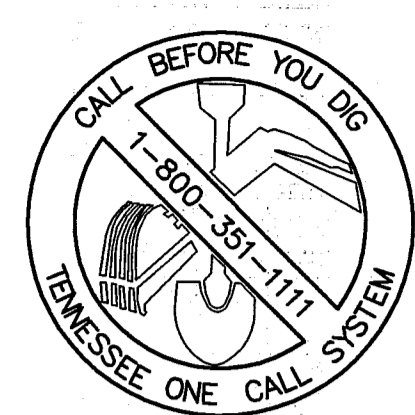


ZONING:  
SC (SHOPPING CENTER)



NOTES: ON PLAN THAT OUR DESIGN IS BASED ON THE DEVELOPER ENGINEERING. DESIGN PLANS FOR GRADING DRAINAGE & UTILITIES

EXISTING	
	EXISTING BUILDING
	LAND LOT LINE (LL)
	PROPERTY LINE
	UTILITY POLE (UP), OVERHEAD LINES & GUY
	TREE LINE
	SANITARY SEWER MANHOLE (SSMH)
	SANITARY CLEAN-OUT (SCO)
	TELEPHONE MANHOLE OR PEDESTAL
	STORM DRAIN PIPE WITH HEADWALL
	DOUBLE-WING CATCH BASIN
	SINGLE-WING CATCH BASIN
	JUNCTION BOX (JB)
	DROP OR CURB INLET (DI OR CI)
	FENCE
	DRAINAGE DITCH OR SWALE
	EXISTING 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING GRADE SPOT ELEVATION
	RECORDED DATA
	PARKING SPACE COUNT
	LIGHT POLE (LP)
	ELECTRICAL TRANSFORMER BOX
	FIRE HYDRANT
	WATER VALVE
	GAS VALVE
	WATER METER
	GAS METER
	WELL
	MONITORING WELL
	POST INDICATOR VALVE
	MAILBOX
	STREET SIGN
	UNKNOWN UTILITY STUB OUT
	CONCRETE
	FIRE DEPTH CONNECTION
	HANDICAPPED
	IRRIGATION CONTROL VALVE
	RIGHT-OF-WAY
	STORM DRAIN
	REBAR PIN FOUND
	OPEN TOP PIPE FOUND
	CRIMP TOP PIPE FOUND
	CONCRETE MONUMENT FOUND
	ROD FOUND
	BRASS DISK FOUND
	AXLE FOUND
	REBAR PIN SET

PROPOSED	
	BOUNDARY LINE
	CONCRETE CURB AND GUTTER
	BUILDING CONTROL POINT
	CONSTRUCTION FENCE (SEE CIVIL DETAILS)

- GENERAL SITE NOTES**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB RETURN RADI SHALL BE 2', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER "TYPE A" CURB DETAILS (1A) ON SHEET "CIVIL DETAILS", (N/A) PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PAVING LOT AREA AND ALL APPROACH DRIVES. SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
  - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
  - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL. APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

