

PROPERTY LINE

UNIT B

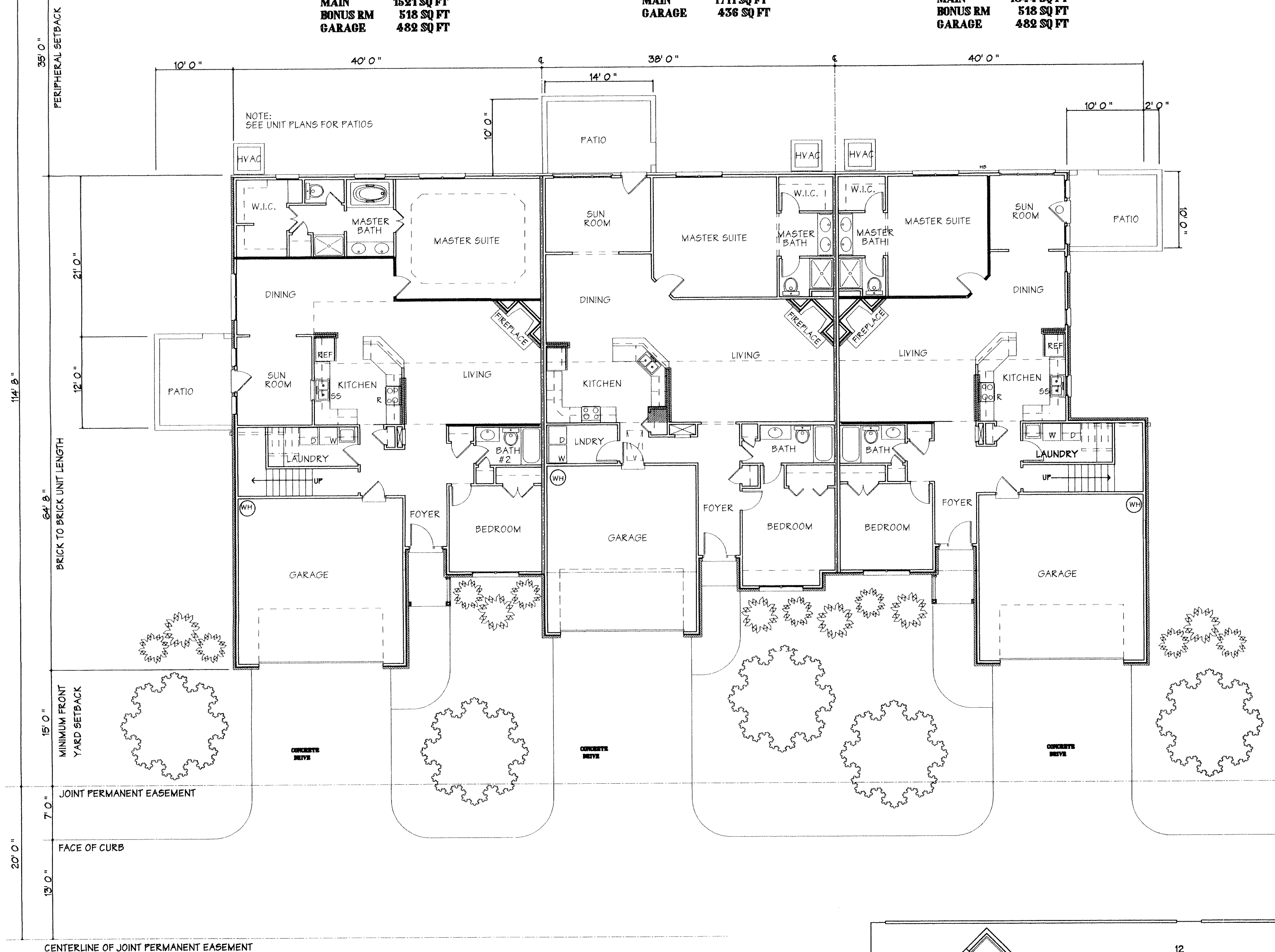
SQUARE FOOTAGE
MAIN 1521 SQ FT
BONUS RM 518 SQ FT
GARAGE 482 SQ FT

