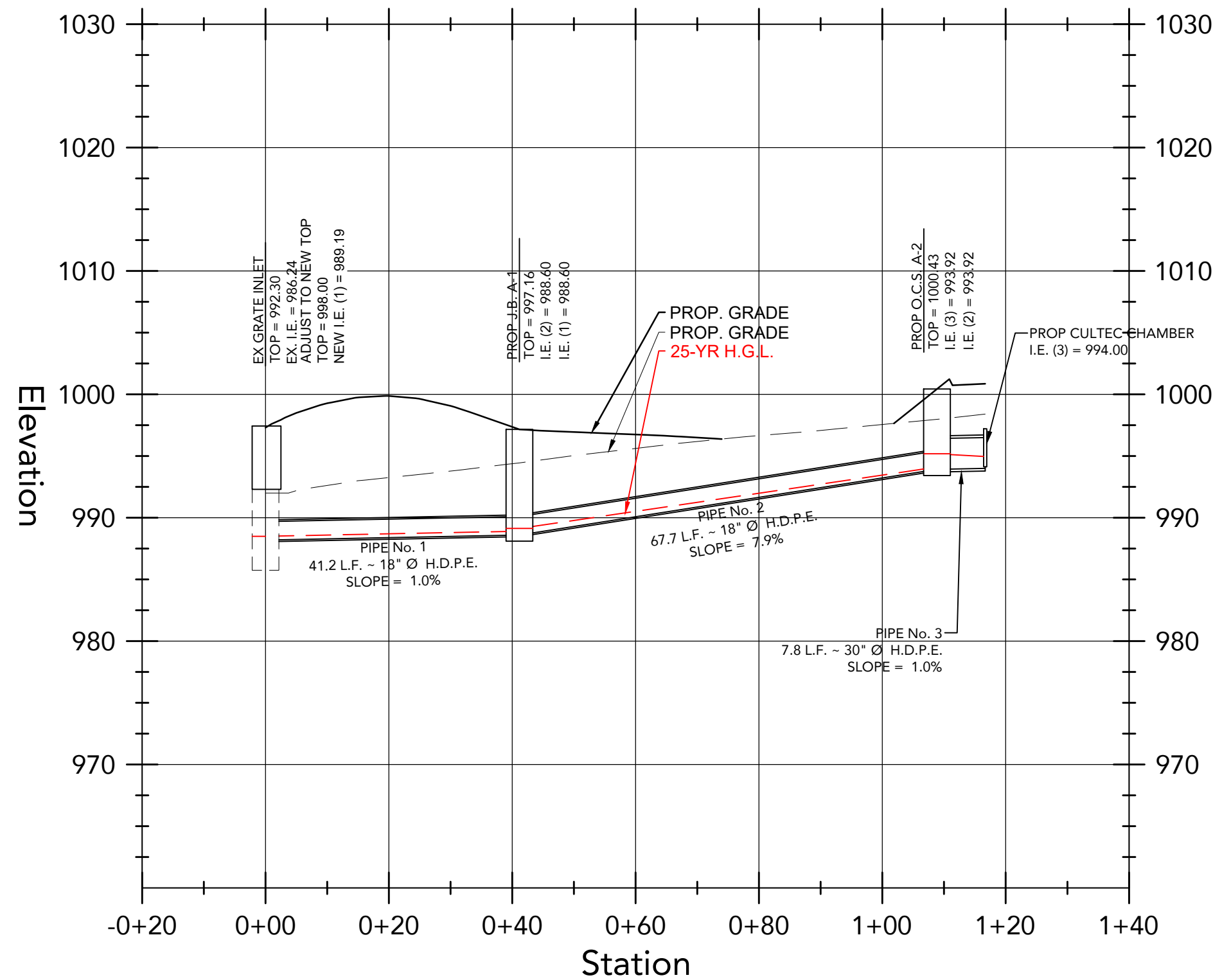
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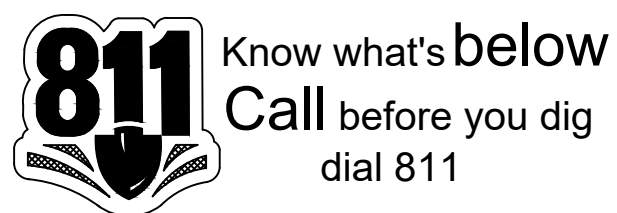
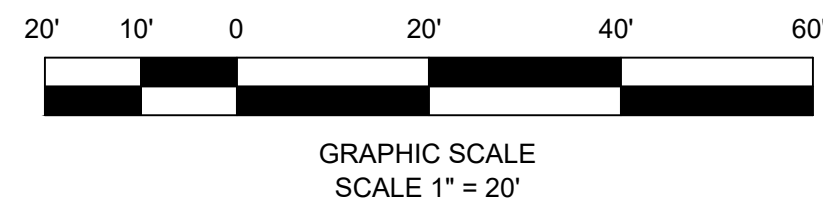
C-4.1

ISSUE FOR PERMIT

ENGINEER/DRAWN NOT RESPONSIBLE FOR COST CHANGES DURING PRELIMINARY PHASE. BIDS & QUOTES SHALL BE BASED ON PLANS SETS LABELED "ISSUE FOR CONSTRUCTION".



25- YR STORM SEWER PROFILES										
SCALE: 1(in) = 20 (ft) H, 1(in) = 10(ft) V										
Pipe No.	Flow (cfs)	Size (in)	Mat'l	Length (ft)	I.E. Down (ft)	I.E. Up (ft)	Slope (%)	HGL Down (ft)	HGL Up (ft)	Velocity (ft/s)
1	1.06	18	HDPE	41.2	988.19	988.60	1.0	988.57	988.98	2.97
2	1.06	18	HDPE	67.7	988.60	993.92	7.9	988.98	994.30	2.97
3	1.06	30	HDPE	7.8	993.92	994.00	1.0	994.30	994.33	2.47
4	5.18	30	HDPE	3.4	994.00	994.02	0.6	994.75	994.77	4.18
5	5.19	24	HDPE	10.0	994.02	994.08	0.6	994.77	994.88	4.61
6	2.37	24	HDPE	53.1	994.08	994.39	0.6	994.88	994.92	2.76
7	1.64	15	HDPE	62.5	994.39	994.75	0.6	994.92	995.26	3.39
8	1.21	15	HDPE	51.5	994.75	995.05	0.6	995.26	995.48	2.90
9	1.62	15	HDPE	41.0	995.05	995.28	0.6	995.53	995.78	3.63
10	1.65	15	HDPE	48.2	995.28	995.56	0.6	995.78	996.07	3.54
11	0.96	15	HDPE	102.8	995.56	996.16	0.6	996.07	996.54	2.52
12	2.12	18	HDPE	60.5	995.85	996.46	1.0	996.29	997.01	4.28
13	0.07	15	HDPE	42.5	995.05	996.95	4.5	995.48	997.05	0.82
14	0.21	30	HDPE	4.8	994.00	994.05	1.1	994.15	994.20	1.78





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SHEET TITLE

STORMWATER
DETAILS

REVISION 4-2023

Job No. : 23043CFA

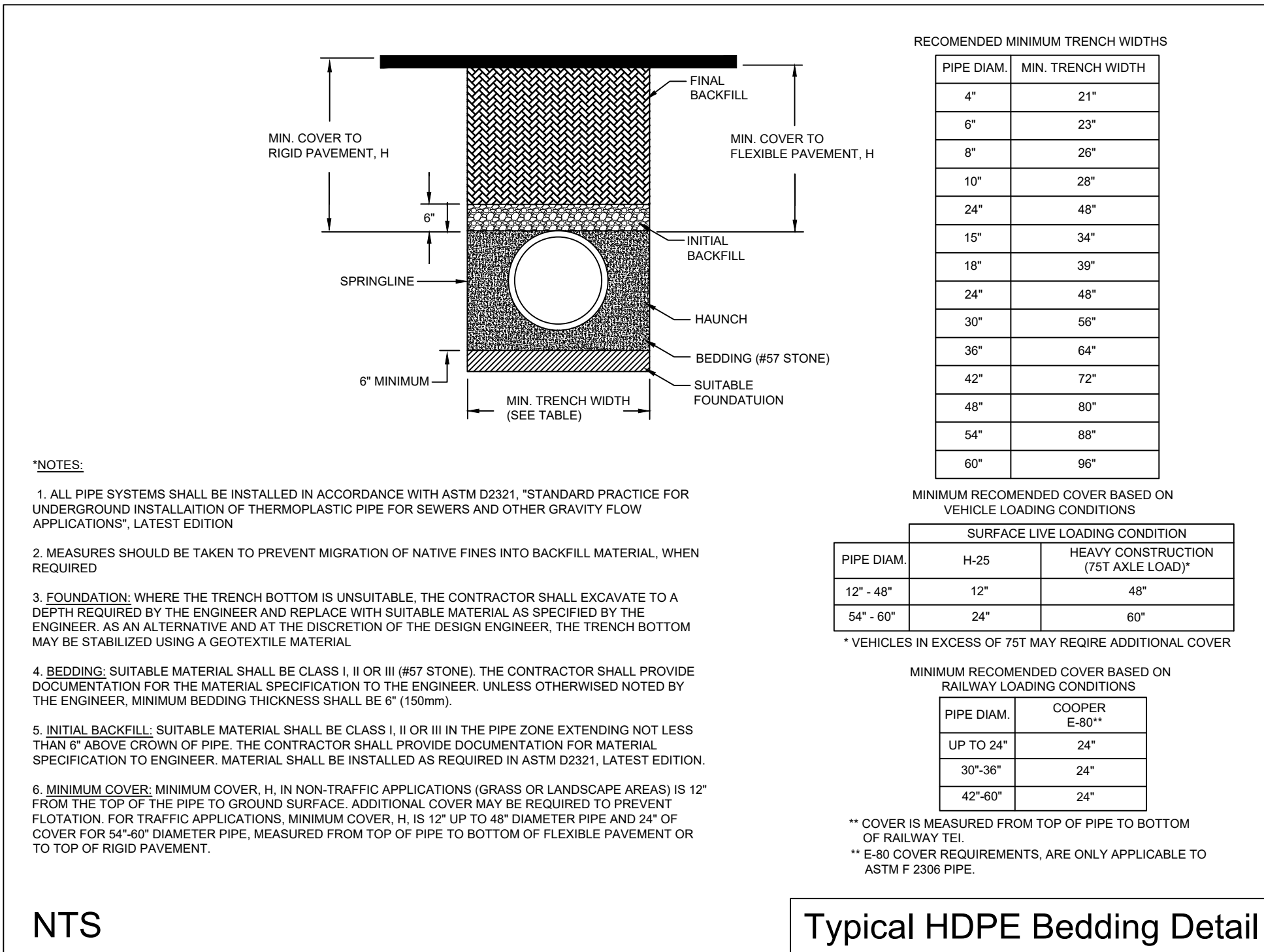
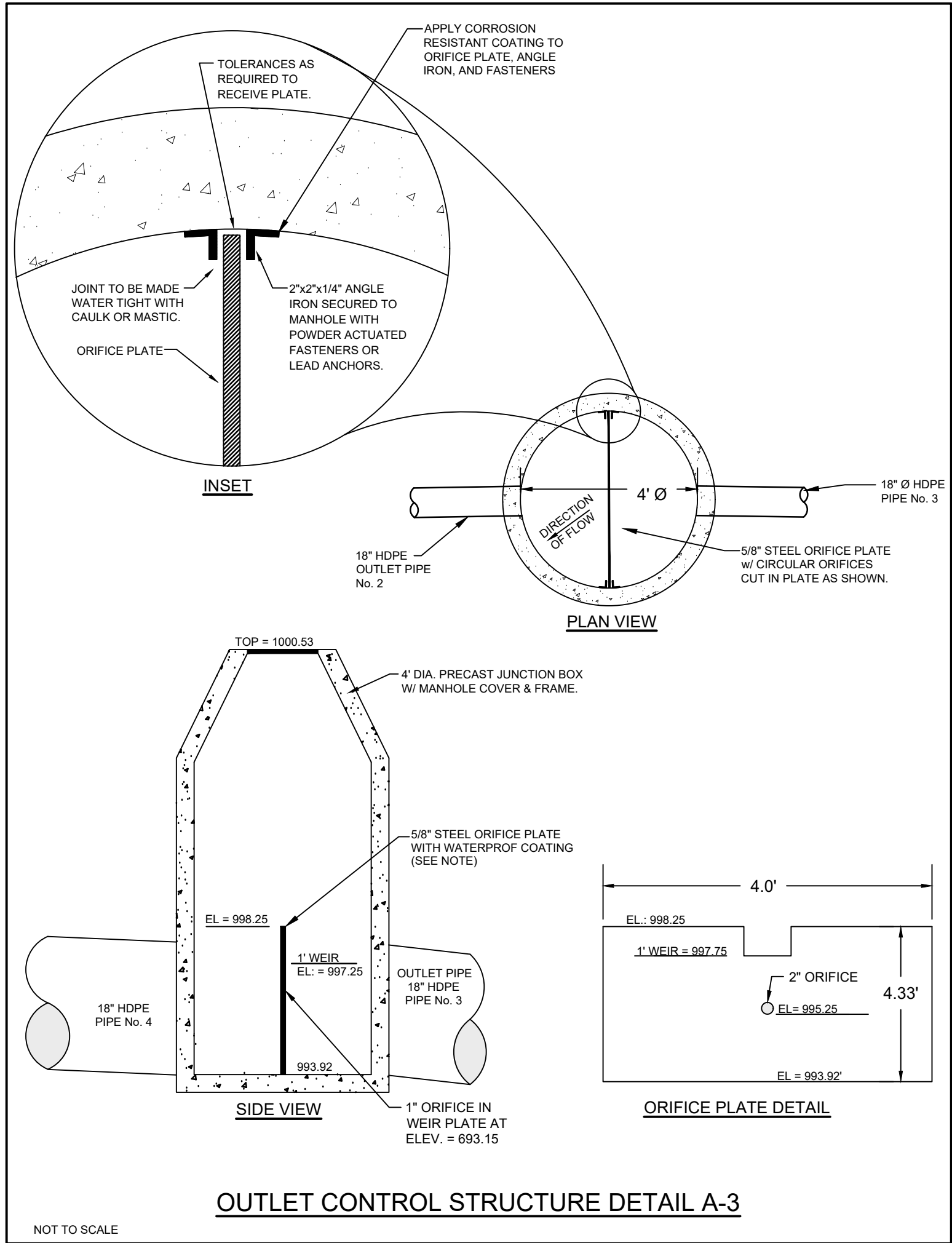
Store : 05442

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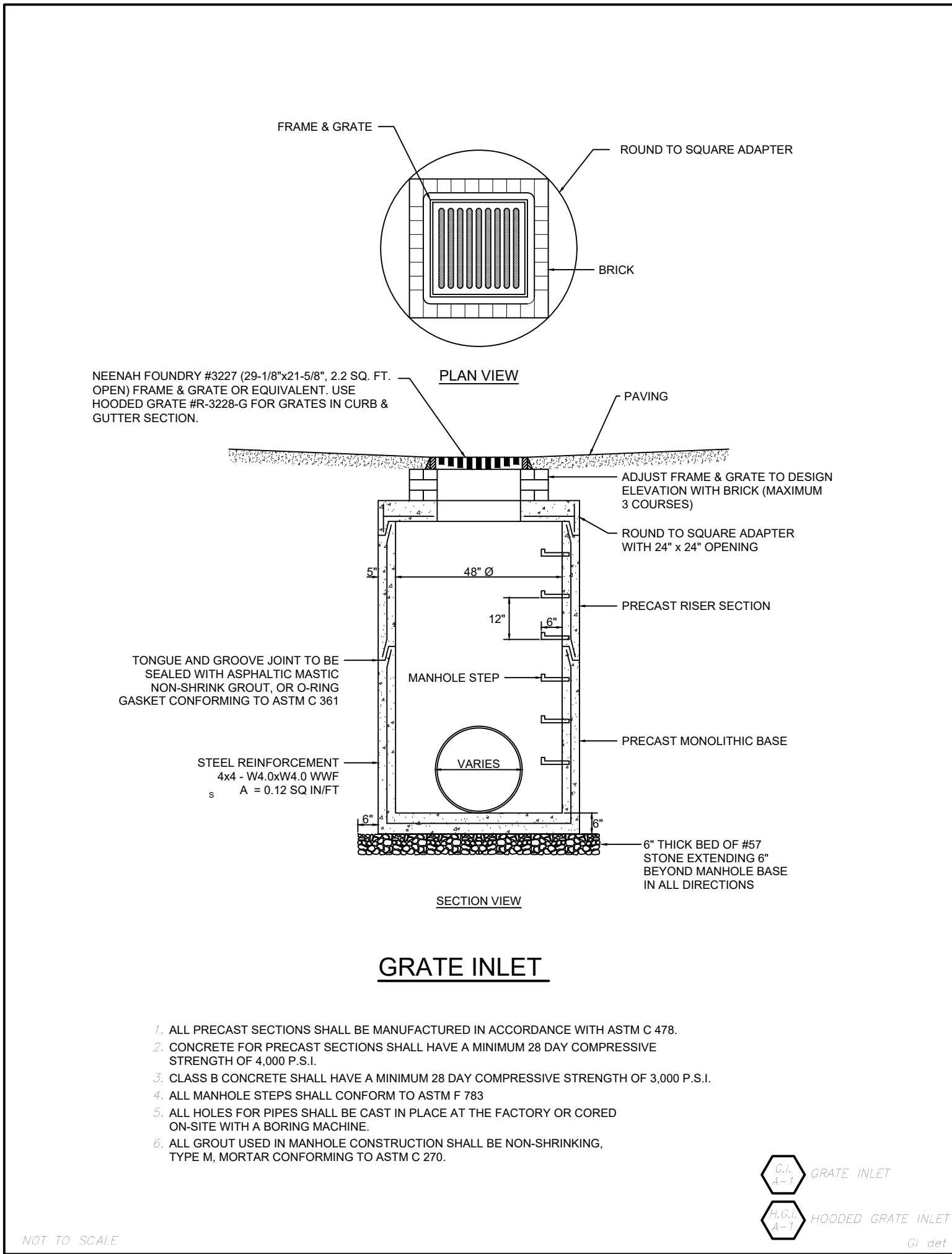
C-4.2