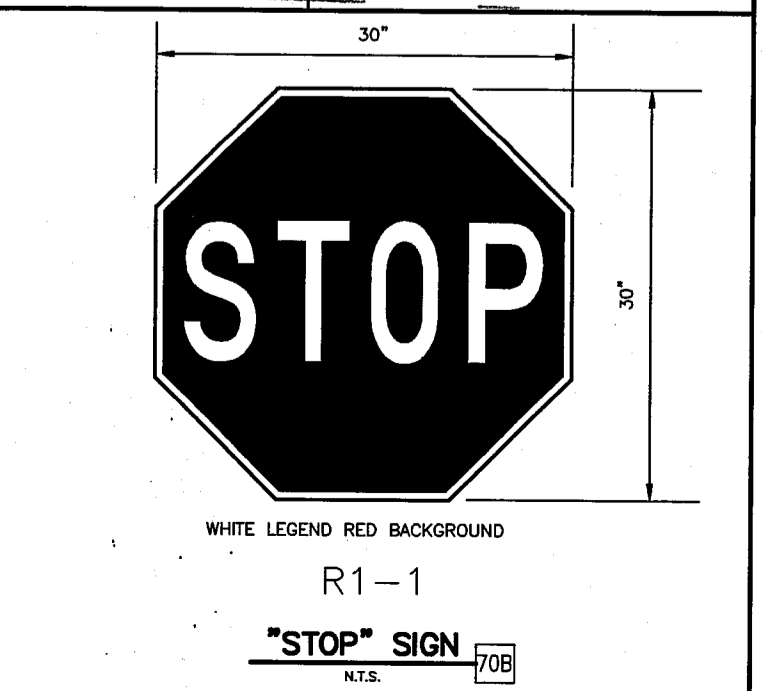
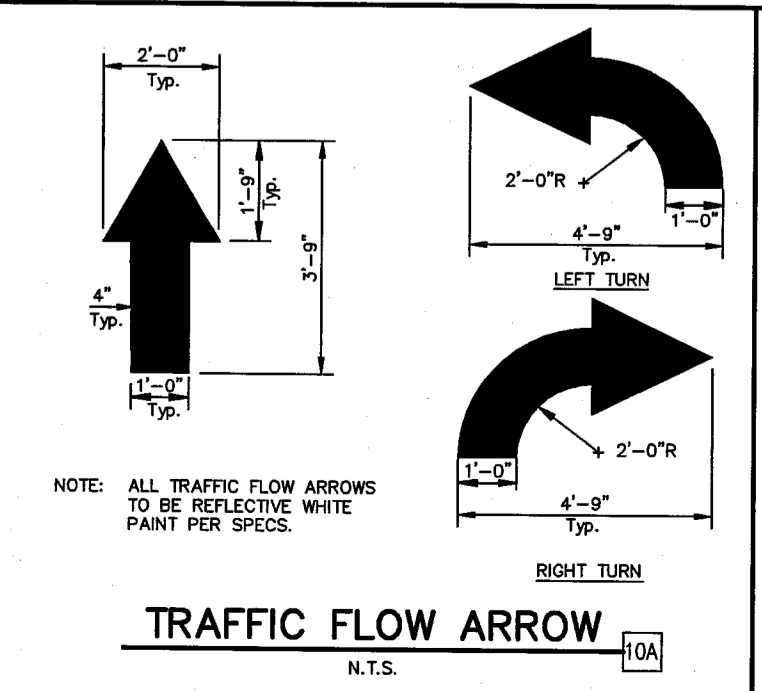
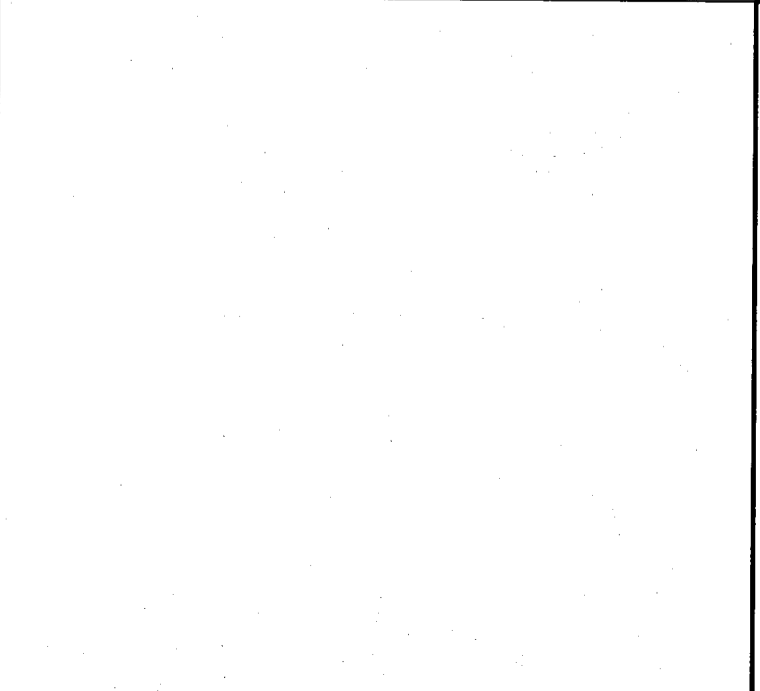
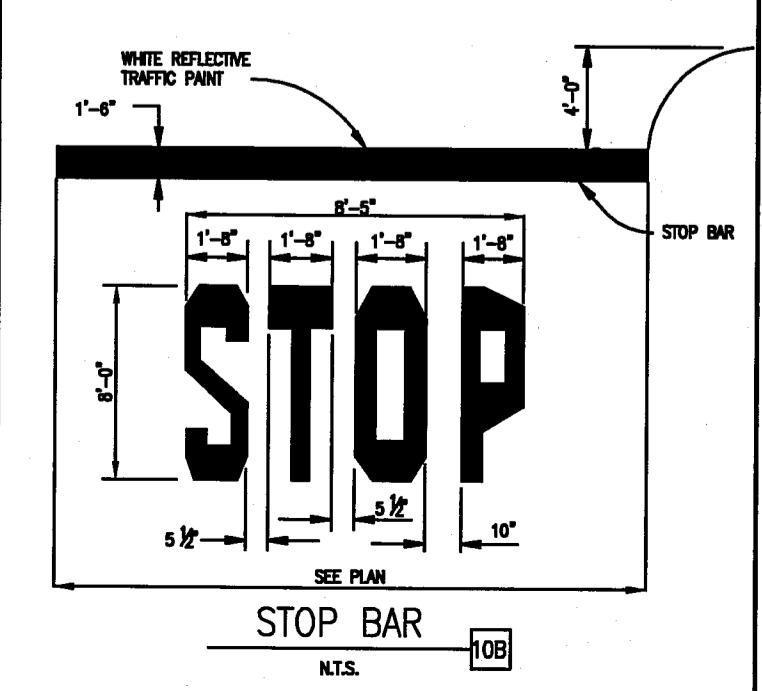
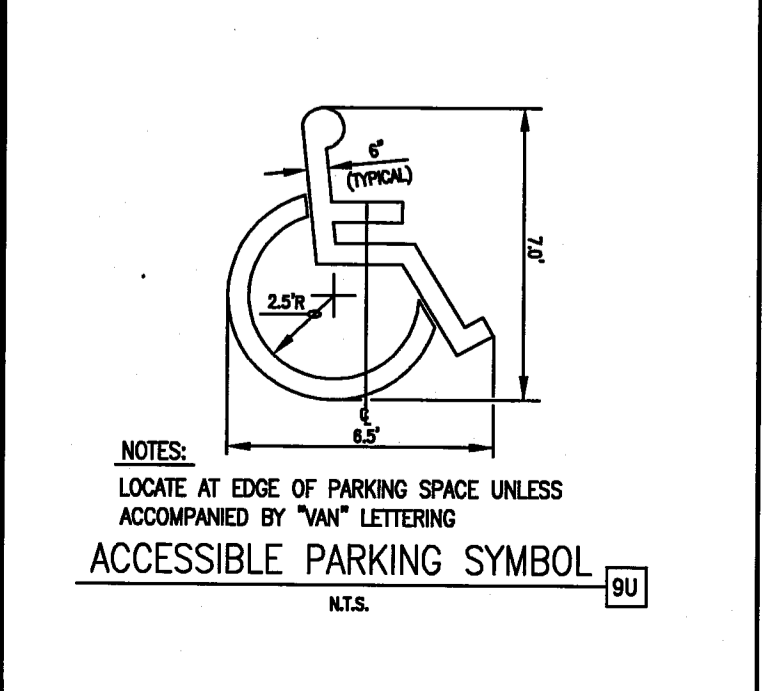
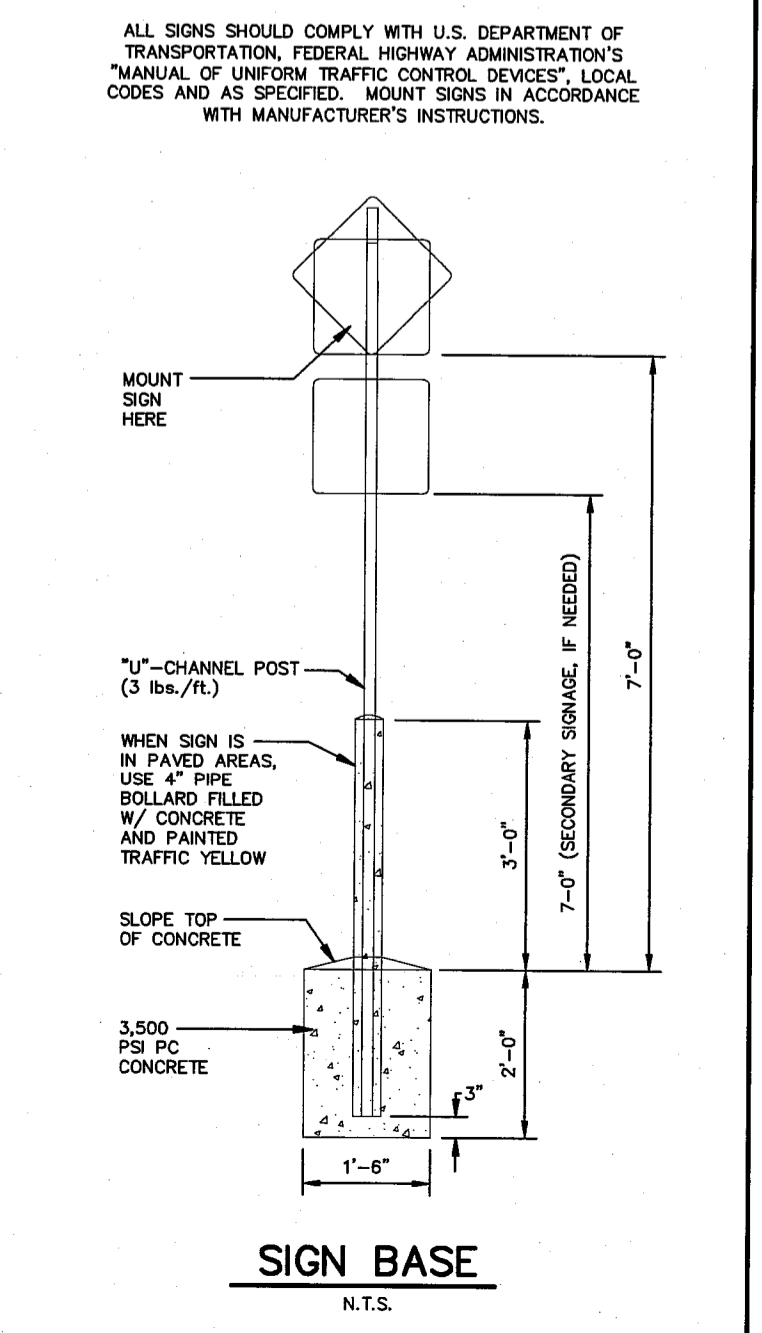