UNIT A

SQUARE FOOTAGE
MAIN 1711 SQ FT
GARAGE 456 SQ FT

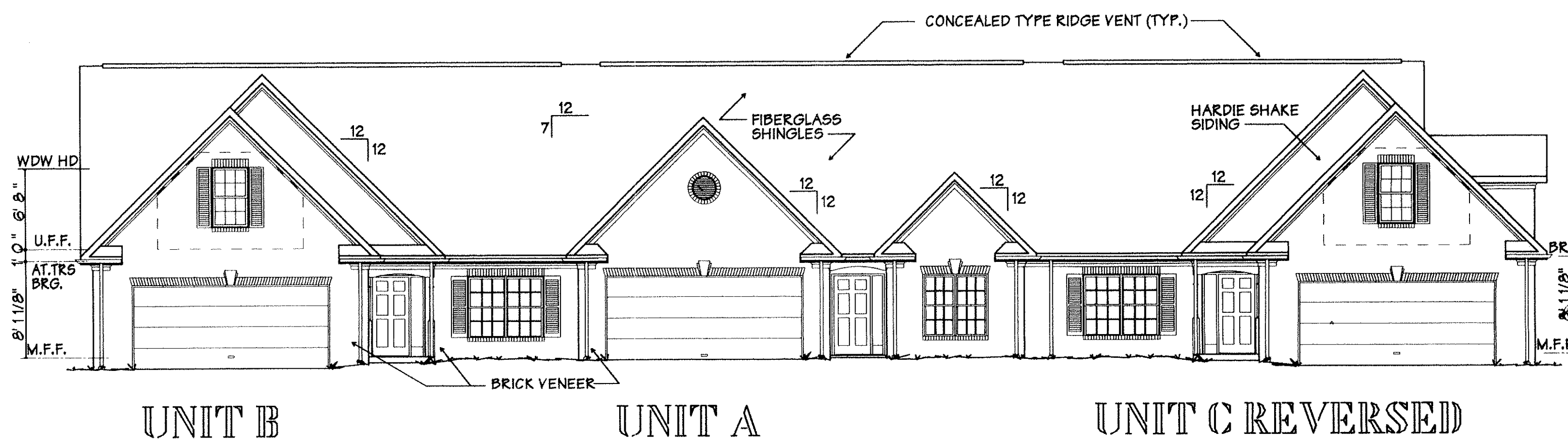
UNIT C REVERSED

SQUARE FOOTAGE
MAIN 1844 SQ FT
BONUS RM 518 SQ FT
GARAGE 482 SQ FT



1 3 UNIT BUILDING PLAN
SCALE 1/8" = 1' - 0"

DO NOT REPRODUCE
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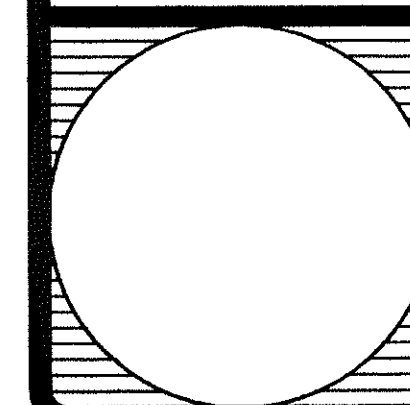


2 3 UNIT BUILDING FRONT ELEVATION
SCALE 1/8" = 1' - 0"

REVISIONS	BY

WYSTWYND DESIGNS, INC.
RIC MIXON, AIA
401 FOREST PARK BOULEVARD
KNOXVILLE, TENNESSEE 37919
PHONE: 866-566-5919 FAX: 866-566-5919
E MAIL: drm@wystwynd.com