ISSUE FOR PERMIT



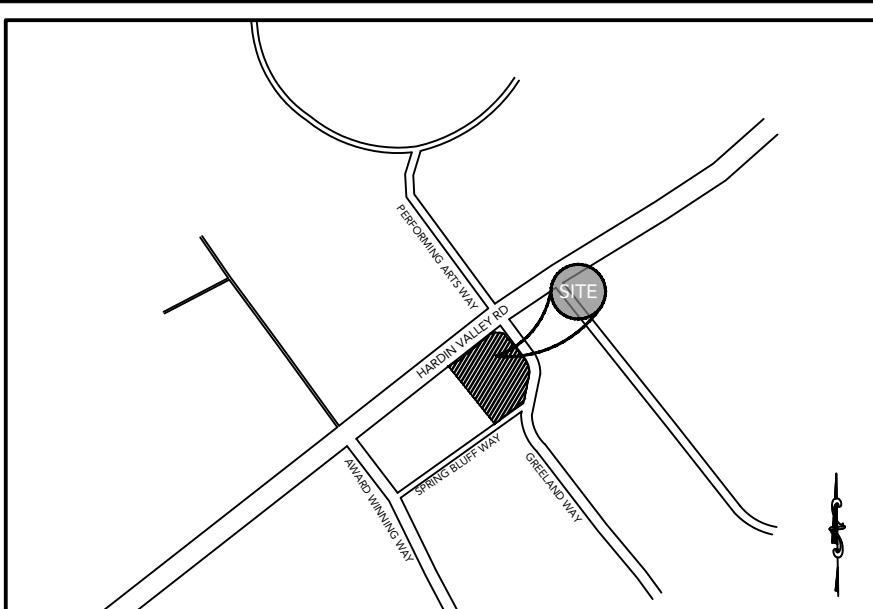
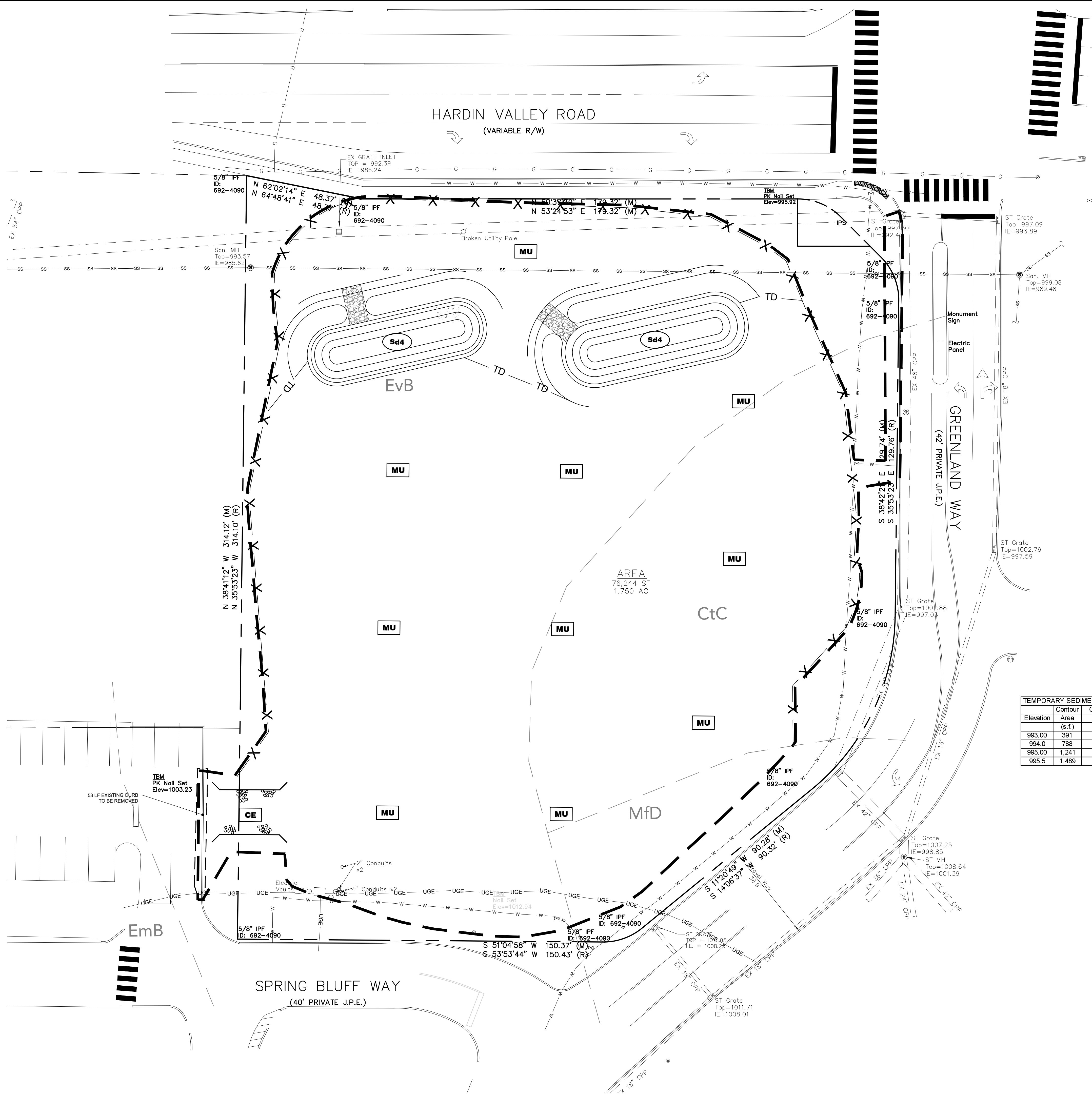
Typical HDPE Bedding Detail

NTS



GRATE INLET

- ALL PRECAST SECTIONS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C 478.
- CONCRETE FOR PRECAST SECTIONS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I.
- CLASS B CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- ALL MANHOLE STEPS SHALL CONFORM TO ASTM F 783
- ALL HOLES FOR PIPES SHALL BE CAST IN PLACE AT THE FACTORY OR CORED ON-SITE WITH A BORING MACHINE
- ALL GROUT USED IN MANHOLE CONSTRUCTION SHALL BE NON-SHRINKING, TYPE M, MORTAR CONFORMING TO ASTM C 270.

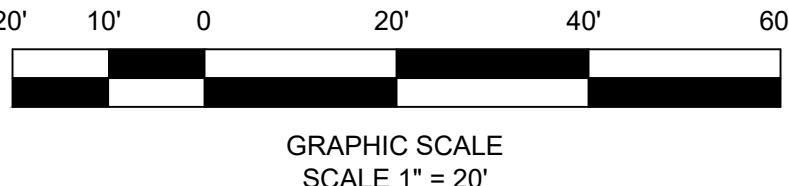


LOCATION MAP
SCALE: N.T.S.

- EROSION CONTROL NOTES:**
1. DEVELOPER/OWNER: CHICK-FIL-A, INC. 5200 BUFFINGTON RD., ATLANTA GA 30349, (678) 758-4513
 2. NAME AND PHONE NUMBER OF THE 24-HOUR CONTACT PERSON FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS IS: TODD WILLIAMS (678) 758-4513
 3. TOTAL PROJECT AREA = 1.75
 4. TOTAL DISTURBED AREA = 1.5 AC
 5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 6. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 7. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE FULL VOLUME.
 8. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 9. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 10. ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
 11. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
 12. THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AUTHORIZED AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.
 13. UPON NOTIFICATION AND AUTHORIZATION OF THE OWNER, THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS RESPONSIBLE FOR INSPECTING THE INSTALLATION OF THE BMP'S WITHIN 7 DAYS AFTER INITIAL CONSTRUCTION ACTIVITIES BEGINS.
 14. THE RECEIVING WATER(S) IS UNNAMED TRIBUTARY TO TOBY CREEK.
 15. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 16. MAINTENANCE OF ALL EROSION CONTROL MEASURES, WEATHER TEMPORARY OR PERMANENT, SHALL AT ALL TIME BE THE RESPONSIBILITY OF THE OWNER.

TEMPORARY SEDIMENT TRAP A				TEMPORARY SEDIMENT TRAP B			
Elevation	Contour	Area	Calculated Storage	Elevation	Contour	Area	Calculated Storage
		(s.f.)	(c.y.)			(s.f.)	(c.y.)
993.00	391	0.00		996.00	391	0.00	
994.0	788	21.83		997.0	788	21.83	
995.0	1,241	59.41		998.00	1,241	59.41	
995.5	1,489	84.69		998.5	1,489	84.69	

LEGEND	
MU	TEMPORARY MULCHING
SOD	SOD - PERMANENT GROUND COVER
MB	MATting BLANKET
IP	INLET PROTECTION
IP-B	SILT SACK
PS	PERMANENT SEEDING
CE	CONSTRUCTION ENTRANCE
SF	SILT FENCE
SD3	TEMPORARY SEDIMENT TRAP
TEMPORARY DIVERSION TD	
LIMITS OF DISTURBANCE MU	
NOTE: * INLET SEDIMENT TRAP Sd2-F SHALL BE USED IN NON PAVED AREAS UNTIL PAVING IS COMPLETE. WHILE Sd2-SS SHALL BE USED IN AREAS THAT IS PAVED.	



Chick-fil-A

5200 Buffington Rd.
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30349-2998

REVISION BLOCK:		DATE	REVISION
REV. #	A	06/02/2023	INITIAL REVIEW
	B	06/05/2023	PCR
	C	07/25/2023	TTCA SUBMITTAL
	D	08/28/2023	REVISED PER TTCA COMMENTS



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STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

**E&SC PLAN
PHASE I**

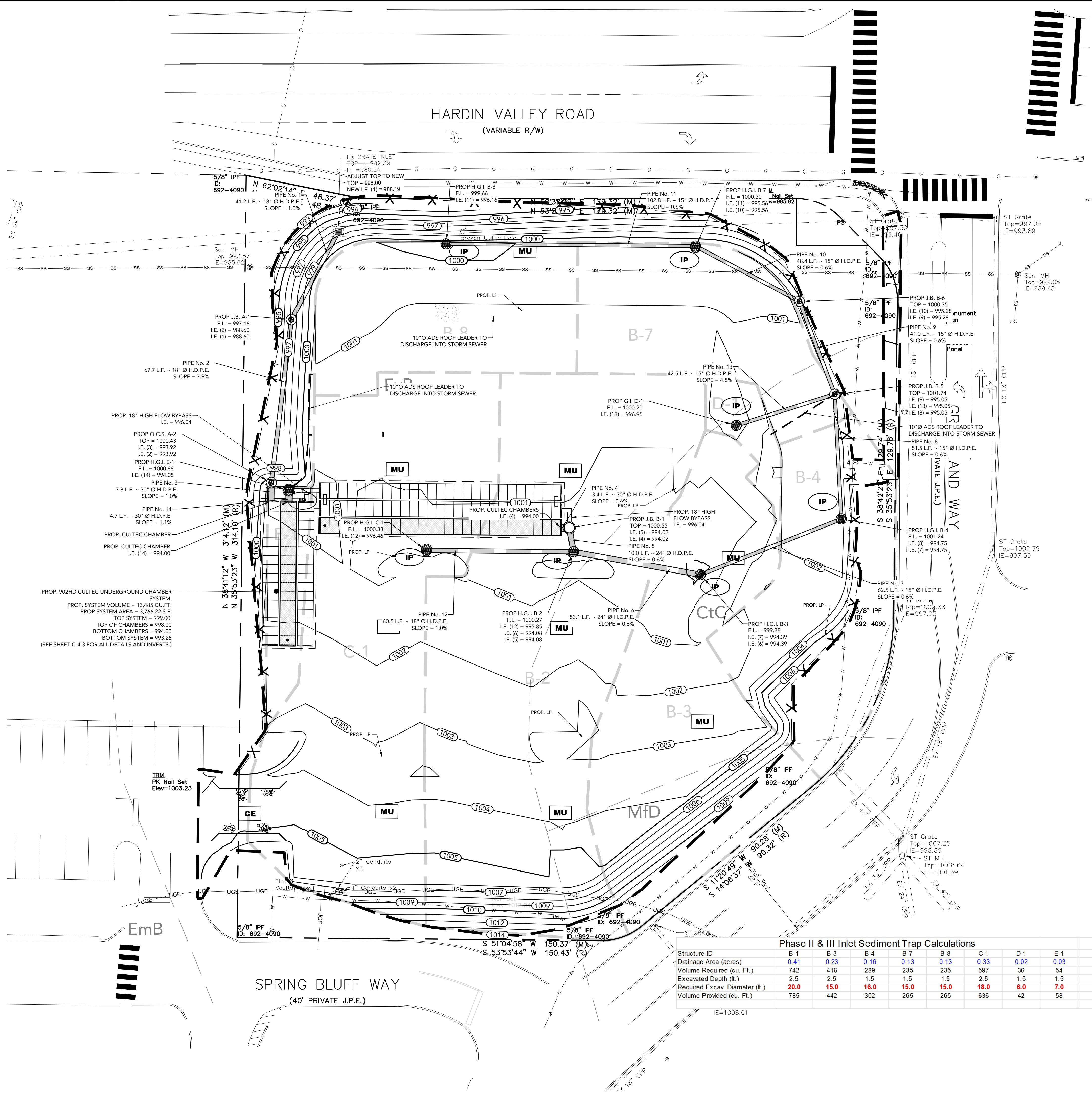
REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Sheet

C-5.0

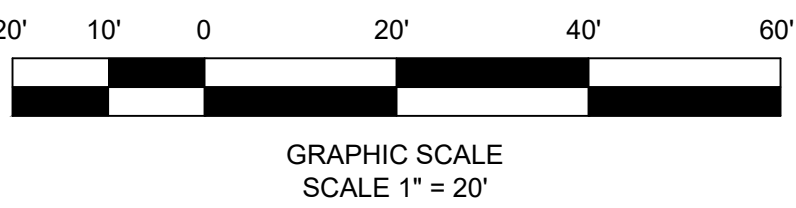
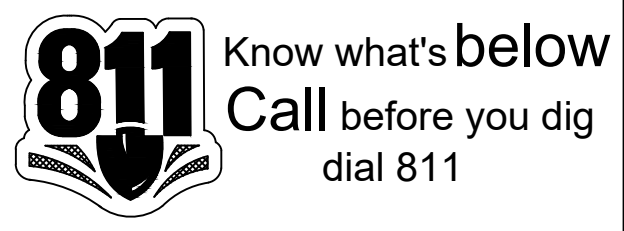
ISSUE FOR PERMIT



- EROSION CONTROL NOTES:**
1. DEVELOPER/OWNER: CHICK-FIL-A, INC., 5200 BUFFINGTON RD., ATLANTA GA 30349, (678) 758-4513
 2. NAME AND PHONE NUMBER OF THE 24-HOUR CONTACT PERSON FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS IS: TODD WILLIAMS (678) 758-4513
 3. TOTAL PROJECT AREA = 1.75
 4. TOTAL DISTURBED AREA = 1.5 AC
 5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 6. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 7. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE FULL VOLUME.
 8. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 9. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 10. ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
 11. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
 12. THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AUTHORIZED AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.
 13. UPON NOTIFICATION AND AUTHORIZATION OF THE OWNER, THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS RESPONSIBLE FOR INSPECTING THE INSTALLATION OF THE BMP'S WITHIN 7 DAYS AFTER INITIAL CONSTRUCTION ACTIVITIES BEGINS.
 14. THE RECEIVING WATER(S) IS UNNAMED TRIBUTARY TO TOBY CREEK.
 15. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 16. MAINTENANCE OF ALL EROSION CONTROL MEASURES, WEATHER TEMPORARY OR PERMANENT, SHALL AT ALL TIME BE THE RESPONSIBILITY OF THE OWNER.

LEGEND	
MU	TEMPORARY MULCHING
SOD	SOD - PERMANENT GROUND COVER
MB	MATting BLANKET
IP	INLET PROTECTION
IP-B	SILT SACK
PS	PERMANENT SEEDING
CE	CONSTRUCTION ENTRANCE
SF	SILT FENCE
SD3	TEMPORARY SEDIMENT TRAP
TEMPORARY DIVERSION TD	
LIMITS OF DISTURBANCE ---	
NOTE: * INLET SEDIMENT TRAP Sd2-F SHALL BE USED IN NON PAVED AREAS UNTIL PAVING IS COMPLETE. WHILE Sd2-SS SHALL BE USED IN AREAS THAT IS PAVED.	

Phase II & III Inlet Sediment Trap Calculations								
Structure ID	B-1	B-3	B-4	B-7	B-8	C-1	D-1	E-1
Drainage Area (acres)	0.41	0.23	0.16	0.13	0.13	0.33	0.02	0.03
Volume Required (cu. Ft.)	742	416	289	235	235	597	36	54
Excavated Depth (ft.)	2.5	2.5	1.5	1.5	1.5	2.5	1.5	1.5
Required Excav. Diameter (ft.)	20.0	15.0	16.0	15.0	15.0	18.0	6.0	7.0
Volume Provided (cu. Ft.)	785	442	302	265	265	636	42	58
								TOTAL
								2059 C.F.
								76.26 C.Y.D.



