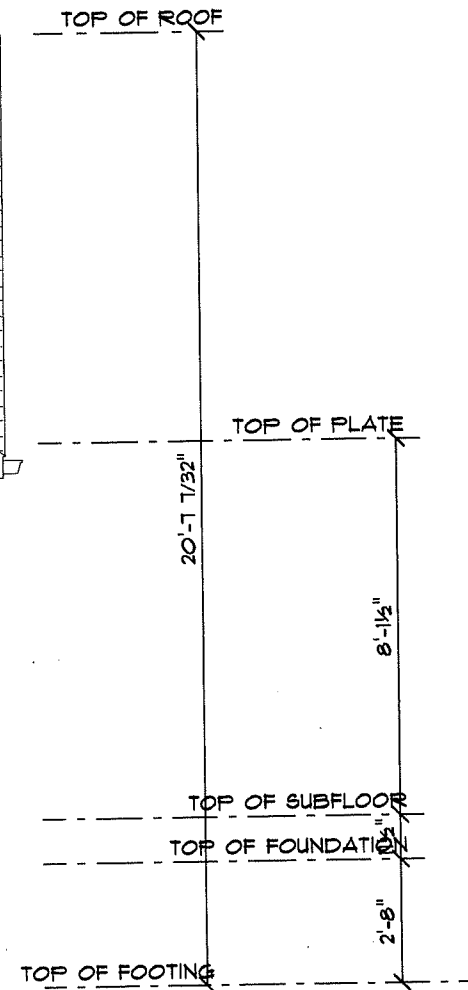
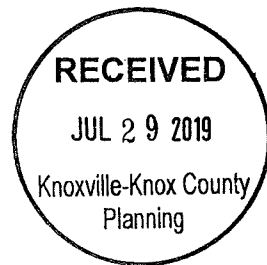




FRONT ELEVATION

SCALE: 1/4" = 1'-0"



9-G-19-UR

AREA SCHEDULE	
NAME	AREA
MAIN FLOOR	880.6 sq ft.
COVERED PORCHES	120.9 sq ft.