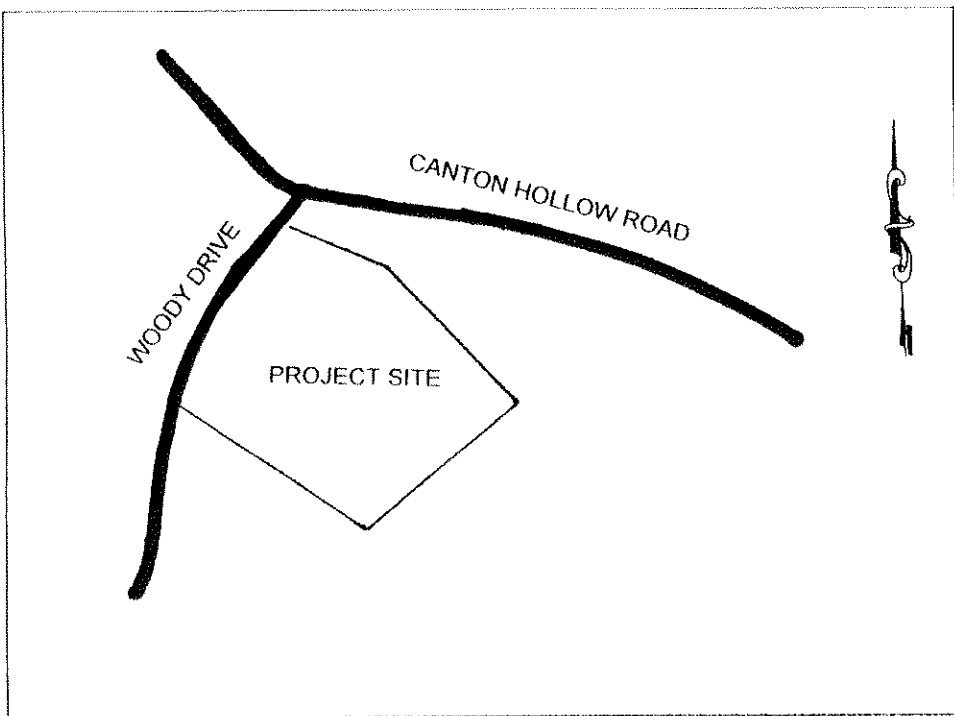
ELLISON PARK
A PROPOSED CONDOMINIUM PROJECT
KNOX COUNTY, TENNESSEE
DEVELOPED BY: RANDY ALLEN