5200 Buffington Rd.
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30349-2998

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KNOXVILLE, TN 37932

SHEET TITLE

E&SC PLAN
PHASE II

REVISION 4-2023

Job No. : 23043CFA

Store : 05442

Date : 08/28/23

Sheet

C-5.1

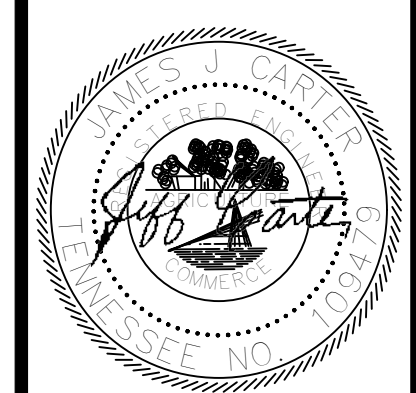
ISSUE FOR PERMIT



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30349-2998

REVISION BLOCK:		REVISION	
REV. #	DATE	REVISION	INITIAL REVIEW
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KNOXVILLE, TN 37932

SHEET TITLE

E&SC PLAN
PHASE III

REVISION 4-2023

Job No. : 23043CFA

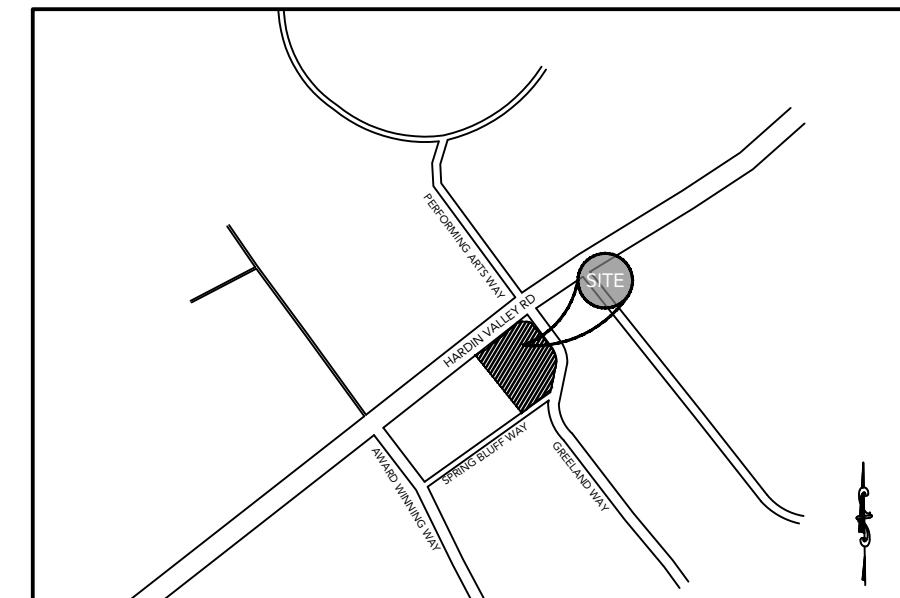
Store : 05442

Date : 08/28/23

Sheet

C-5.2

ISSUE FOR PERMIT

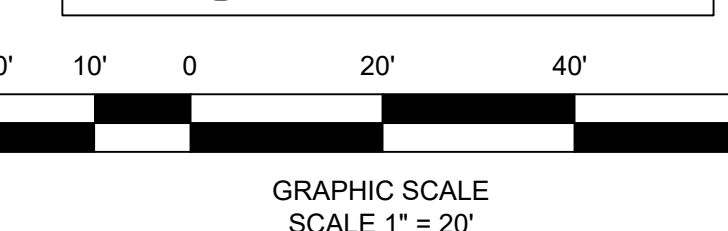
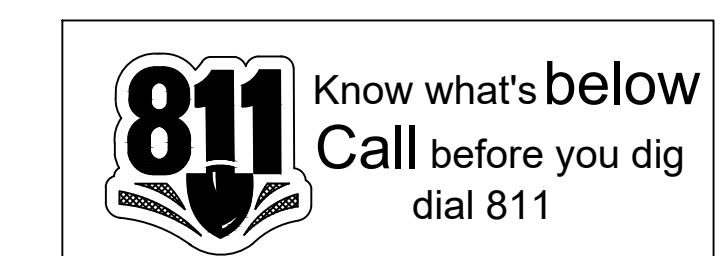


LOCATION MAP
SCALE: N.T.S.

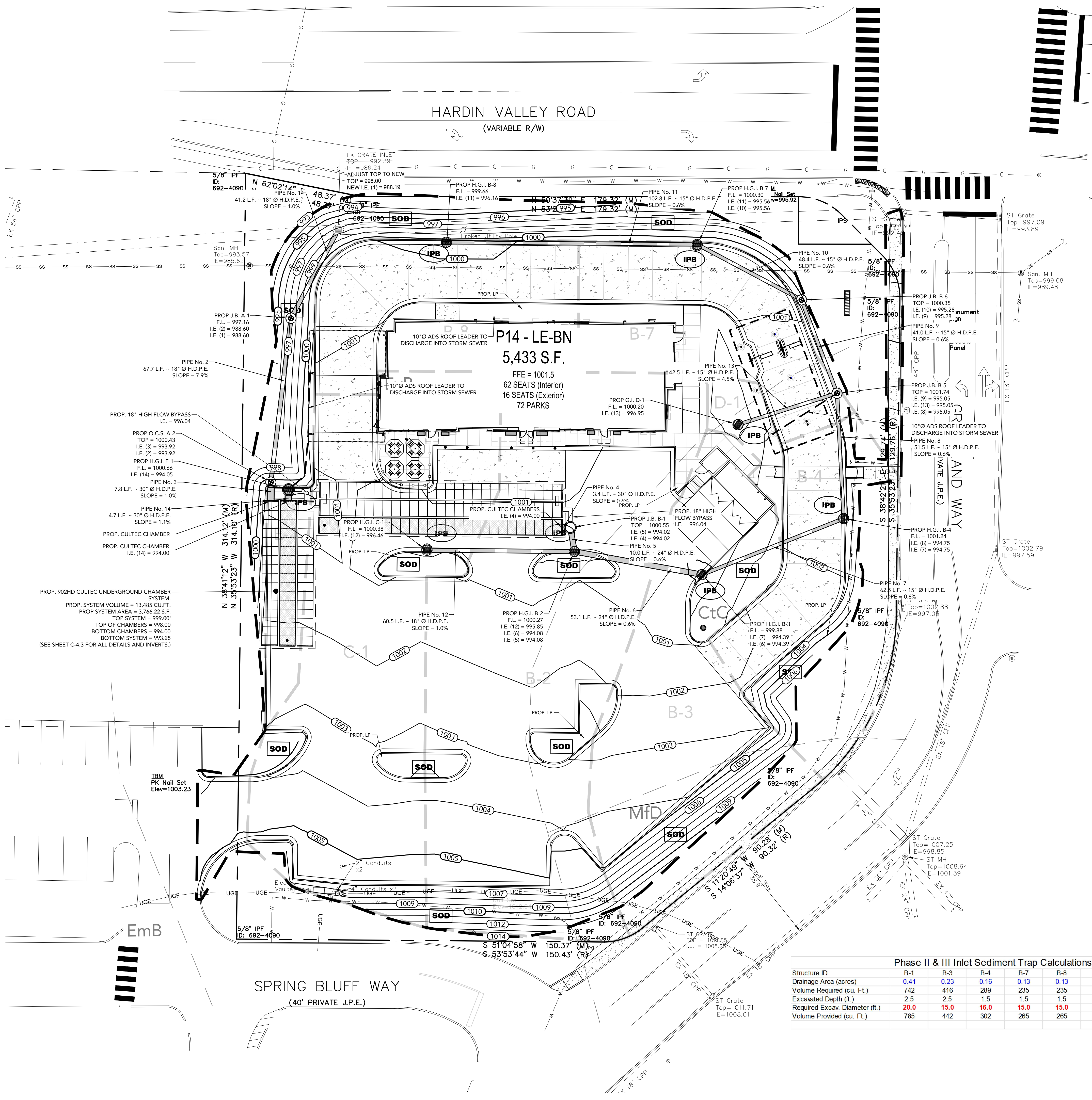
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SF	SILT FENCE
SD3	TEMPORARY SEDIMENT TRAP
TEMPORARY DIVERSION TD	
LIMITS OF DISTURBANCE	

NOTE: * INLET SEDIMENT TRAP Sd2-F SHALL BE USED IN NON PAVED AREAS UNTIL PAVING IS COMPLETE. WHILE Sd2-SS SHALL BE USED IN AREAS THAT IS PAVED.



Phase II & III Inlet Sediment Trap Calculations									
Structure ID	B-1	B-3	B-4	B-7	B-8	C-1	D-1	E-1	
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Excavated Depth (ft.)	2.5	2.5	1.5	1.5	1.5	2.5	1.5	1.5	
Required Excav. Diameter (ft.)	20.0	15.0	16.0	15.0	15.0	18.0	6.0	7.0	TOTAL
Volume Provided (cu. Ft.)	785	442	302	265	265	636	42	58	2059 C.F. 76.26 C.Y.D.



PS Permanent Cover Seeding Mixtures

Seeding Dates	Grass Seed	Percentages
February 1 to July 1	Kentucky 31 Fescue	80%
	Korean Lespedeza	15%
	English Rye	5%
June 1 to August 15	Kentucky 31 Fescue	55%
	English Rye	20%
	Korean Lespedeza	15%
	German Millet	10%
April 15 to August 15	Bermudagrass (hulled)	70%
	Annual Lespedeza	30%
August 1 to December 1	Kentucky 31 Fescue	70%
	English Rye	20%
	White Clover	10%
February 1 to December 1	Kentucky 31 Fescue	70%
	Crown Vetch	25%
	English Rye	5%

Source: TDOT Standard Specifications

Table 1

TS

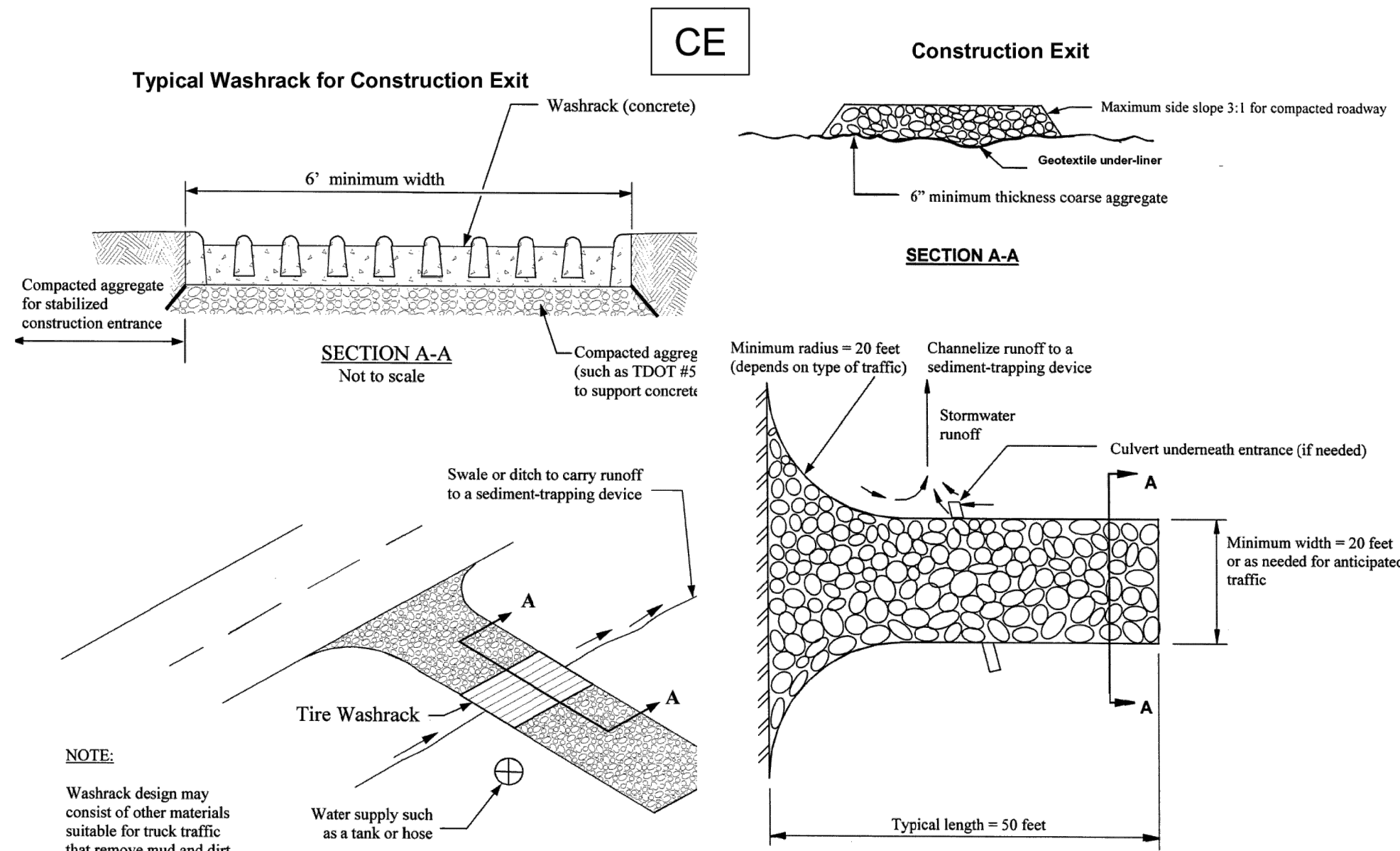
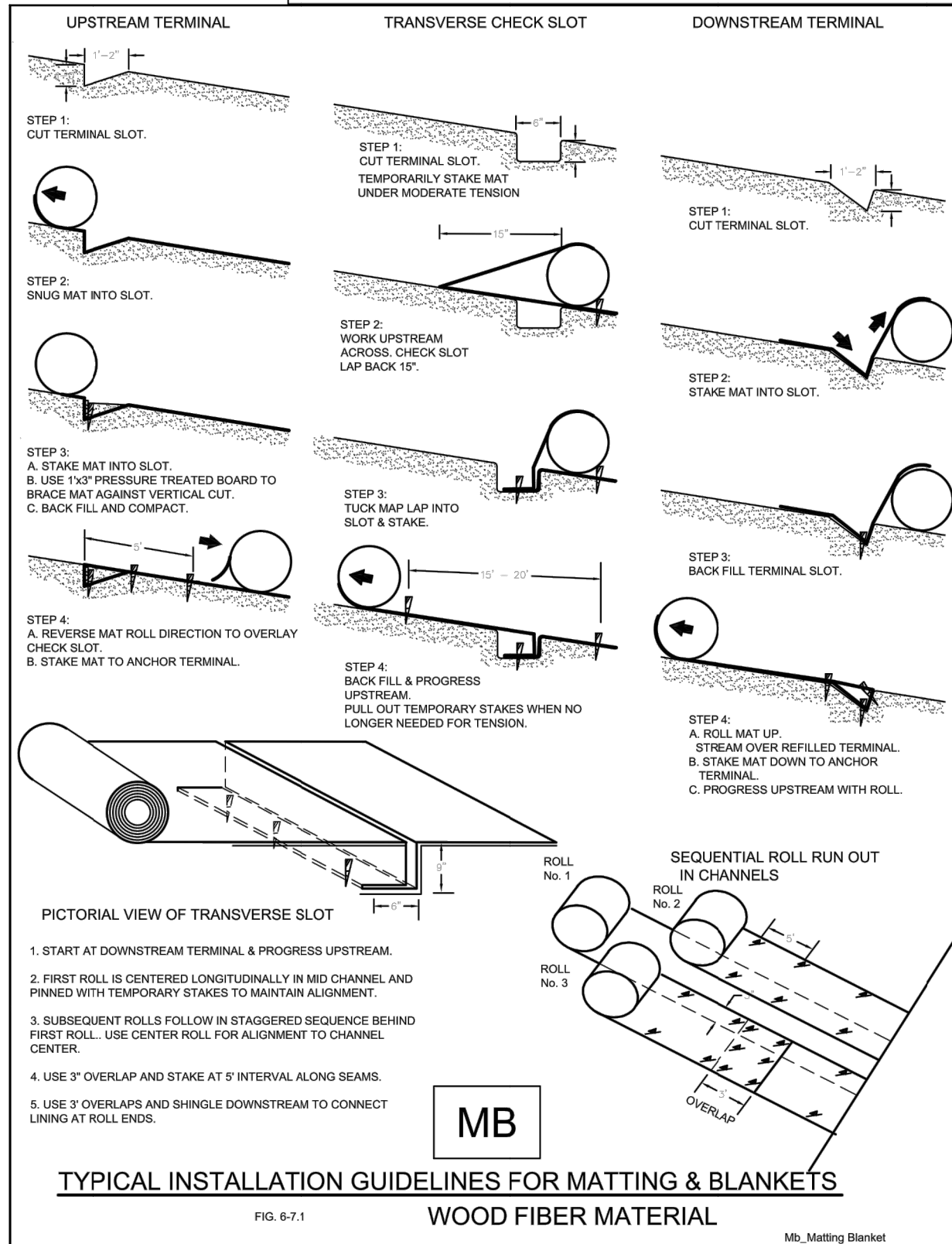
Topsoil: Topsoil should be friable and loamy, free of debris, objectionable weeds and stones, and contain no toxic substances that may be harmful to plant growth. When replacing topsoil on disturbed areas, maintain needed erosion and sediment control practices such as diversions, boms, sediment basins, etc. Grades containing these structures should be maintained after the topsoil is applied.

Topsoil should be handled only when it is dry enough to work without damaging soil structure. A uniform application of 5 inches (unsettled) is recommended, but may be adjusted at the discretion of the engineer or landscape architect. See Table 2 for additional information about the volume of topsoil to achieve various depths.

Seedbed Preparation: When conventional seeding is to be used, topsoil should be applied to any area where the disturbance results in subsoil being the final grade surface.