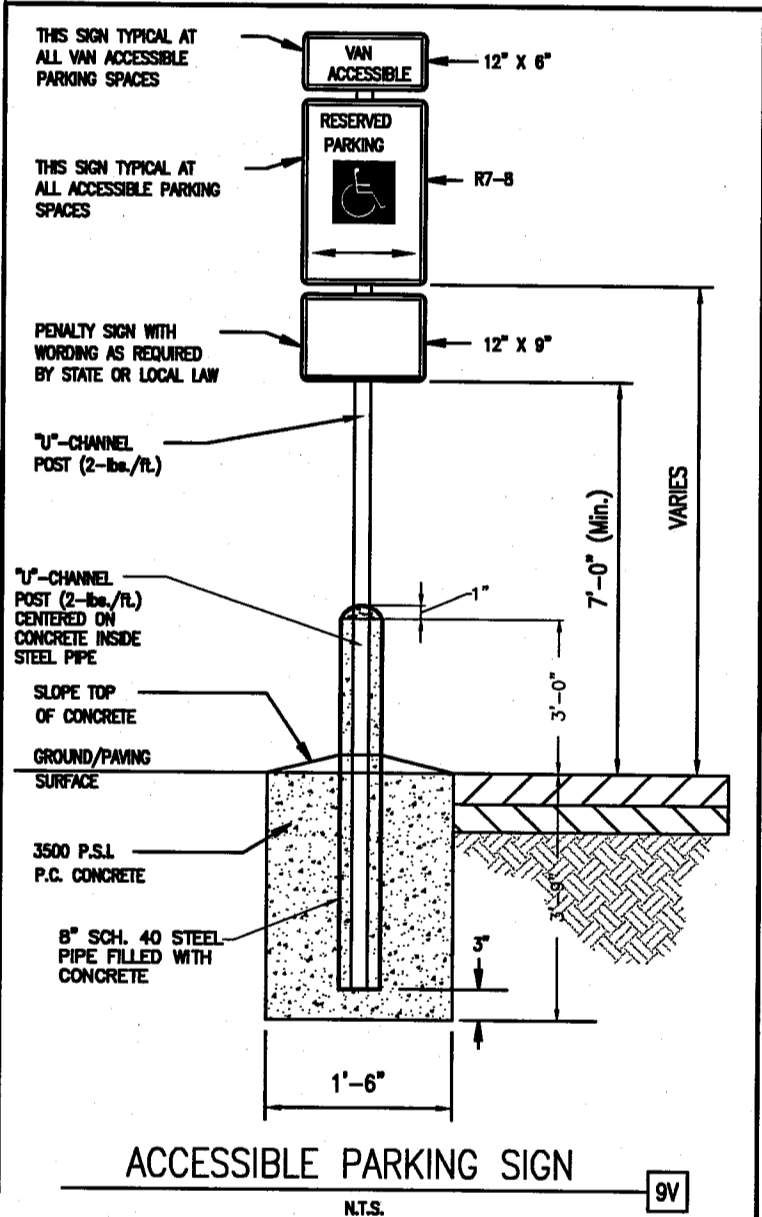
- SITE NOTES**
- BB OVERHEAD CANOPY - (TYP.-PER ARCH. PLANS)
  - 12A 4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
  - 12D 4" WIDE PAINTED YELLOW STRIPES, 2.0' O.C. @ 45° (SEE SIZE INDICATED AT SYMBOL)
  - 21A ATM (SEE SHEET C-06 UTILITY PLAN FOR CONDUIT SIZE)
  - (2) 5'X7' ICE UNITS (SEE SHEET C-06 UTILITY PLAN FOR CONDUIT SIZE)
  - 21D EDGE OF CONCRETE SLAB (PER ARCH. PLAN)
  - 21E UNDERGROUND STORAGE TANKS ((2) 20,000 GAL.)
  - 21P 5' X 10' PROPANE GAS PAD
  - 21S MURPHY OIL MONUMENT SIGN
  - 21T PUBLIC PHONE (SEE SHEET C-06 UTILITY PLAN FOR CONDUIT SIZE)
  - 21V AIR VACUUM UNIT (SEE SHEET C-06 UTILITY PLAN FOR CONDUIT SIZE)
  - 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.