DRAWN RIC
CHECKED
DATE 08-03-06
SCALE
JOB NO. 810.06012
SHEET

CP-1

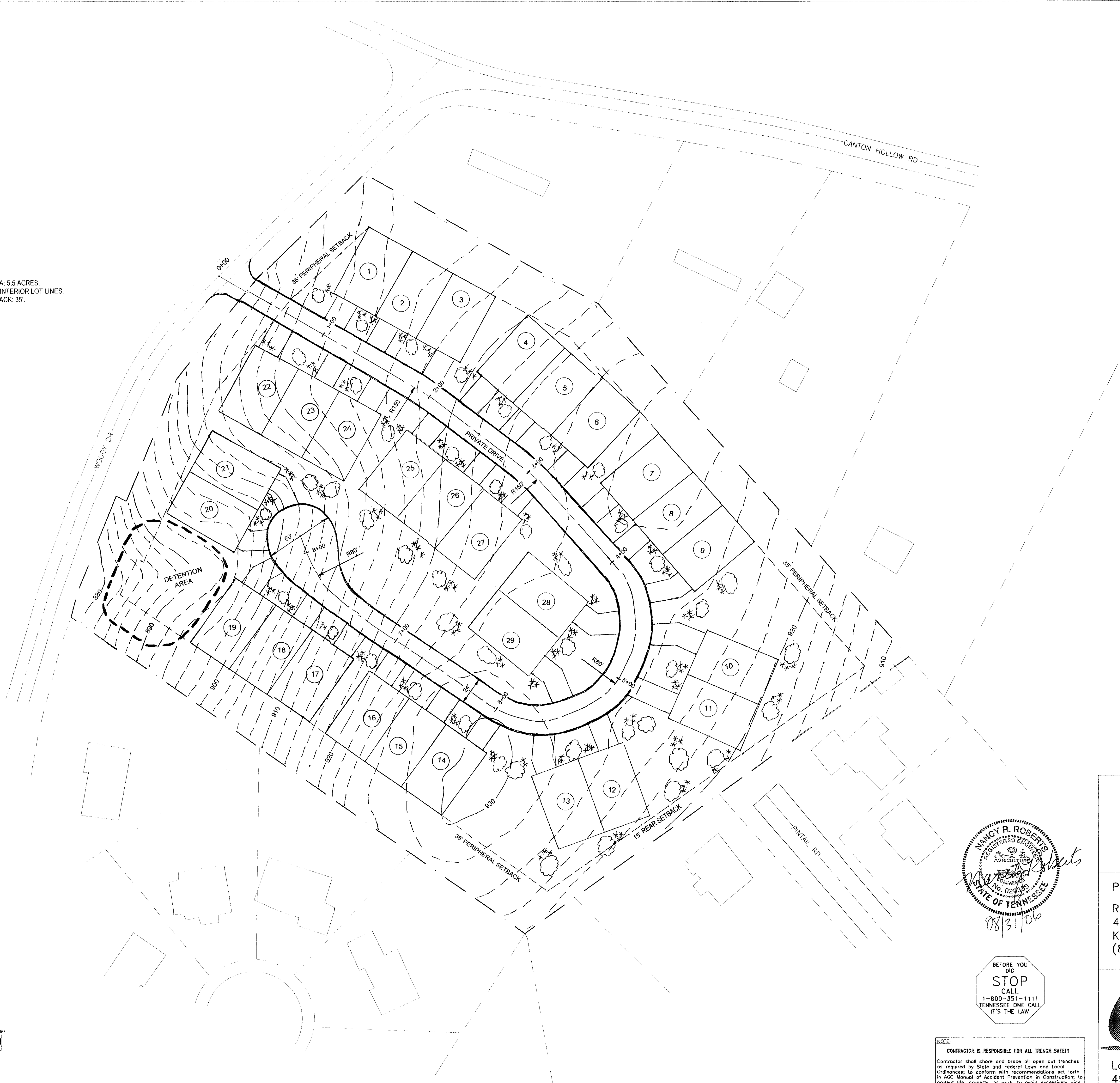
OF SHEETS



VICINITY MAP
(NOT TO SCALE)

- NOTES:
1. SITE INFORMATION BASED ON KGIS.
 2. PROPERTY INFORMATION: ZONED PR, CLT TAX MAP 143, PARCEL 091. SITE AREA: 5.5 ACRES.
 3. UTILITY AND DRAINAGE EASEMENT: 10' EXTERIOR LOT LINES AND ROADWAY, 5' INTERIOR LOT LINES.
 4. FRONT SETBACK: 20'; SIDE SETBACK: 5'; REAR SETBACK: 15'; PERIPHERAL SETBACK: 35'.
 5. SEE TABLE BELOW FOR TREE PLANTING SUMMARY.