Broadcast plantings

- Seedbed preparation may not be required where hydraulic seeding equipment is to be used.
- Tillage, at a minimum, shall adequately loosen the soil to a depth of 4 to 6 inches; alleviate compaction; incorporate topsoil, lime, and fertilizer; smooth and firm the soil; allow for the proper placement of seed, sprigs, or plants; and allow for the anchoring of straw or hay mulch if a crimper is to be used.
- Tillage may be done with any suitable equipment.
- Tillage should be done parallel to the contour where feasible.
- On slopes too steep for the safe operation of tillage equipment, the soil surface shall be pitted or trenched across the slope with appropriate hand tools to provide consecutive beds 6 to 8 inches apart, in which seed may



Chapter 7

Management Practices

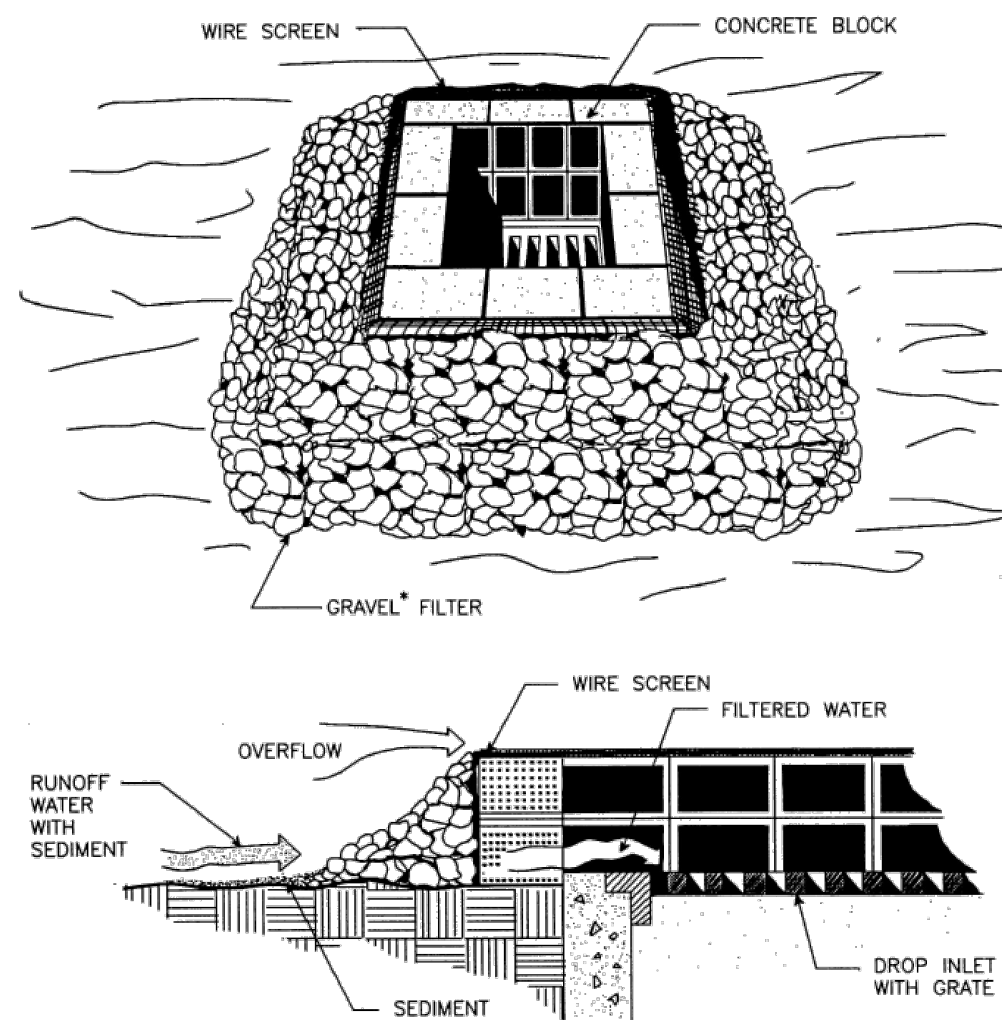
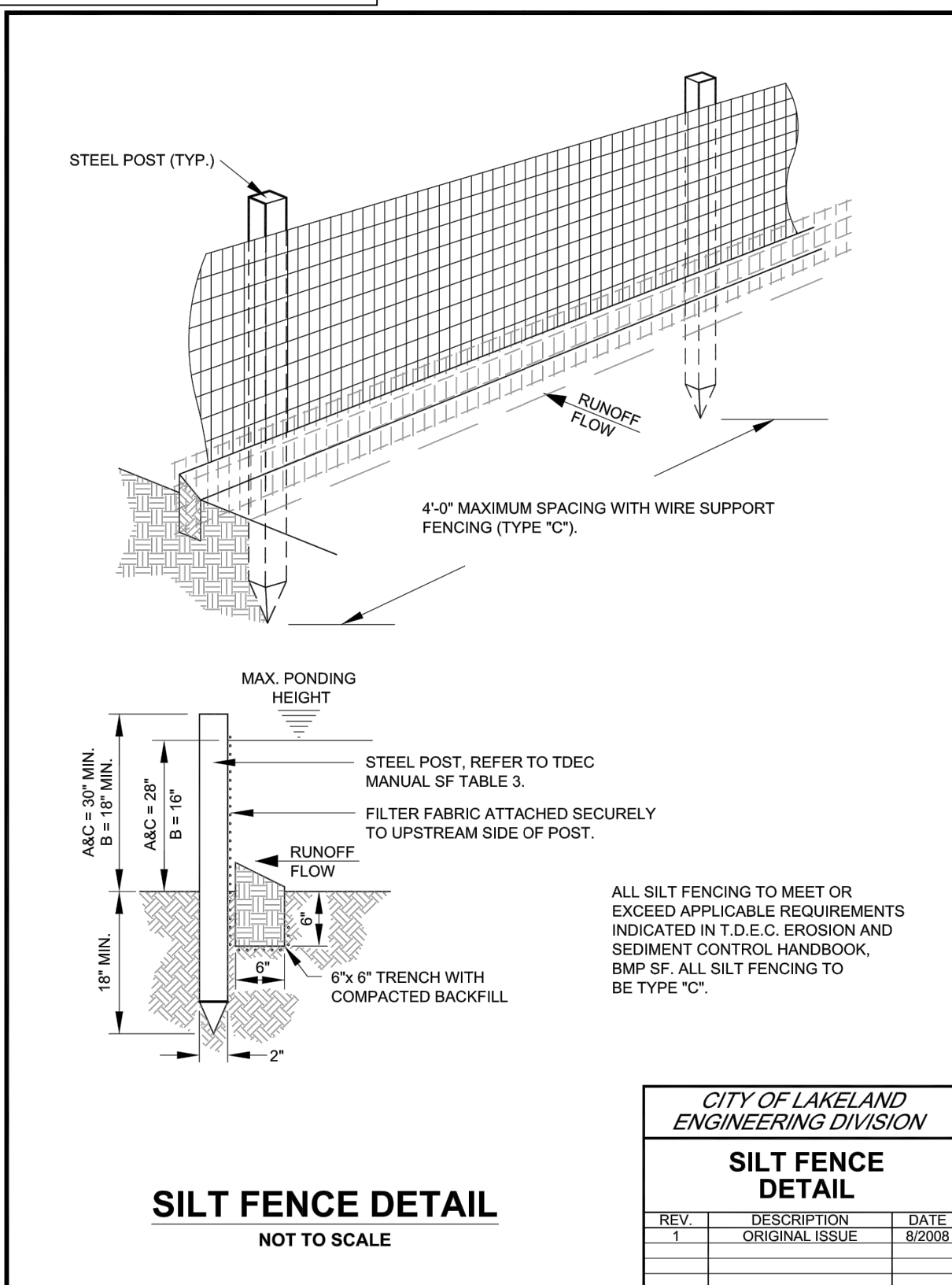


Figure 7.35-3 Block and Gravel Inlet Protection (Source: V&A DSWC)



Manufacturers Advanced Composite Materials, Automotive and Apparel Specialty Fabrics, Wax Binding, Electrical Insulation, Reflective Tape, Narrow Fabrics, F&C, Film, Construction, Survey & Safety Accessories

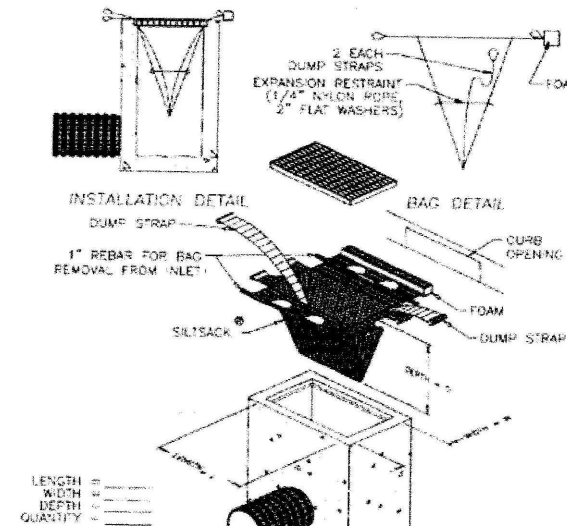
MUTUAL INDUSTRIES INC.

707 W. GRANGE STREET, PHILADELPHIA, PA 19120

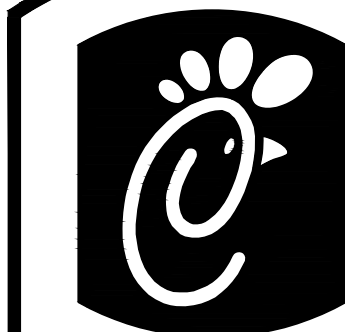
800 623-0888 215 927-6000 FAX: 215 927-3566

CUSTOMER SERVICE LINE

#14925 SILT SACK



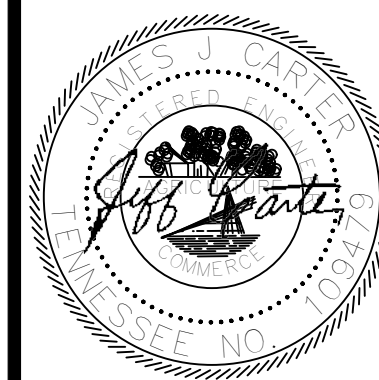
Property	Test Method	Units	Test Results
Grab Sample	ASTM D-4884	Bu.	3750/500
Grab Elongation	ASTM D-4832	%	154/3
Puncture	ASTM D-4833	Bu.	125
Mullen Burst	ASTM D-3786	PSI	650
Tensile Tear	ASTM D-4533	Bu.	1200/150
UV Resistance	ASTM D-4355	%	90
Apparent Opening	ASTM D-4751	US Sieve	40
Flow Rate	ASTM D-4491	gallon/hr	40
Permeability	ASTM D-4491	sec."	0.55



Chick-fil-A

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REVISION BLOCK:		REVISION		DATE		INITIAL REVIEW	
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	B		06/06/2023		PCR		07/25/2023
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STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

EROSION
DETAILS

REVISION 4-2023

Job No. : 23043CFA

Store : 05442

Date : 08/28/23

Sheet

C-5.3

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REVISION BLOCK:		REVISION	DATE	REV. #
A		DATE	06/02/2023	1
B		INITIAL REVIEW	06/05/2023	2
C		PCR	07/25/2023	3
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		REVISED PER TTODA COMMENTS		



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HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