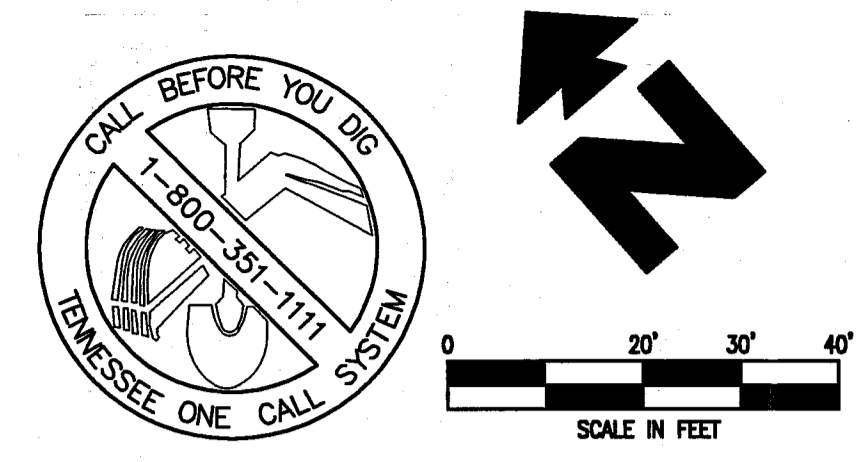
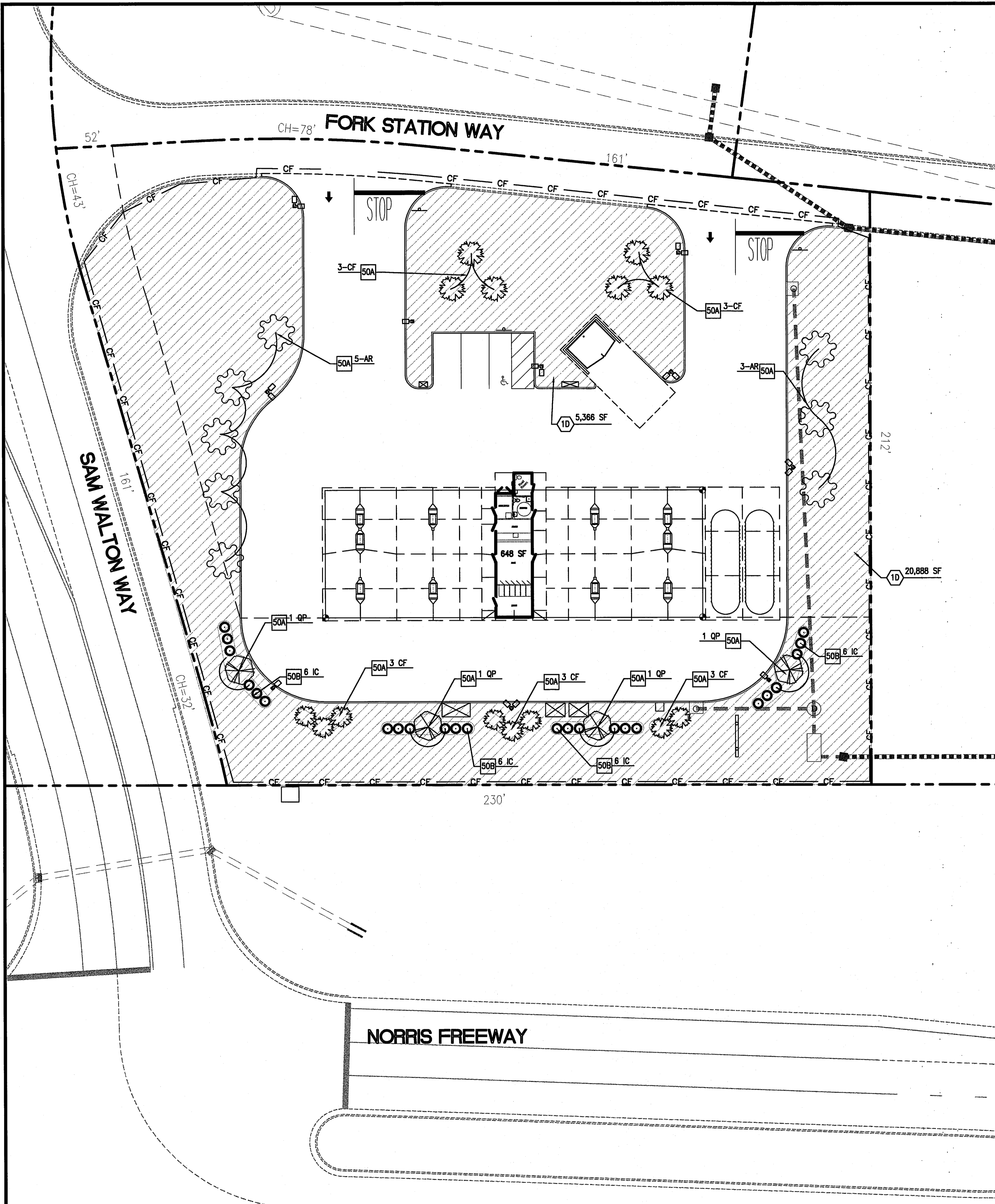
**SITE DETAILS**