NEW TREE PLANTING SUMMARY		
NO. OF TREES	TYPE	MATURE HEIGHT
9	RED BUCKEYE	35'
9	FLOWERING DOGWOOD	30'
9	EASTERN REDBUD	40'
9	RED MAPLE	60'
9	SOUTHERN RED OAK	55'



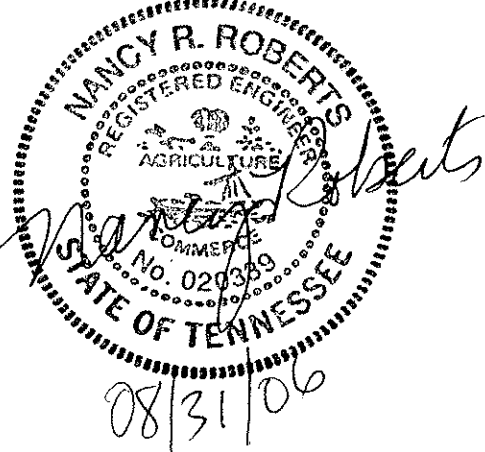
9-E-06-UR

USE ON REVIEW
LANDSCAPING PLAN - SHEET C2

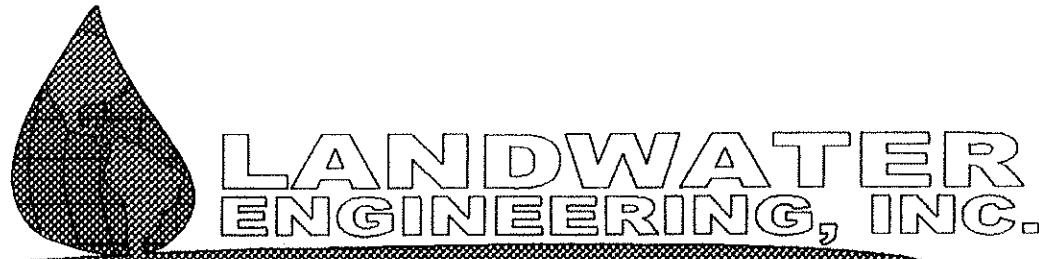
ELLISON PARK
Knox County, Tennessee

Prepared For:

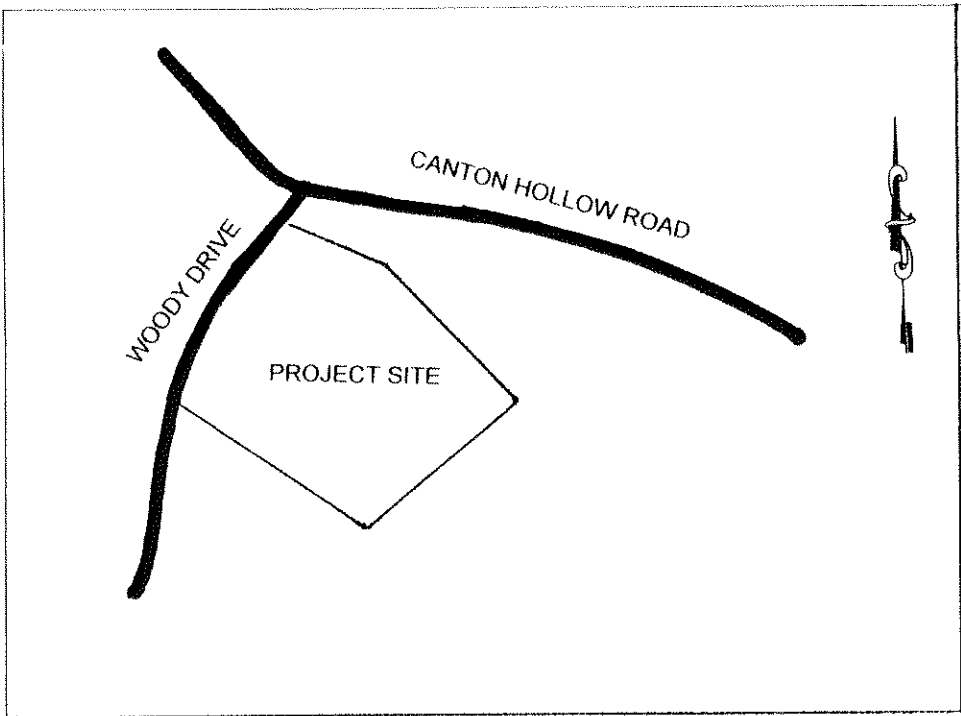
Randy Allen
408 Ebenezer Road
Knoxville, TN 37923
(865) 670-8888