**STANDARD
DETAILS II**

REVISION 4-2023

Job No. : 23043CFA

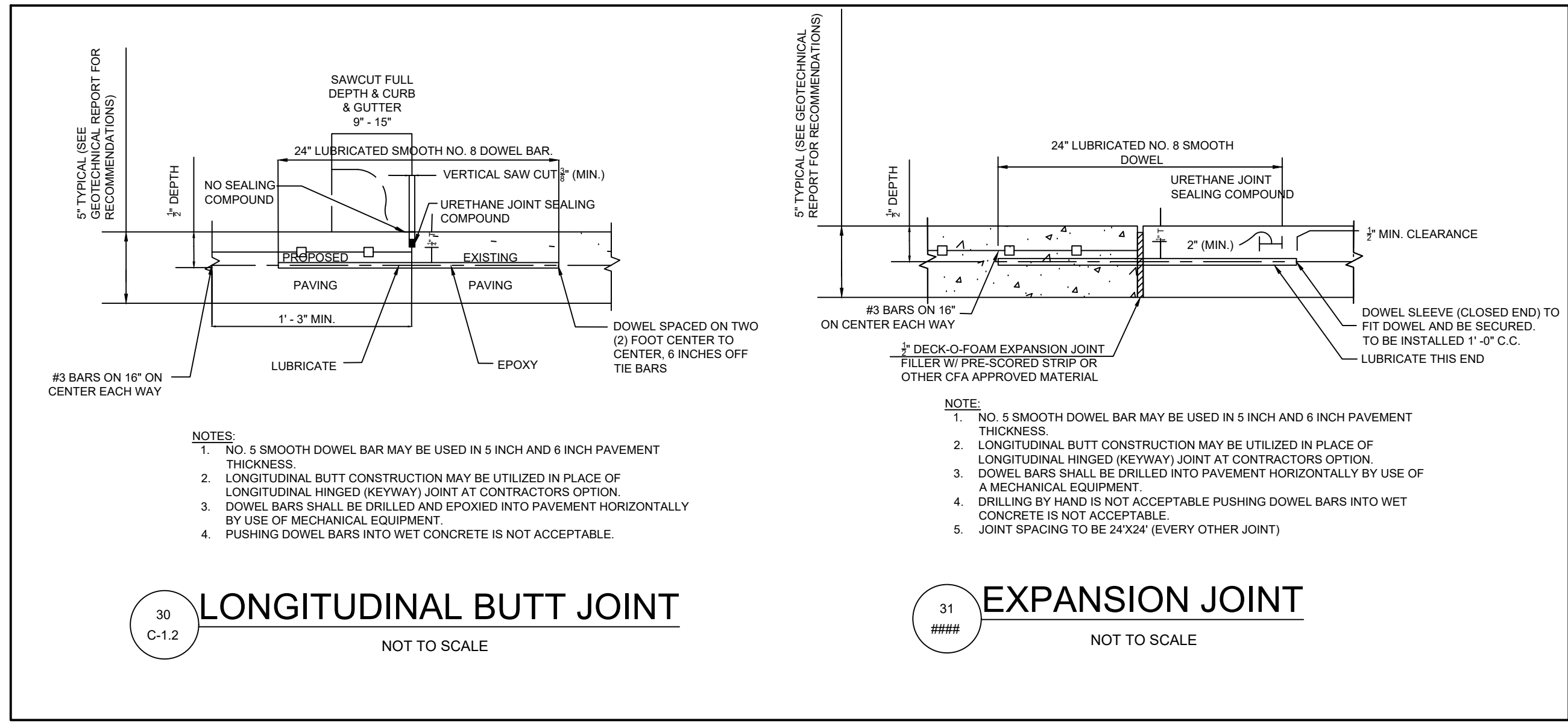
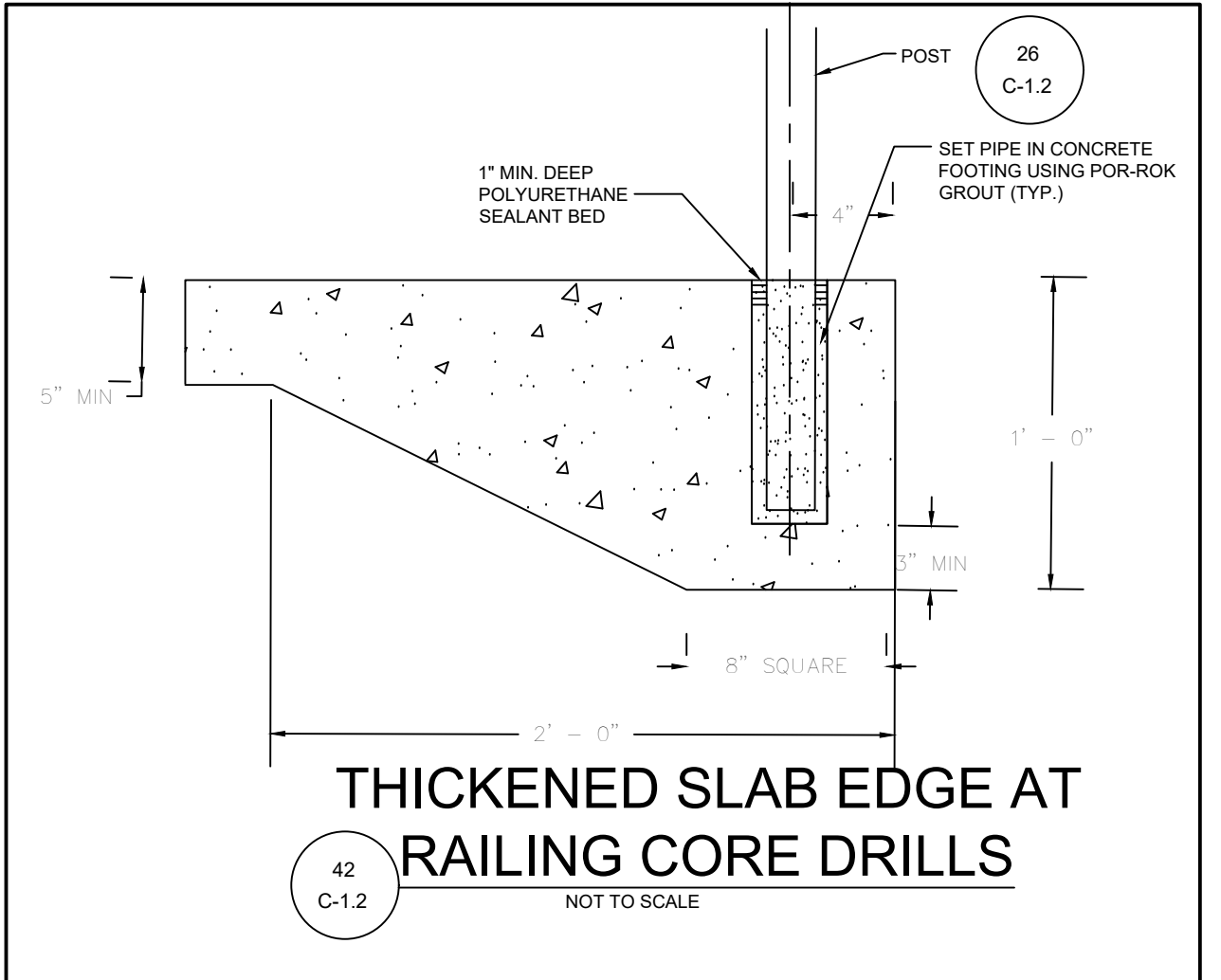
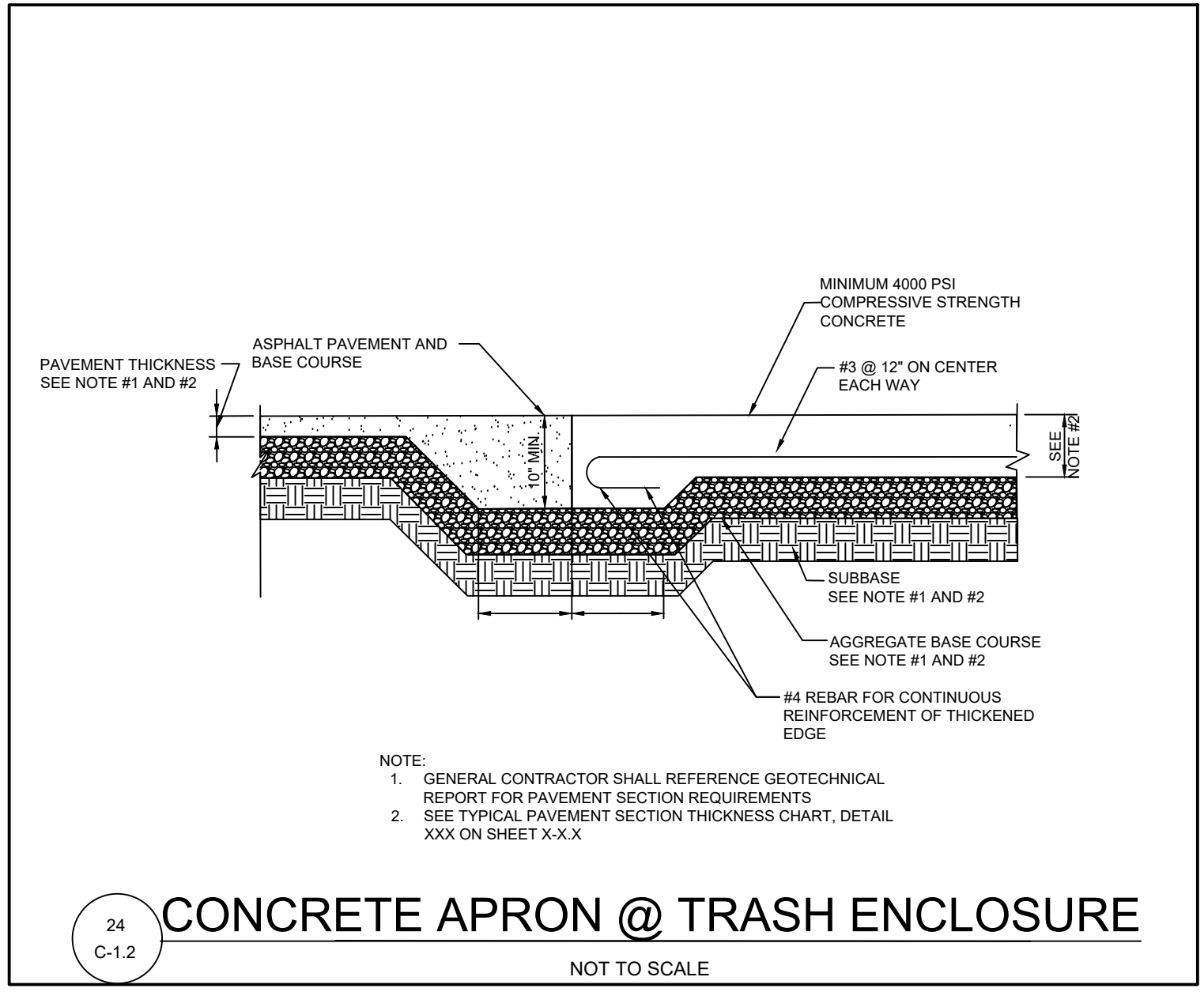
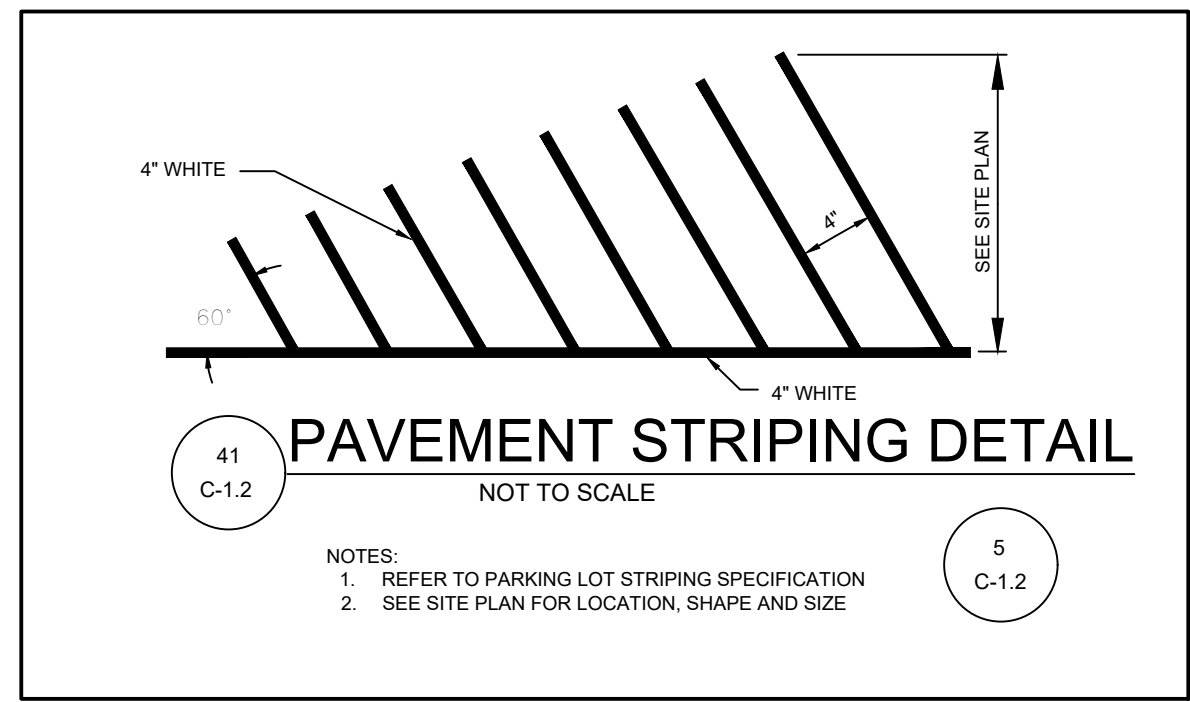
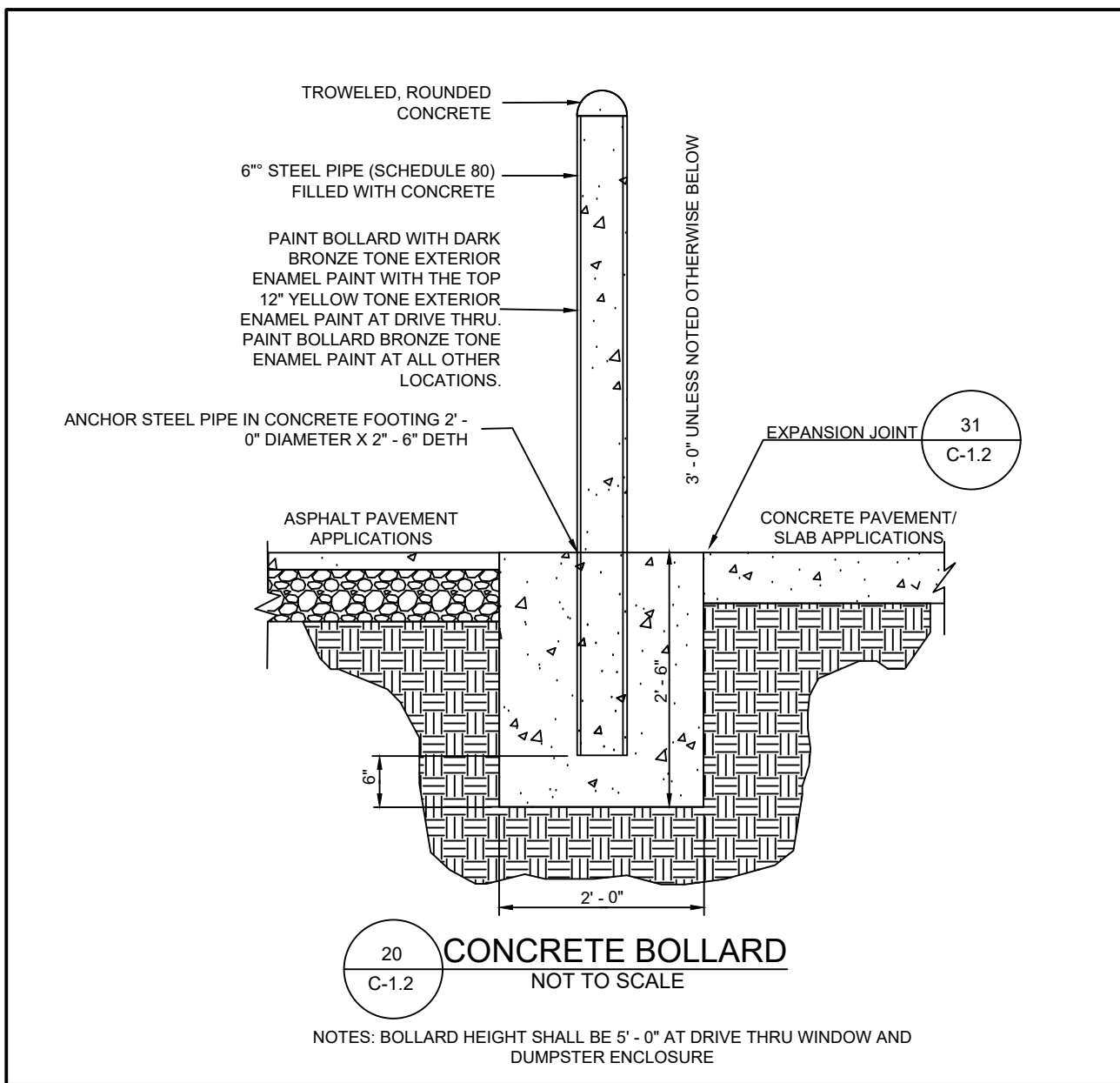
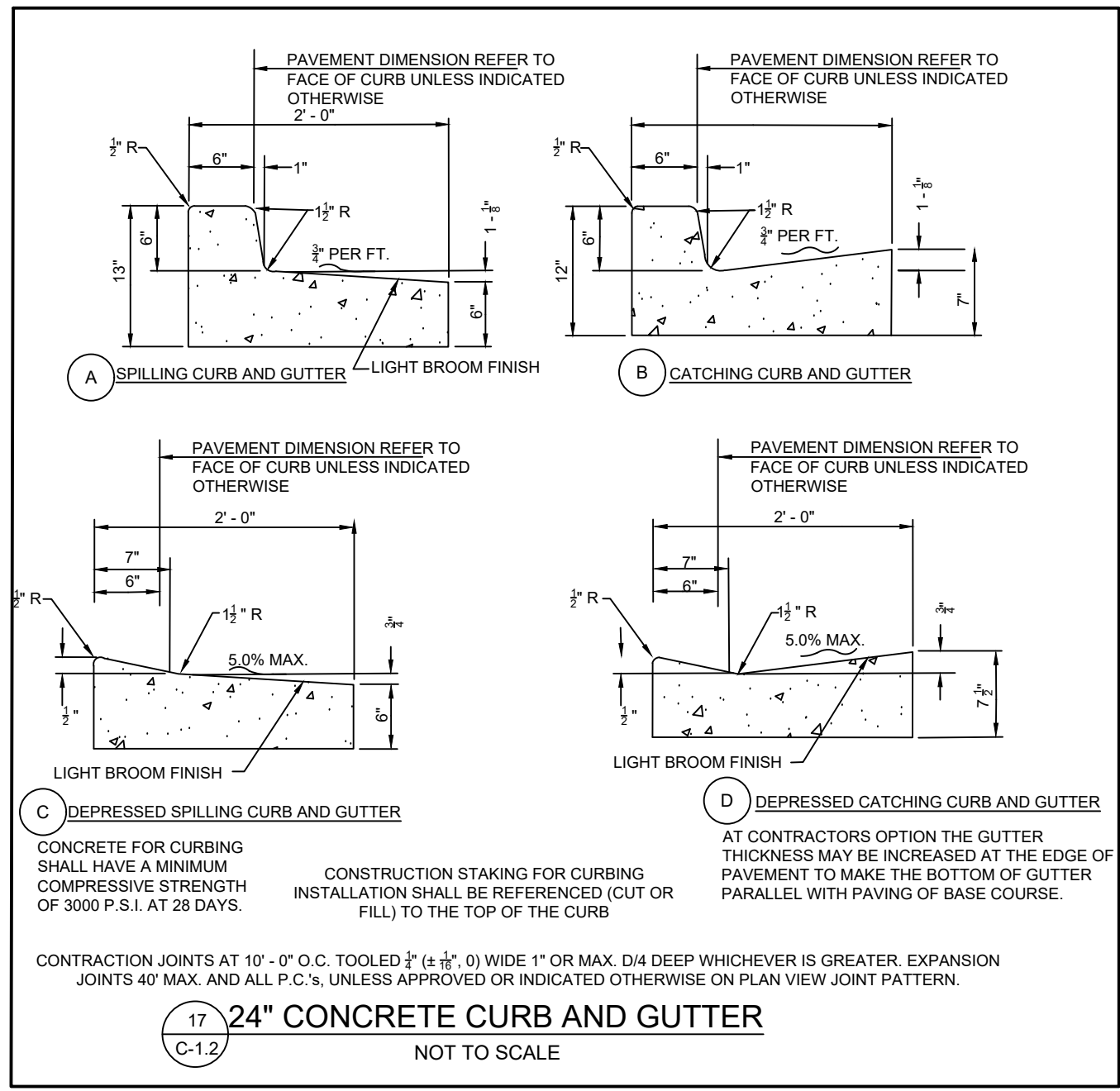
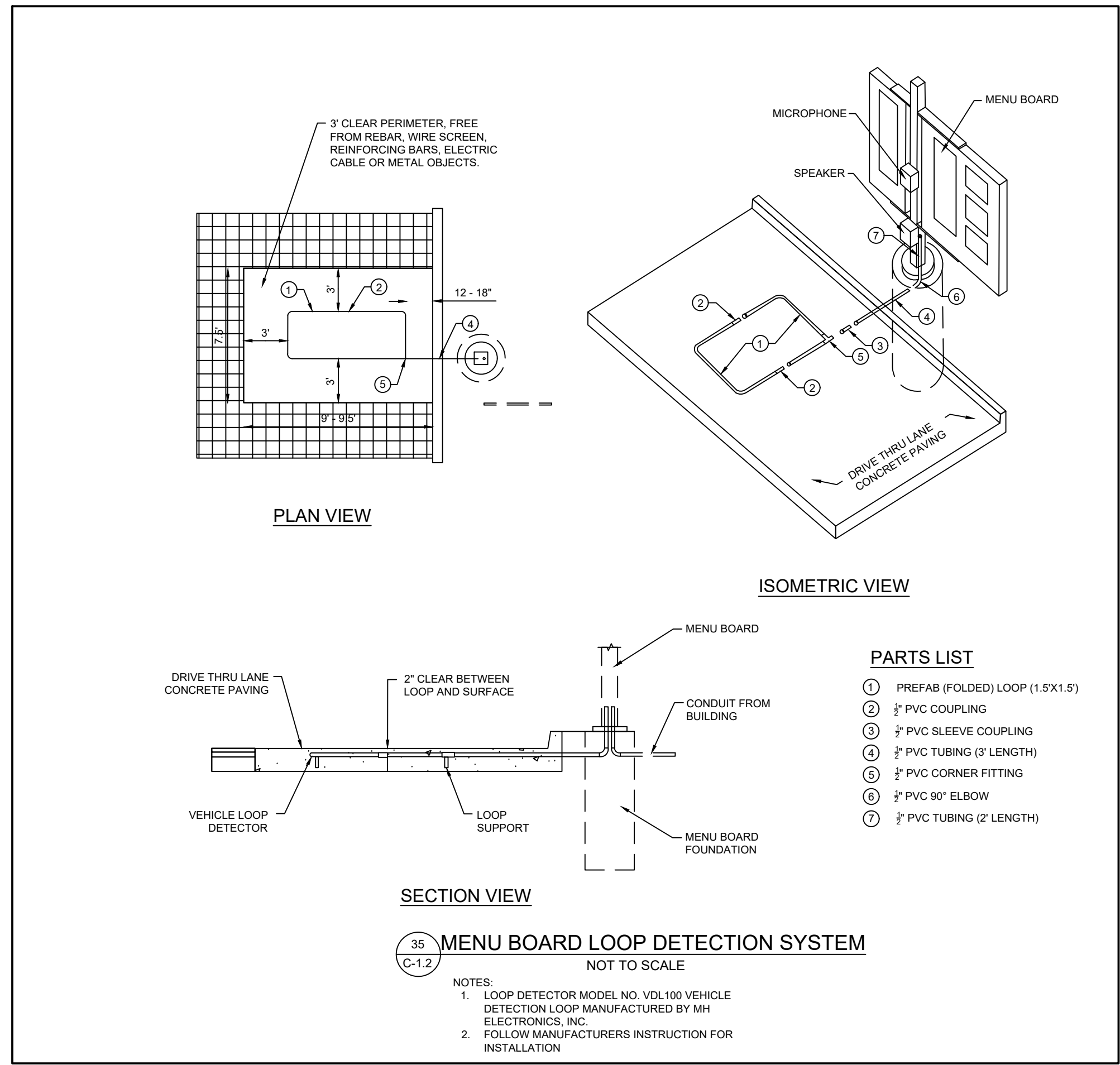
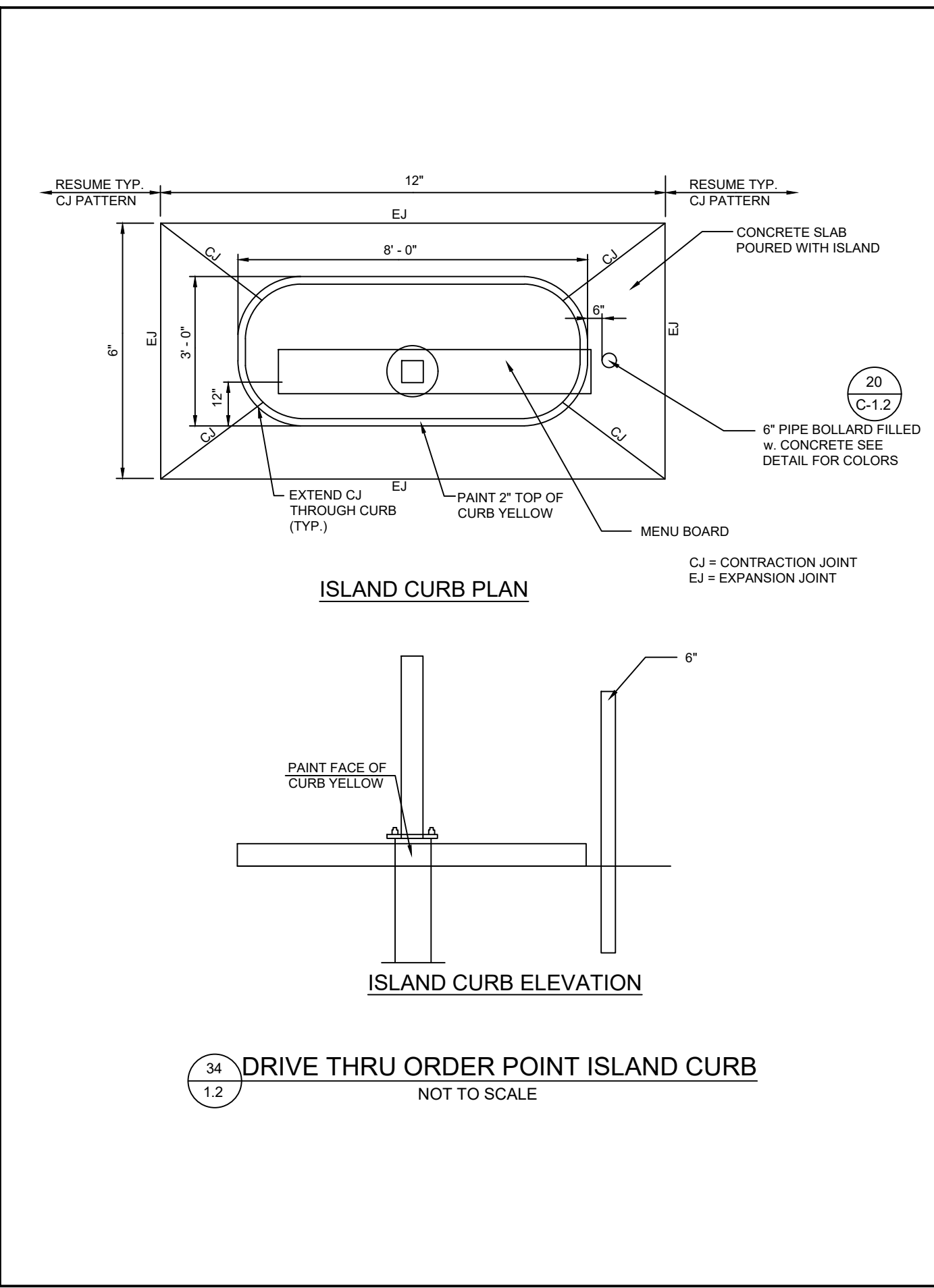
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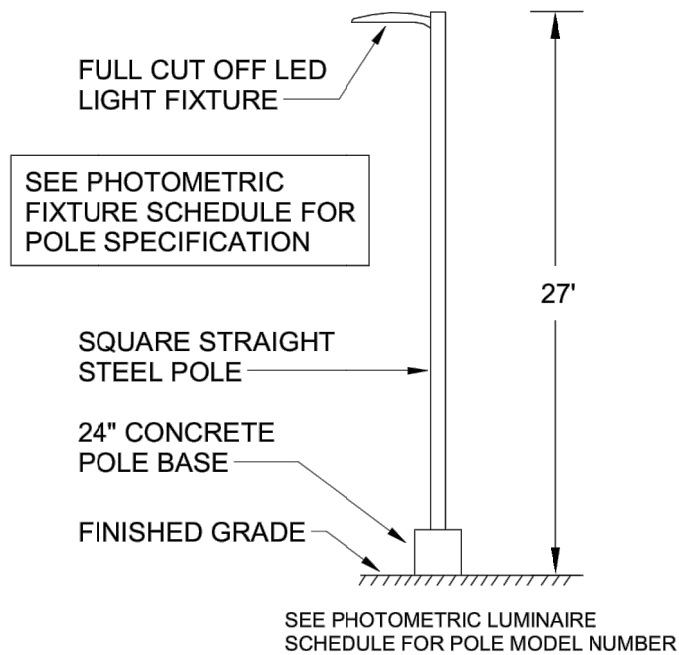
Sheet