9V	ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
9U	ACCESSIBLE PARKING SIGN
10A	TRAFFIC FLOW ARROW (TYP.)
10B	STOP BAR (TYP.)
70A	MASONRY TRASH DUMPSTER ENCLOSURE. SEE CIVIL DETAILS.
70B	"STOP" SIGN
70C	SITE LIGHT POLE. SEE PHOTOMETRIC PLANS FOR TYPE. SEE CIVIL DETAILS FOR MOUNTING AND POLE DETAILS.

**PARKING INFORMATION: MURPHY OIL**

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:			
		RATIO /1000 S.F.	REGULAR SPACES	ACCESSIBLE	VAN ACCESSIBLE
MURPHY EXPRESS	208	14.42	2	1	3
STALL DIMENSIONS: 9'0" x 10'20"		PROVIDED:			
		RATIO /1000 S.F.	REGULAR SPACES	ACCESSIBLE	VAN ACCESSIBLE
		14.42	2	1	3





EXISTING	
	EXISTING BUILDING
	LAND LOT LINE (LL)
	PROPERTY LINE
	UTILITY POLE (UP), OVERHEAD LINES & GUY
	TREE LINE
	SANITARY SEWER MANHOLE (SSM)
	SANITARY CLEAN-OUT (SCO)
	TELEPHONE MANHOLE OR PEDESTAL
	STORM DRAIN PIPE WITH HEADWALL
	DOUBLE-WING CATCH BASIN
	SINGLE-WING CATCH BASIN
	JUNCTION BOX (JB)
	DROP OR CURB INLET (DI OR CI)
	FENCE
	DRAINAGE DITCH OR SWALE
	EXISTING 3 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING GRADE SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	RECORDED DATA
	PARKING SPACE COUNT
	LIGHT POLE (LP)
	ELECTRICAL TRANSFORMER BOX
	FIRE HYDRANT
	WATER VALVE
	GAS VALVE
	WATER METER
	GAS METER
	WELL
	MONITORING WELL
	POST INDICATOR VALVE
	MAILBOX
	STREET SIGN
	UNKNOWN UTILITY STUB OUT
	CONCRETE
	FIRE DEPT. CONNECTION
	HANDICAPPED
	IRRIGATION CONTROL VALVE
	RIGHT-OF-WAY
	STORM DRAIN
	REBAR PIN FOUND
	OPEN TOP PIPE FOUND
	CROWN TOP PIPE FOUND
	CONCRETE MONUMENT FOUND
	ROD FOUND
	BRASS DISK FOUND
	AXLE FOUND
	REBAR PIN SET

PROPOSED	
	BOUNDARY LINE
	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)
	CONSTRUCTION FENCE (SEE CIVIL DETAILS)