NOTE:
CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY
Contractor shall shore and brace all open cut trenches as required by State and Federal Laws and Local Ordinances; to conform with recommendations set forth in AISC Manual of Accident Prevention in Construction; to protect life, property, or work; to avoid excessively wide cuts in unstable material.
OSHA RULES SHALL BE ABIDED BY

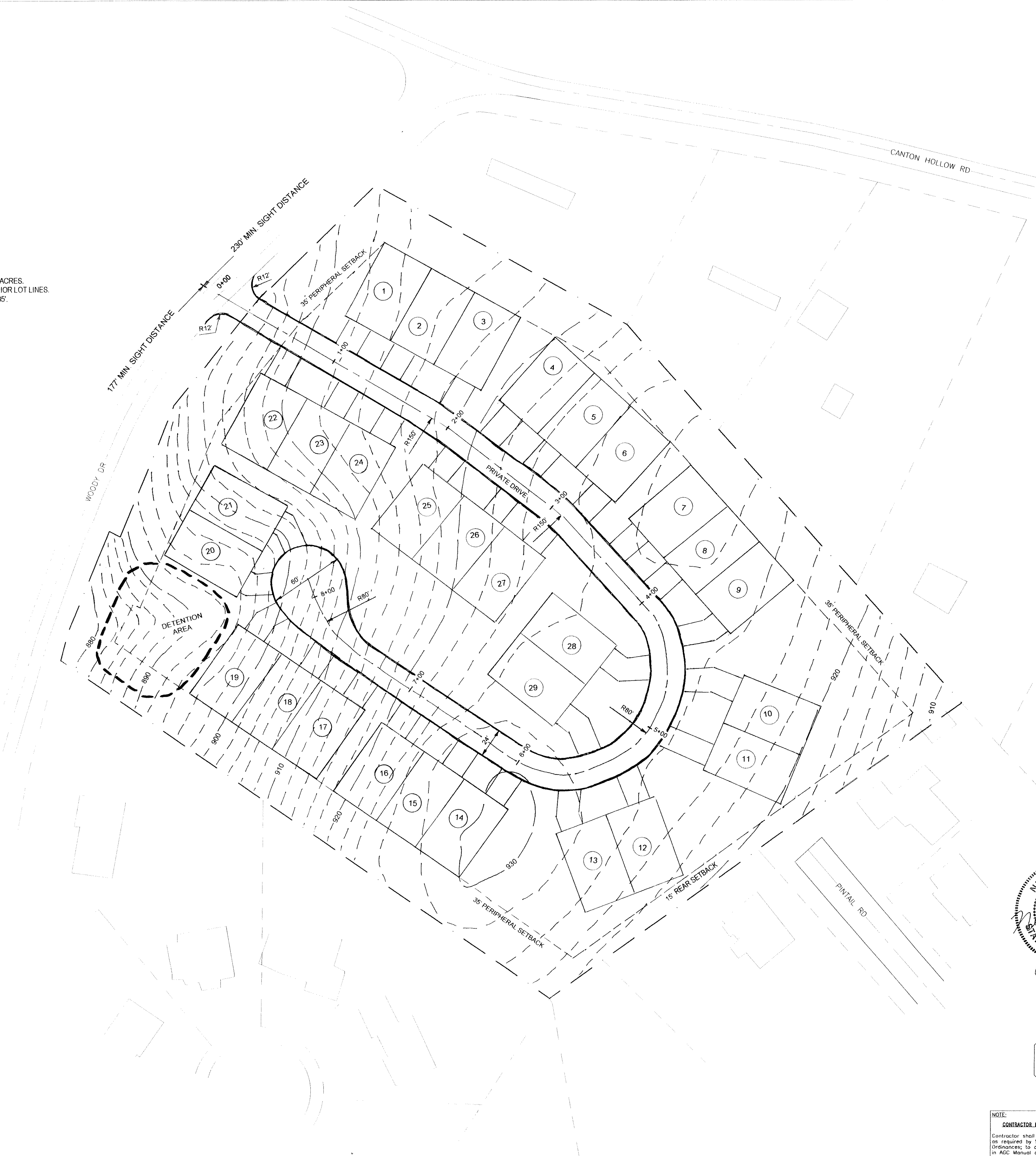


LandWater Engineering
4921 Homberg Drive, Suite D1
Knoxville, Tennessee 37919
(865) 766-0333

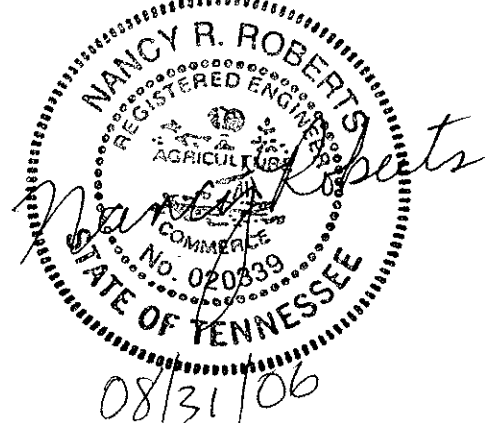
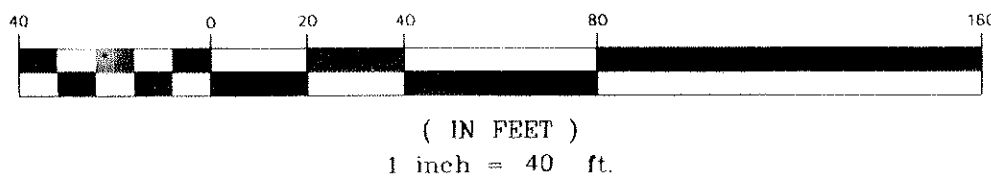


VICINITY MAP
(NOT TO SCALE)