C-6.1

ISSUE FOR PERMIT



E1 AREA LIGHTING POLE DETAIL
N.T.S.



Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	OD1	2	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T3-BZ	2	10029	0.95	153
	OD2	4	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T5-BZ	2	10678	0.95	153
	Z2	12	LSI INDUSTRIES, INC	CRUS-SC-SLW-30	1	5584	0.4	38
OD POLES SHALL BE 25" SQUARE STRAIGHT STEEL POLES BY KW INDUSTRIES: SSP25-4.0-7-BRZ-DM10/2180-BC. MOUNT POLES ON A 2' CONCRETE POLE BASE. POLES AND LIGHTING FIXTURES TO HAVE A DARK BRONZE FINISH.								
NOTE: THE LIGHT LOSS FACTOR FOR FIXTURE Z2 WAS ADJUSTED TO LIMIT THE FOOT CANDLE LEVELS BELOW THE CANOPIES. A DIMMER WILL BE INSTALLED AT EACH CANOPY IN ORDER TO MAINTAIN THE REQUIRED LIGHT LEVELS. REFER TO WIRING DIAGRAMS ON SHEETS E-303 AND E-304 FOR ADDITIONAL INFO ON THE DIMMER.								

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	0.9 fc	9.5 fc	0.0 fc	N/A	N/A
CFA Lot Summary	x	1.7 fc	9.5 fc	0.0 fc	N/A	N/A
Parking Lot Summary	□	1.6 fc	2.5 fc	0.8 fc	3.1:1	2.0:1
Meal Delivery Canopy	x	6.0 fc	9.5 fc	2.7 fc	3.5:1	2.2:1
Order Canopy	x	7.0 fc	9.5 fc	4.4 fc	2.2:1	1.6:1



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



Kurzynski
& Associates
2705 Lebanon Pike - Suite One
Nashville, Tennessee 37214
Telephone: (615) 255-5203



CHICK-FIL-A
HARDIN VALLEY FSU

2187 Greenland Way
Knoxville, TN 37932

FSR#05442

BUILDING TYPE / SIZE: P14 LE
RELEASE: 23.02

PERMIT

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 23124.EH.S

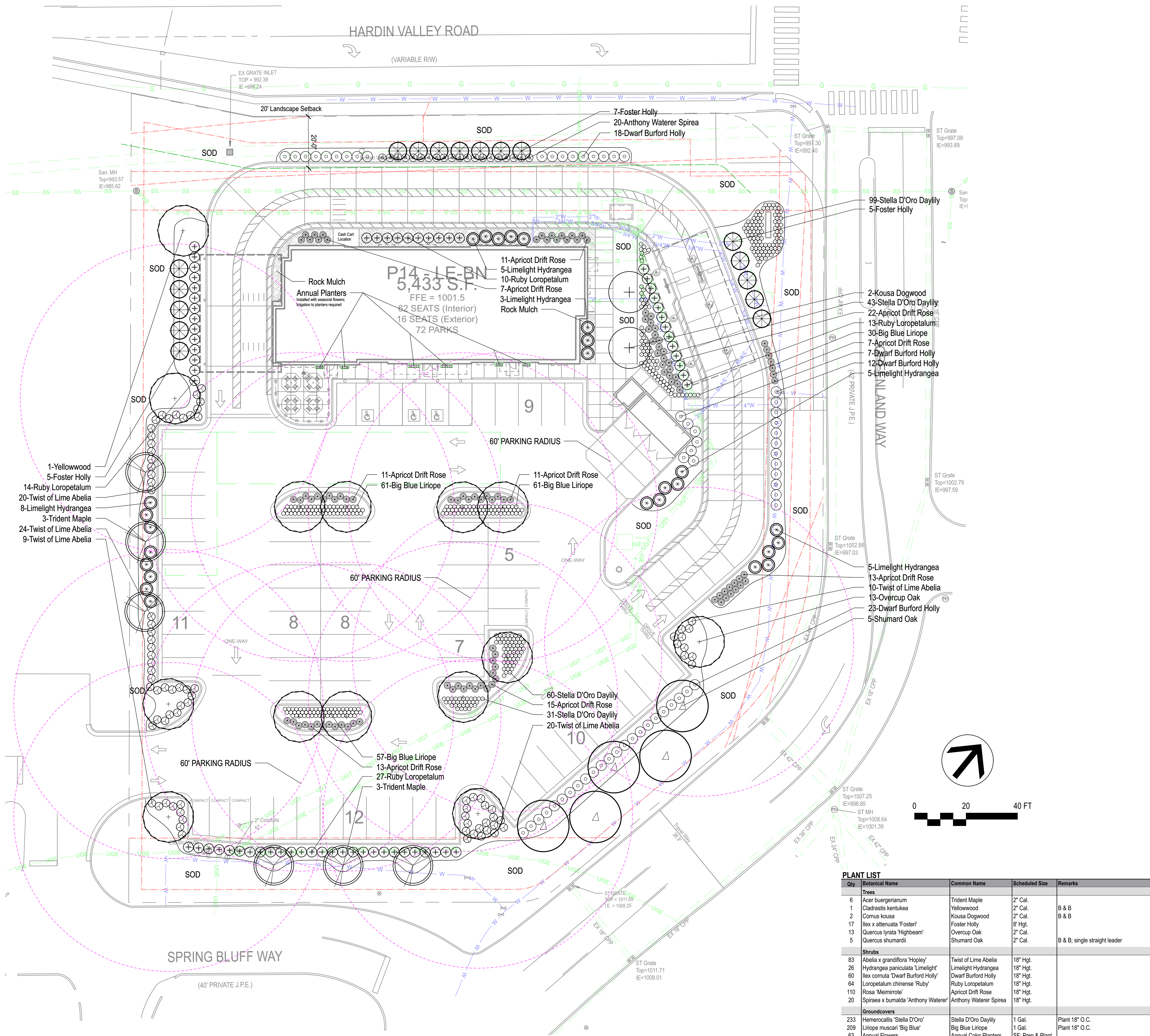
DATE 08/23/2023

DRAWN BY SM

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SHEET SITE PHOTOMETRIC PLAN

SHEET NUMBER



LANDSCAPE REQUIREMENTS

A. GENERAL DIVERSITY

REQUIRED		
1. Evergreen trees min. 8' hgt.; Shade trees min. 2" cal.; Single stem ornamental min. 2.5" cal.; multistem ornamental min. 8' hgt. All shrubs min. 18" hgt.		
2. Species diversity required per Table 12-1: Plant Diversity Requirements		
3. Min. 25% new trees must be evergreen.		
4. Provide a roughly equal combination of large, medium, and small trees (utilize Appendix B). Min. 10 large trees per acre of yard space. 10 x 1.75 acres	=	18 large trees required
5. Min. 20' required landscape front yard for building w/ no parking in front. (Hardin Valley Rd.)		
6. Max. GAC (ground area coverage) 25%. Building Footprint Area/Gross Lot Area	<	Less than 25% required
PROVIDED		
1. We meet requirement - See Plant List table.		
2. 42 Total Trees: Max. 40% 1 species - (no more than qty 17)	=	17 Foster Holly provided
5 tree species provided		
331 Total Shrubs: Max 25% 1 species - (no more than qty 83)	=	83 Abelia provided
6 shrub species provided		
3. 17 evergreen trees/42 total trees	=	40% provided
4. 13 Overcup Oak, 5 Shumard Oak	=	18 large trees provided
5. 20' landscape setback noted on plan along Hardin Valley Rd.		
6. 5,433 SF/76,244 SF	=	7% provided

B. PARKING LOT PERIMETER LANDSCAPE

REQUIRED		
1. Min. 3 shade and/or evergreen trees and 10 shrubs per 100 LF perimeter yard. Min. 50% shrubs must be evergreen.		
Hardin Valley Rd = No Parking frontage		
Greenland Way = 120 LF/100'3	=	4 trees required
Greenland Way = 120 LF/100'10	=	12 shrubs required
Spring Bluff Way = 114 LF/100'10	=	3 trees required
Spring Bluff Way = 114 LF/100'10	=	11 shrubs required
Perimeter A = 96 LF/100'3	=	3 trees required
Perimeter A = 96 LF/100'10	=	10 shrubs required
2. Min. 60% of landscape area outside of shrub & tree masses must be groundcover, perennials, grass.		
3. Parking areas required to be screened from public ROW by landscaped berms and/or low level shrubbery.		
PROVIDED		
1. Hardin Valley Rd = No Parking frontage		
Greenland Way = Shumard Oak	=	5 trees
Greenland Way = Burford Holly (evergreen)	=	23 shrubs
Spring Bluff Way = Trident Maple	=	3 trees
Spring Bluff Way = Loropetalum (evergreen)	=	27 shrubs
Perimeter A = Trident Maple	=	3 trees
Perimeter A = Abelia (evergreen)	=	18 shrubs
2. We exceed the requirement. More than 60% other area is living landscape.		
3. All parking areas screened with appropriate evergreen plant material.		

C. INTERIOR PARKING LOT LANDSCAPE

REQUIRED		
1. Min. 1 medium or large shade tree per parking island (2 shade trees for double row parking lot islands). Per parking rows/islands provided	=	13 trees required
Min. 1 medium or large canopy tree per 10 parking spaces provided.		
72 Parking spaces/10	=	7 trees required
2. Min. 60% of islands planted w/ shrubs, groundcover, perennials, or grass.		
3. No parking space to be located >60' from the trunk of a large canopy tree.		
4. In addition to required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be min. 5% of the surface area devoted to parking.		
26,750 SF parking lot area & 2,780 landscape interior islands	=	Min. 5% required
PROVIDED		
1. Overcup Oaks (meeting greater of requirements)	=	13 trees provided
2. We exceed the requirement. All islands planted with shrubs and/or groundcovers.		
3. We meet the requirement - See 60' parking radius circles shown on plan.		
4. 10% (of surface parking area) devoted to landscape planting areas.	=	10% provided

D. BUILDING LANDSCAPE

REQUIRED		
1. Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery and bedding plants.		
Building Height: 20.5 FT		
Front: 119 LF x 20.5 FT	=	2,439.5 SF
R Side: 44 LF x 20.5 FT	=	902 SF
L Side: 45 LF x 20.5 FT	=	922.5 SF
TOTAL SF	=	4,264 SF
4,264 x 50%	=	2,132 SF bldg LS required
2. Landscape required around base of the freestanding sign.		
PROVIDED		
1. Planting beds adjacent to/abutting building	=	2,311 SF bldg LS provided
2. Landscaping provided (Daylilies and shrubs adjacent) around sign.		

ATLANTIC LANDSCAPE NOTES

- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (mulch type to be: double shredded hardwood mulch).
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

PLANT LIST

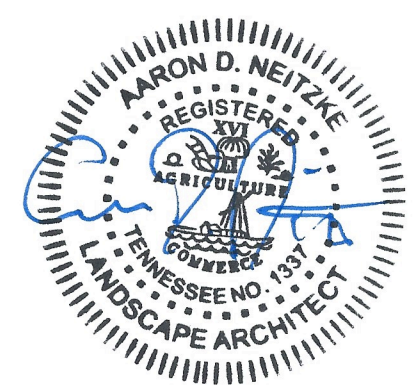
Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
6	Acer buergerianum	Trident Maple	2" Cal.	
1	Ciadrasis kentukea	Yellowwood	2" Cal.	B & B
2	Cornus kousa	Kousa Dogwood	2" Cal.	B & B
17	Ilex x attenuata 'Foster'	Foster Holly	8" Hgt.	
13	Quercus lyrata 'Highbeam'	Overcup Oak	2" Cal.	
5	Quercus shumardii	Shumard Oak	2" Cal.	B & B; single straight leader
Shrubs				
83	Abelia x grandiflora 'Hopley'	Twist of Lime Abelia	18" Hgt.	
26	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	18" Hgt.	
60	Ilex cornuta 'Dwarf Burford Holly'	Dwarf Burford Holly	18" Hgt.	
64	Loropetalum chinense 'Ruby'	Ruby Loropetalum	18" Hgt.	
110	Rosa 'Meimroite'	Apricot Drift Rose	18" Hgt.	
20	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	18" Hgt.	
Groundcovers				
233	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal.	Plant 18" O.C.
209	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	Plant 18" O.C.
63	Annual Flowers	Annual Color Planters	5F; Plant & Prep	Selections to be made by contractor and based on seasonal availability. Irrigation for planters required.
Other				
930	Rock Mulch	Rock Mulch	SF.	See Specifications



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HARDIN VALLEY
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KNOXVILLE, TN 37932

FSU# 05442

REVISION SCHEDULE			
Q.	DATE	BY	DESCRIPTION
	8/25/23	DO	City Comments

MLD PROJECT #	2023173
PRINTED FOR	PERMIT
DATE	7/6/23
DRAWN BY	DO

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SHEET

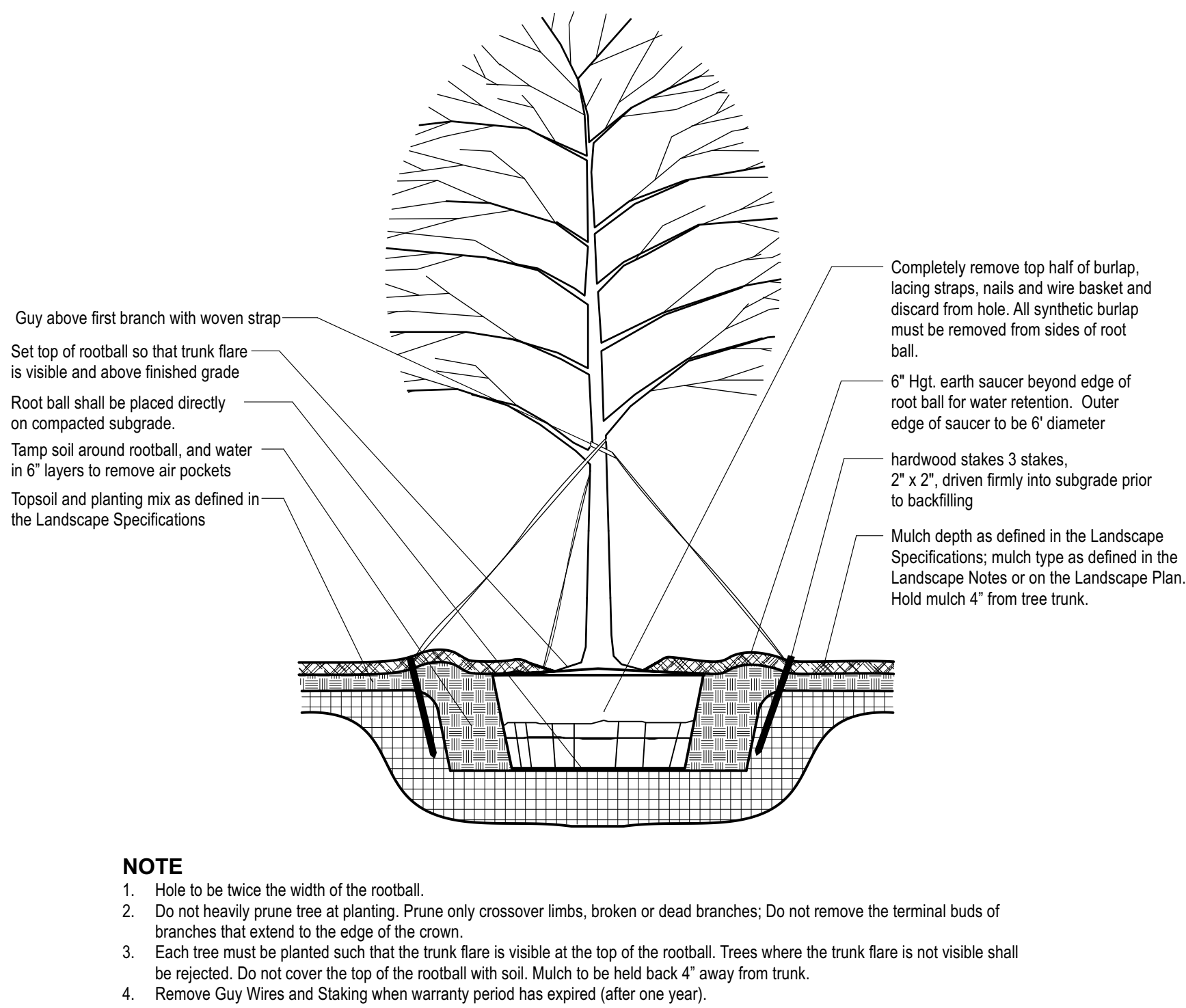
PERMIT
Landscape Plan
TTODA & Development Plan File #s:
9-B-23-TOB / 9-C-23-DP