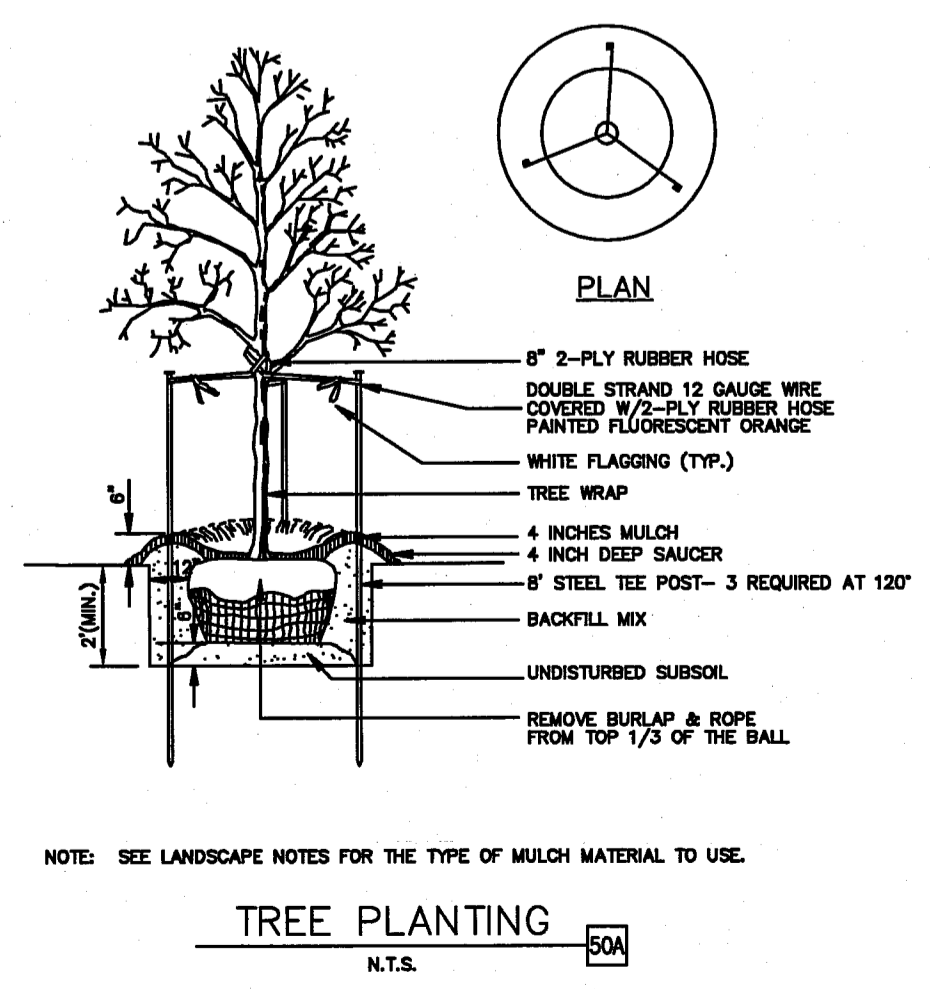
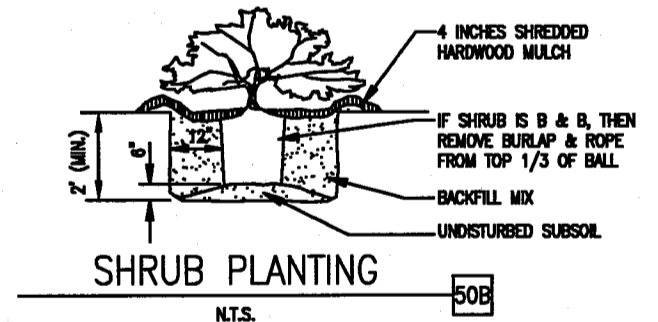
- GENERAL LANDSCAPE NOTES**
- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
  - NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
  - ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI-260.1-1988)
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SOILED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL BE RE-SEED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. ANY AREAS DISTURBED SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - THE MURPHY STATION WILL NOT DROP MASTER DEVELOPMENT'S GREEN SPACE BELOW CITY'S REQUIREMENTS.
  - CONTRACTOR IS TO VERIFY LOCATION OF MASTER DEVELOPMENT IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
  - CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
  - ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICHEVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING, AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THIRING CONDITIONS. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
  - ALL PLANTING BEDS TO BE COVERED WITH MULCH A MINIMUM THICKNESS OF 4"

**LANDSCAPE NOTES**

1D SODDED GREEN AREA (COMMON BERMUDA GRASS)

**LANDSCAPE DETAILS**

50A TREE PLANTING (TYP.)  
50B SHRUBS PLANTING (TYP.)



9-C-10-UR

KEY	QTY	COMMON NAME/ BOTANICAL NAME	SIZE	REMARKS
QP	4	WILLOW OAK <i>Quercus phellos</i>	2" CAL./12' HT	MATCHING SPECIMENS
CF	6	FLOWERING DOGWOOD <i>Cornus florida</i>	2" CAL.	15" O.C.
AR	8	RED MAPLE <i>Acer rubrum</i>	2" CAL.	25" O.C.
IC	24	DWARF BUFFORD HOLLY <i>Ilex cornuta 'Burfordii Nana'</i>	18" H.T.	18" HEIGHT, 4" O.C.

SHEET NO. C-9

LANDSCAPE PLAN  
MURPHY EXPRESS  
754 NORRIS FREEWAY  
KNOXVILLE TENNESSEE

GreenbergFarrow  
1400 W. PEACHTREE BLVD. SUITE 200  
ATLANTA, GA 30309  
PHONE: (404) 601 4000  
FAX: (404) 601 9970  
DWG NAME: KNOXVILLE, TENNESSEE  
FOR NO.: 20090507.0  
COAF

MURPHY OIL USA, INC.  
422 NORTH WASHINGTON  
EL DORADO, AR 71730

MURPHY USA

REV-2  
DATE: 07-14-10  
REA: PRN  
P.C.: PM  
J.L.: DES  
J.L.: DRW