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 4. FRONT SETBACK: 20', SIDE SETBACK: 5', REAR SETBACK: 15', PERIPHERAL SETBACK: 35'.
 5. ALL LOTS TO HAVE INTERNAL ACCESS ONLY.
 6. ALL INTERSECTION GRADES APPROVED BY KNOX COUNTY ENGINEERING.



GRAPHIC SCALE



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OSHA RULES SHALL BE ABIDED BY

USE ON REVIEW
SITE PLAN - SHEET C1

ELLISON PARK
Knox County, Tennessee

Prepared For:

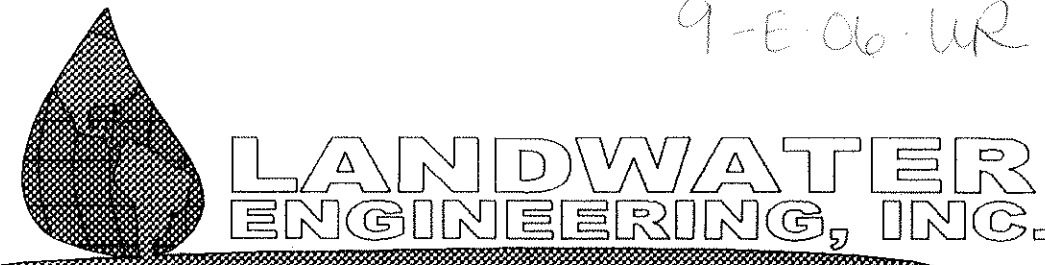
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U.O.R.

DATE 9/1/06

REVISED

9-E-06-WR



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4921 Homberg Drive, Suite D1
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