SHEET NUMBER

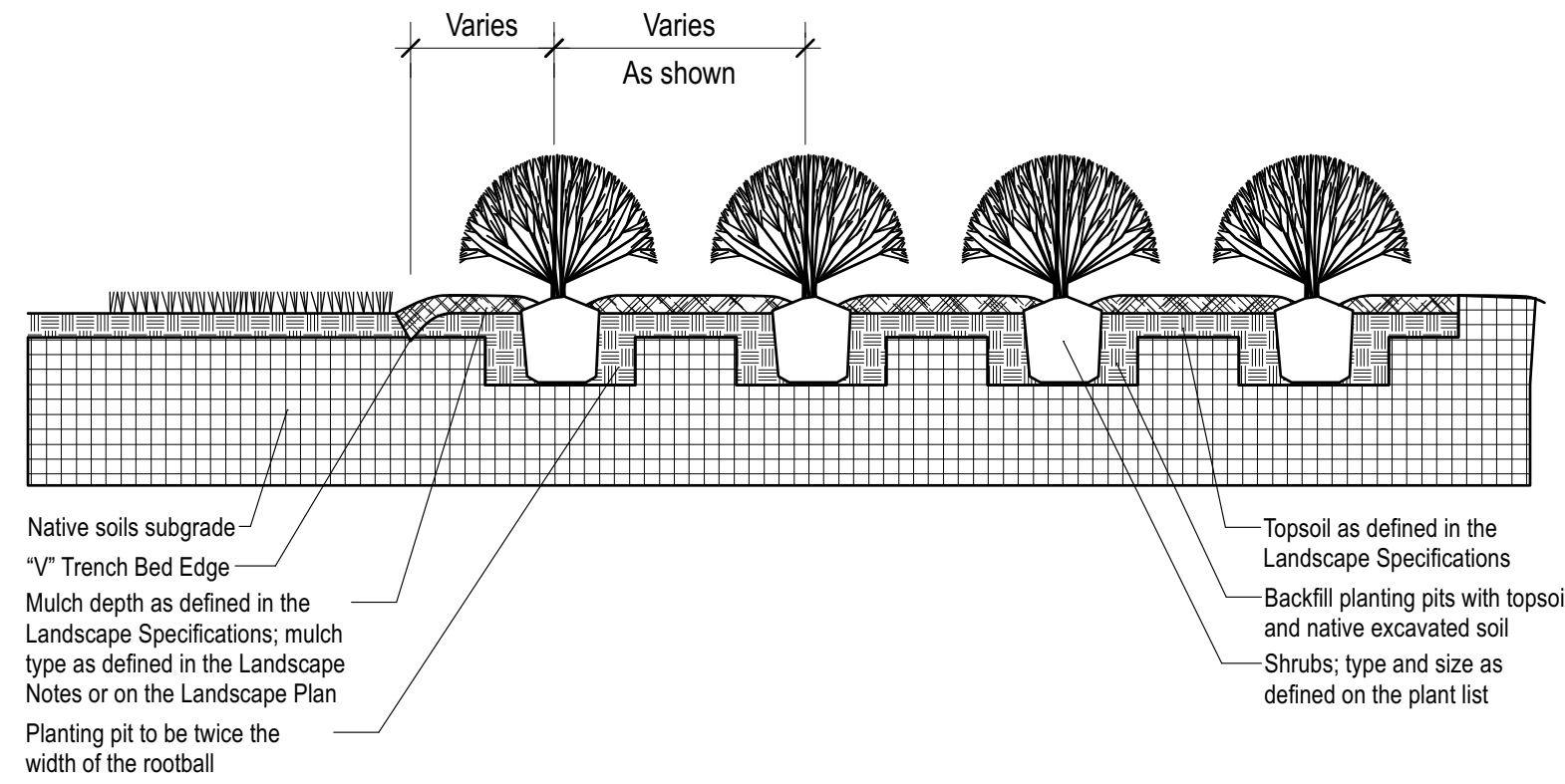
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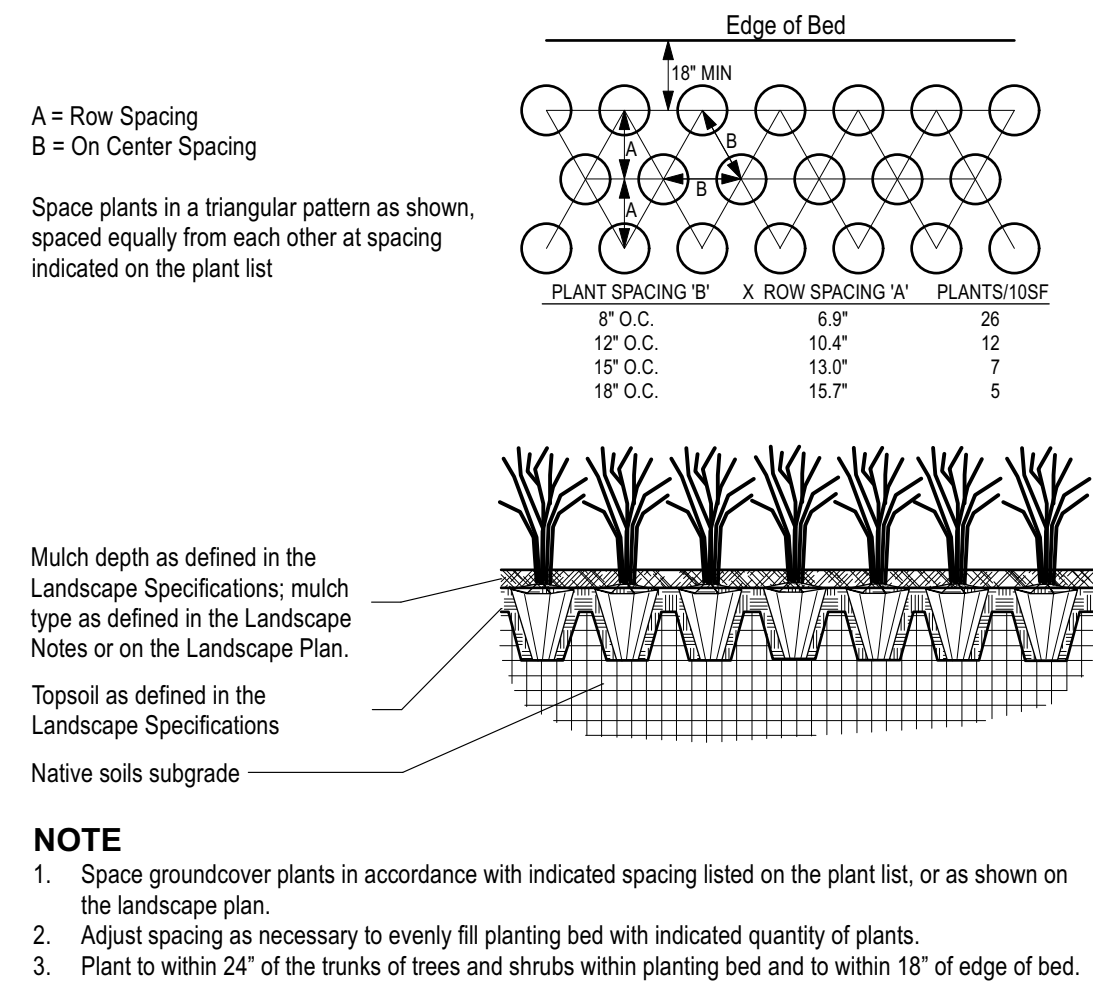
Know what's below.
Call before you dig.



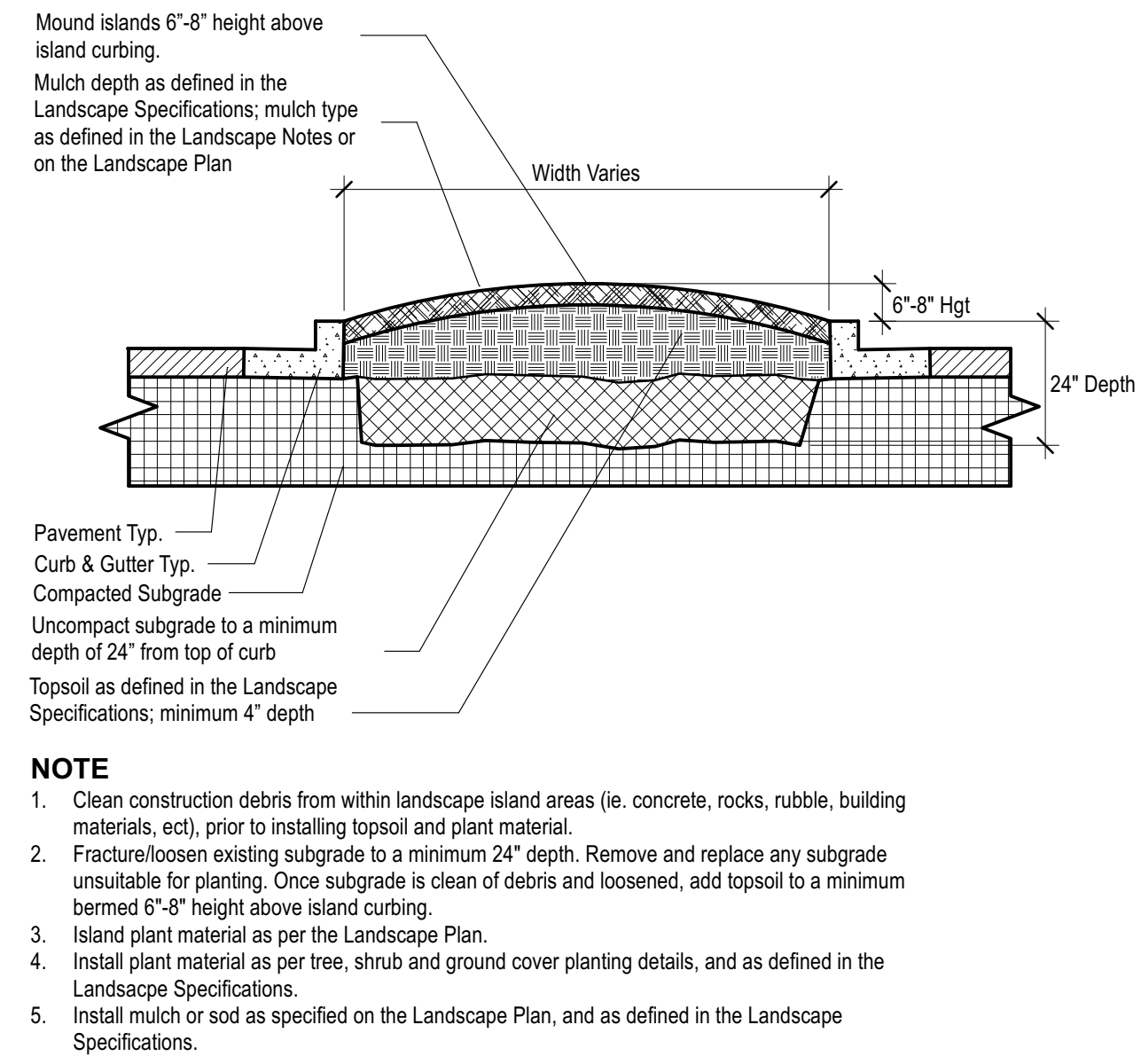
1 **TREE PLANTING & STAKING**
SCALE: NTS



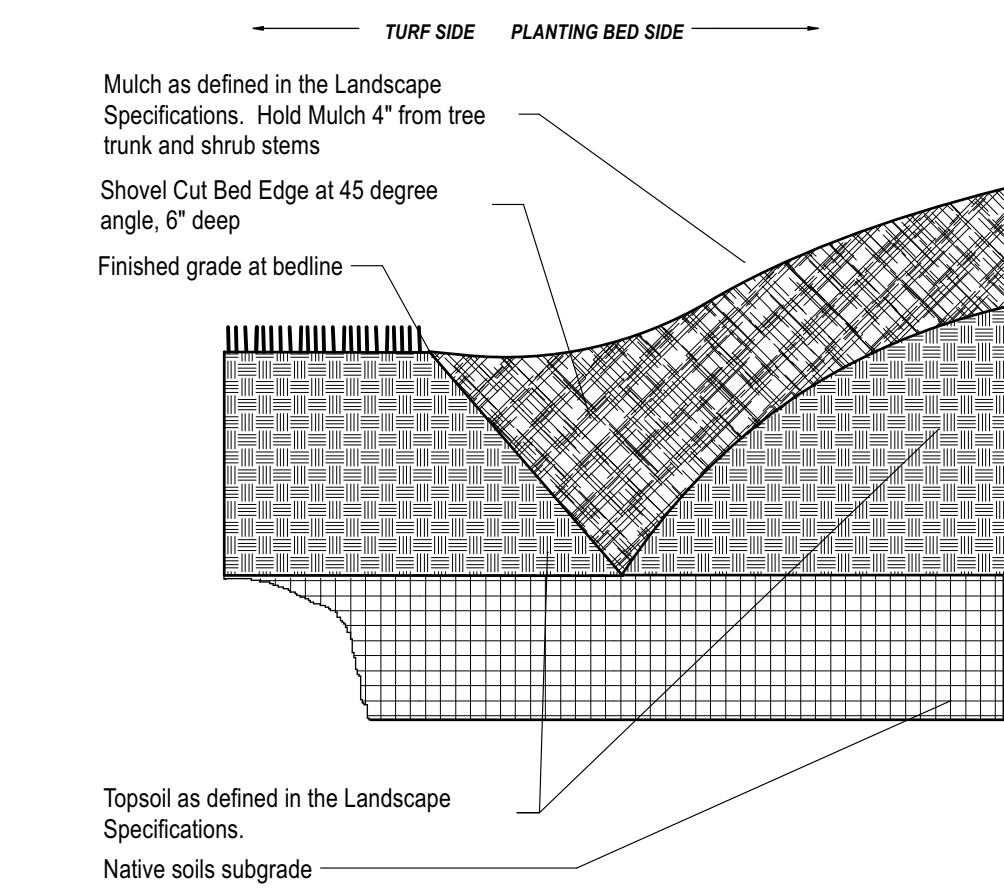
2 **SHRUB BED PLANTING DETAIL**
SCALE: NTS



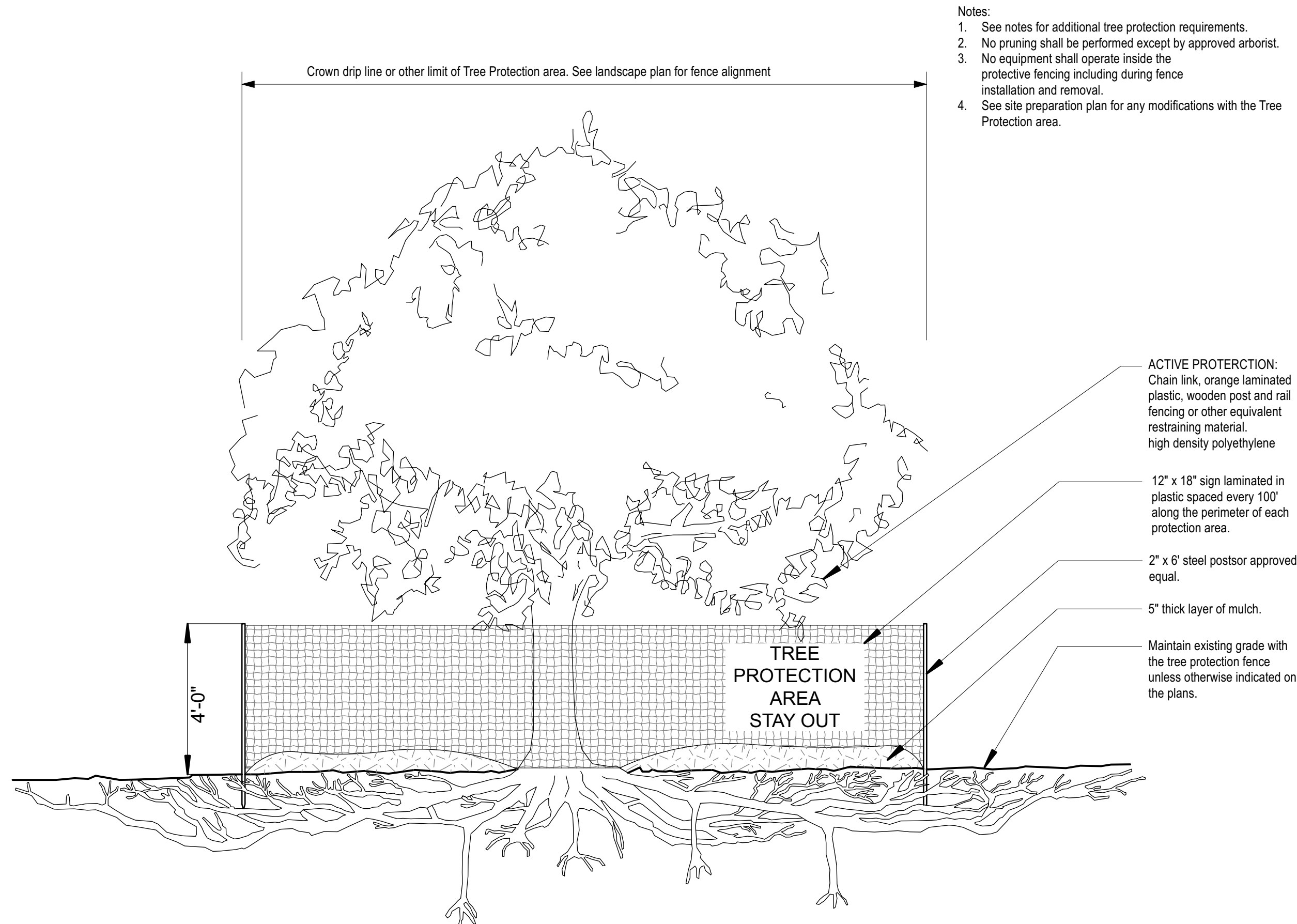
3 **GROUNDCOVER PLANTING DETAIL**
SCALE: NTS



4 **PARKING ISLAND DETAIL**
SCALE: NTS



5 **"V" TRENCH BED EDGING**
SCALE: NTS



6 **TREE PROTECTION FENCING DETAIL**
SCALE: NTS



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REVISION SCHEDULE
NO. DATE BY DESCRIPTION
1 8/25/23 DO City Comments

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SHEET

PERMIT
Landscape Details
TTODA & Development Plan File #s:
9-B-23-TOB / 9-C-23-DP

SHEET NUMBER

L-101

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

Provide trees, shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:

1. Soil preparation.
2. Trees, shrubs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Top Soil, Mulch and Planting accessories.
5. Maintenance.
6. Decorative stone.

Related Work:

1. Irrigation System.

QUALITY ASSURANCE

Plant names indicated; comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor from their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents without additional cost to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

DELIVER, STORAGE AND HANDLING

Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock. Drying out, if plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings die. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

PROJECT CONDITIONS

Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations; at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

WARRANTY

Warrant plant material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter conditions not typical of planting area, and/or acts of vandalism or negligence on a part of the Owner.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation.

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

ACCEPTANCE

Inspection of planted areas will be made by the Owner's representative.

1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto; also as depicted on the landscape and irrigation construction set.

PART 2 - PRODUCTS

MATERIALS

Plants: Provide typical of their species or variety; with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on storage will be rejected if they show signs of growth during the storage period.

1. Balled and plants wrapped with burlap, to have firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Cracked or mushroomed balls, or signs of circling roots are not acceptable.
2. Container- grown stock: Grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
 - a. No plants shall be loose in the container.
 - b. Container stock shall not be pot bound.
3. Plants planted in rows shall be matched in form.
4. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.
 - a. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.
5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.
6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
7. Evergreen trees shall be banded to the ground or as specified in plant list.
8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.
 - a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.
 - b. Single stemmed or thin plants will not be accepted.
 - c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushed to the ground.
 - d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

ACCESSORIES

Topsoil: Shall be Fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (ie. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil.

1. **Sod Areas:** Spread a minimum 4" layer of top soil and rake smooth.
2. **Planting bed areas:** Spread a minimum 4" layer of top soil and rake smooth.

3. **Landscape Islands/Medians:** Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum berm 6"-8" height above island curbing.
4. **Annual/Perennial bed areas:** Add a minimum of 4" organic matter and till to a minimum 12" depth.

Mulch: Type selected dependent on region and availability; see landscape plans for type of much to be used. Hold mulch 4" from tree trunks and shrub stems.

1. Hardwood: (color) dark brown, 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and ½" in width, free of wood chips and sawdust. Install minimum depth of 3".
2. Pine Straw: Pine straw to be fresh harvest, free of debris, bright in color. Bales to be wired and tightly bound. Needles to be dry. Install minimum depth of 3".
3. River Rock: (color) light gray to buff to dark brown, washed river rock, 1" – 3" in size. Install in shrub beds to an even depth of 3". Weed control barrier to be installed under all rock mulch areas. Use caution during installation not to damage plant material.
4. Mini Nuggets: Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and leaves of the annuals and akefully spread the mulch to avoid injuring the plants. Gently brush the mulch off the plants.

Guying/Staking:

1. Arbotrie: Green (or white) staking and guying material to be flat, woven, polypropylene material, ¾" wide 900 lb. break strength. Arbotrie shall be fastened to stakes in a manner which permits tree movement and supports the tree.
2. Remove Guying/Staking after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Draft paper weighing not less than 30 lbs. per ream, cemented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once trees develop corky bark.

PART 3 – EXECUTION

INSPECTION

Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve top soil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

PREPARATION

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the landscape plan.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings.

INSTALLATION

Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material 2" – 3" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfilling. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, mulde planting soil mixture around bases of balls and fill all voids.

1. Remove all burlap, ropes, and wires from the top 1/3 of the root ball

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

Mulching:

1. Mulch tree and shrub planting pits and shrub beds with required mulching material (see landscape plan for mulch type); depth of mulch as noted above. **Hold mulch back 4" away from tree trunks and shrub stems.** Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

Decorative Stone: (where indicated on landscape plan)

1. Install weed control barrier over sub-grade prior to installing stone. Lap 6" on all sides.
2. Place stone without damaging weed barrier.
3. Arrange stones for best appearance and to cover all weed barrier fabric.

Wrapping, guying, staking:

1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
2. Wrapping:
 - a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.
 - b. Overlap ½ the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
 - c. Secure tree wrap in place with twine wound spirally downward in the opposite direction, tied around the tree in at least 3 places in addition to the top and bottom.
 - d. Wrap the trees in the fall and leave the wrap in place throughout the winter and early spring.
 - e. Tree wraps are temporary and no longer needed once the trees develop corky bark.
3. Staking/Guying:
 - a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
 - b. Stake deciduous trees 2" caliper and less. Stake evergreen trees under 7"-0" tall.
 1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil.
 2. Ties are attached to the tree, usually at the lowest branch.
 - c. Guy deciduous trees over 2" caliper. Guy evergreen trees 7"-0" tall and over.
 1. Guy wires to be attached to three stakes driven into undisturbed soil, with one stake placed in the direction of the prevailing wind.
 2. Ties are attached to the tree as high as practical.
 3. The axis of the stake should be at 90 degree angle to the axis on the pull of the guy wire.
4. **Remove all guying and staking after one year from planting.**

Pruning:

1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

WORKMANSHIP

During landscape/irrigation installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site; unless provisions have been granted by the owner to use on-site trash receptacles. Sweep parking and walks clean of dirt and debris. Remove all plant tags and other debris from lawns and planting areas.

Any damage to the landscape, the structure, or the irrigation system caused by the landscape contractor shall be repaired by the landscape contractor without charge to the owner.

MAINTENANCE

Contractor shall provide maintenance until work has been accepted by the Owner's Representative.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants and lawns free of insects and disease.

1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
2. repair guy wires and stakes as required. Remove all stakes and guy wires after 1 year.
3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
4. Water trees, plants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.

LANDSCAPE MAINTENANCE SPECIFICATIONS

The Contractor shall provide as a separate bid, maintenance for a period of **1 year** after final acceptance of the project landscaping. The Contractor must be able to provide continued maintenance if requested by the Owner or provide the name of a reputable landscape contractor who can provide maintenance.

STANDARDS

All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.

All work shall be performed in a manner that maintains the original intent of the landscape design.

All chemical applications shall be performed in accordance with current county, state and federal laws, using EPA registered materials and methods of application. These applications shall be performed under the supervision of a Licensed Certified applicator.

APPROVALS

Any work performed in addition to that which is outlined in the contract shall only be done upon written approval by the Owner's Representative (General Manager of the restaurant).

All seasonal color selections shall be approved by the General Manager prior to ordering and installation.

SOIL TESTING

The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results

	Landscape Trees and Shrubs	Turf
pH Range	5.0-7.0	6.0-7.0
Organic Matter	>1.5%	>2.5%
Magnesium (Mg)	100-lbs./acre	100-lbs./acre
Phosphorus (P2O5)	150-lbs./acre	150-lbs./acre
Potassium (K2O)	120-lbs./acre	120-lbs./acre
Solubility	Not to exceed 900ppm/1.9 mmhos/cm	Not to exceed 750ppm/0.75 mmhos/cm
Conductivity	In soil; not to exceed 1400 ppm/2.5 mmhos/cm in high organic mix	In soil; not to exceed 2000 ppm/2.0 mmhos/cm in high organic mix

For unusual soil conditions, the following optional tests are recommended with levels not to exceed:

Boron	3 pounds per acre
Manganese	50 pounds per acre
Potassium (K2O)	450 pounds per acre
Sodium	20 pounds per acre

WORKMANSHIP

During landscape maintenance operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of maintenance operations, all debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles.

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without charge to the owner.

TURF

GENERAL CLEAN UP

Prior to mowing, all trash, sticks, and other unwanted debris shall be removed from lawns, plant beds, and paved areas.

MOWING

Warm season grasses (i.e. Bermuda grass) shall be maintained at a height of 1" to 2" during the growing season.

Cool season grasses, including blue grass, tall fescue, perennial ryegrass, etc., shall be maintained at a height of 2" to 3" in spring and fall. From June through September, mowing height shall be maintained at no less than 3".

The mowing operation includes trimming around all obstacles, raking excessive grass clippings and removing debris from walks, curbs, and parking areas. Caution: Weed eaters should NOT be used around trees because of potential damage to the bark.

EDGING

Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing. Debris from the edging operations shall be removed and the areas swept clean. Caution shall be used to avoid flying debris.

LIMING & FERTILIZING

A soil test shall be taken to determine whether an application of limestone in late fall is necessary. If limestone is required, the landscape contractor shall specify the rate, obtain approval from the owner and apply it at an additional cost. A unit price for liming of turf shall accompany the bid based on a rate of 50 pounds per 1000 square feet.

Fertilizer shall be applied in areas based on the existing turf species.

LAWN WEED CONTROL: HERBICIDES

Selection and proper use of herbicides shall be the landscape contractor's responsibility. All chemical applications shall be performed under the supervision of a Licensed Certified Applicator. **Read the label prior to applying any chemical.**

INSECT & DISEASE CONTROL FOR TURF

The contractor shall be responsible for monitoring the site conditions on each visit to determine if any insect pest or disease problems exist. The contractor shall identify the insect pest or disease, as well as the host plant, and then consult the most current edition of the Cooperative Extension Service's "Commercial Insecticide Recommendation for Turf" for control. The licensed applicator shall be familiar with the label provided for the selected product prior to application.

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

PRUNING

All ornamental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shapes. **Do not shear trees or shrubs.** If previous maintenance practice has been to shear and ball, then a natural shape will be restored gradually.

Pruning Guidelines:

1. Prune those that flower before the end of June immediately after flowering. Flower buds develop during the previous growing season. Fall, winter or spring pruning would reduce the spring flowering display.
2. Prune those that flower in summer or autumn in winter or spring before new growth begins, since these plants develop flowers on new growth.
3. Delay pruning plants grown for ornamental fruits, such as cotoneasters, pyracanthas and viburnums.
4. Hollies and other evergreens may be pruned during winter in order to use their branches for seasonal decoration. However, severe pruning of evergreens should be done in early spring only.
5. Broadleaf evergreen shrubs shall be hand-pruned to maintain their natural appearance after the new growth hardens off.
6. Hedges or shrubs that require shearing to maintain a formal appearance shall be pruned as required. Dead wood shall be removed from sheared plants before the first pruning of the season.
7. Conifers shall be pruned, if required, according to their genus.
 - A. Yews, junipers, hemlocks, arborvitae, and false-cypress may be pruned after new growth has hardened off in late summer. If severe pruning is necessary, it must be done in early spring.
 - B. Firs and spruces may be lightly pruned in late summer, fall, or winter after completing growth. Leave side buds. Never cut central leader.
 - C. Pines may be lightly pruned in early June by reducing candles.
8. Groundcover shall be edged and pruned as needed to contain it within its borders.

9. Thinning: Remove branches and water sprouts by cutting them back to their point of origin on parent stems. This method results in a more open plant, without stimulating excessive growth. Thinning is used on crepe myrtle, ilacs, viburnums, smoke bush,etc.
10. Renewal pruning: Remove oldest branches of shrub at ground, leaving the younger, more vigorous branches. Also remove weak stems. On overgrown plants, this method may be best done over a three-year period. Renewal pruning may be used on abelia, forsythia, deutzia, spiraea, etc.

Plants overhanging passageways and parking areas and damaged plants shall be pruned as needed.

Shade trees that cannot be adequately pruned from the ground shall not be included in the Maintenance Contract. A certified arborist under a separate contract shall perform this type of work.

SPRING CLEANUP

Plant beds shall receive a general cleanup before fertilizing and mulching. Cleanup includes removing debris and trash from beds and cutting back herbaceous perennials left standing through winter, e.g. ornamental grasses, Sedum Autumn Joy.

FERTILIZING

For trees, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth stage of the tree. Mature specimens benefit from fertilization every 3 to 4 years; younger trees shall be fertilized more often during rapid growth stages.

The current recommendation is based on the rate of 1000 square feet of area under the tree to be fertilized. For deciduous trees, 2 to 6 pounds of Nitrogen per 1000 square feet; for narrow-leaf evergreens, 1 to 4 pounds of Nitrogen per 1000 square feet; for broadleaf evergreens, 1 to 3 pounds of Nitrogen per 1000 square feet.

Shrubs and groundcover shall be top-dressed with compost 1" deep, or fertilized once in March with 10-6-4 analysis fertilizer at the rate of 3 pounds per 100 square feet of bed area. Eriaceous material shall be fertilized with an ericaceous fertilizer at the manufacturer's recommendation rate. If plants are growing poorly, a soil sample should be taken.

MULCHING

Annually, all tree and shrub beds will be prepared and mulched, to a minimum depth of 3" with quality mulch to match existing. Bed preparation shall include removing all weeds, cleaning up said bed, edging and cultivating decayed mulch into the soil. Debris from edging is to be removed from beds where applicable. If deemed necessary, a pre-emergent herbicide may be applied to the soil to inhibit the growth of future weeds.

Organically maintained gardens shall not receive any pre-emergent herbicides. Mulch in excess of 4" will be removed from the bed areas. SPECIAL CARE shall be taken in the mulching operation not to over-mulch or cover the base of trees and shrubs. This can be detrimental to the health of the plants.

WEEDING

All beds shall be weeded on a continuous basis throughout the growing season to maintain a neat appearance at all times.

Pre-emergent (soil-applied) and post-emergent (foliar-applied) herbicides shall be used where and when applicable and in accordance with the product's label.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUNDCOVER

The maintenance contractor shall be responsible for monitoring the landscape site on a regular basis. The monitoring frequency shall be monthly except for growing season, which will be every other week. Trained personnel shall monitor for plant damaging insect activity, plant pathogenic diseases and potential cultural problems in the landscape. The pest or cultural problem will be identified under the supervision of the contractor.

For plant damaging insects and mites identified in the landscape, the contractor shall consult and follow the recommendations of the most current edition of the state Cooperative Service publication on insect control on landscape plant material.

Plant pathogenic disease problems identified by the contractor that can be resolved by pruning or physical removal of damaged plant parts will be performed as part of the contract. For an additional charge, plant pathogenic diseases that can be resolved through properly timed applications of fungicides shall be made when the owner authorizes it.

If the contractor notes an especially insect-or disease-prone plant species in the landscape, he/she will suggest replacement with a more pest-resistant cultivar or species that is consistent with the intent of the landscape design.

NOTE: For identification of plant-damaging insects and mites, a reference textbook that can be used is *Insects that feed on Trees and Shrubs* by Johnson and Lyon, Comstock Publishing Associates. For plant pathogenic diseases, two references are suggested: *Scouting and Controlling Woody Ornamental Diseases in Landscapes and Nurseries*, authorized by Gary Moorman, published by Penn State College of Agricultural Sciences, and *Diseases of Trees and Shrubs* by Sinclair and Lyon, published by Comstock Publishing Press.

TRASH REMOVAL

The maintenance contractor shall remove trash from all shrub and groundcover beds with each visit.

LEAF REMOVAL

All fallen leaves shall be removed from the site in November and once in December. If requested by the owner, the maintenance contractor, at an additional cost to the owner shall perform supplemental leaf removals.

WINTER CLEAN-UP

The project shall receive a general clean-up once during each of the winter months, i.e., January, February, and March.

Clean-up includes:

- Cleaning curbs and parking areas
- Removing all trash and unwanted debris
- Turning mulch where necessary
- Inspection of grounds

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

The installation of perennials, annuals, and bulbs, unless specified herein, shall be reviewed with the owner, and, if accepted, installed and billed to the owner.

SEASONAL COLOR MAINTENANCE

Perennialization of Bulbs:

1. After flowering, cut off spent flower heads.
2. Allow leaves of daffodils and hyacinths to remain for six weeks after flowers have faded. Cut off at base.
3. Allow leaves of other bulbs to yellow naturally and then cut off at base.
4. Apply fertilizer after flowering in spring, possibly again in fall. Apply 10-10-10 at the rate of 2 pounds per 1000 square feet, or top-dress with compost 1" deep. Fall fertilization with a bulb fertilizer or mulching with 1" of compost is optional.

Flower Rotation:

1. Bulbs: Remove the entire plant and bulb after flowers have faded or at the direction of the owner, and install new plants if included in contract.
2. Summer Annuals or Fall Plants:
 - a. Dead heading: Pinch and remove dead flowers on annuals as necessary.
 - b. Fertilizing Summer Annuals: Fertilize using one or two methods: Apply a slow-release fertilizer in May following manufacturer's recommendations. A booster such as 10-10-10 may be necessary in late summer. Or, apply liquid fertilizations of 20-20-20 water-soluble fertilizers, not to exceed 2 pounds of 20-20-20 per 100 gallons of water, monthly, or mulch with compost 1" deep.
 - c. Removal: If fall plants are to be installed, summer annuals shall be left in the ground until the first killing frost and then removed, unless otherwise directed by the owner.

Perennials:

1. After initial installation, if a time-released fertilizer has been incorporated during plant installation, no more fertilizer need be applied the first growing season.
2. The following year:
 - a. Fertil