DRAWING SCHEDULE

FRONT ELEVATION	1
ELEVATIONS	2
CRAWL SPACE	3
MAIN FLOOR	4
SECTION DETAILS	5

HARRIS HOME

DRAWN BY: WGF

SCALE: As Noted

DATE: 6/20/2019

GREY FISHER DRAWING

PHONE: 828-713-2586

greyfisher@ymail.com

PAGE: 1/5

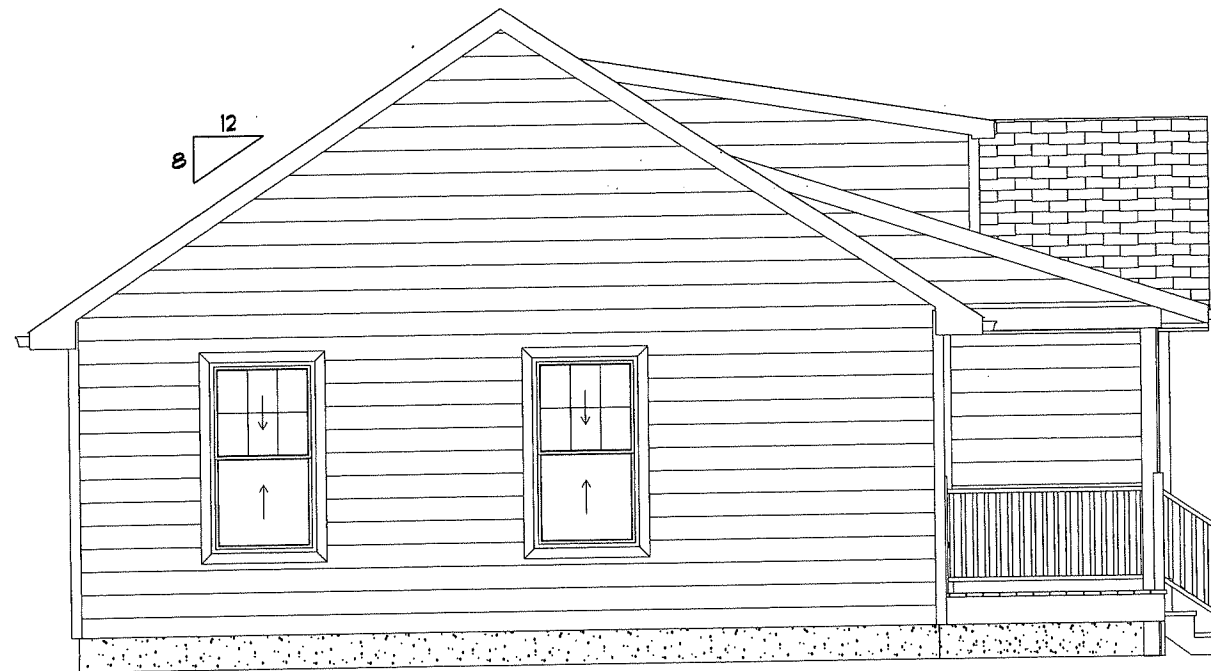
FRONT ELEVATION

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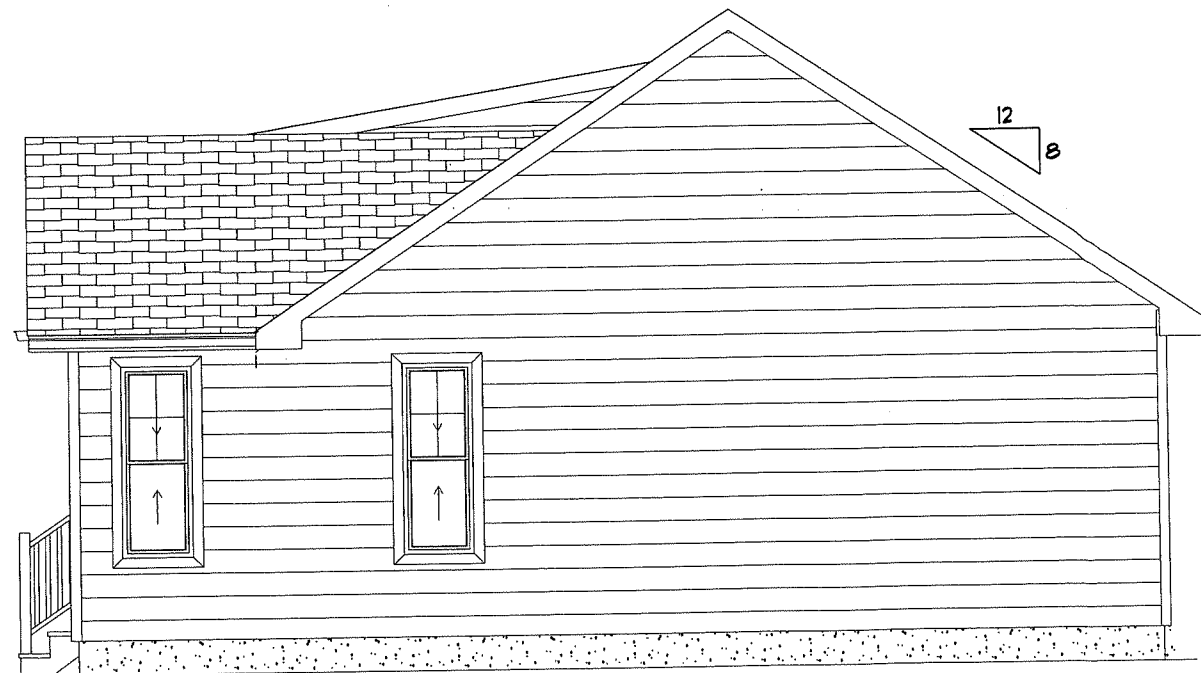
REAR ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

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HARRIS HOME

DRAWN BY: WGF

PAGE: 2/5

SCALE: 3/16" = 1'-0"

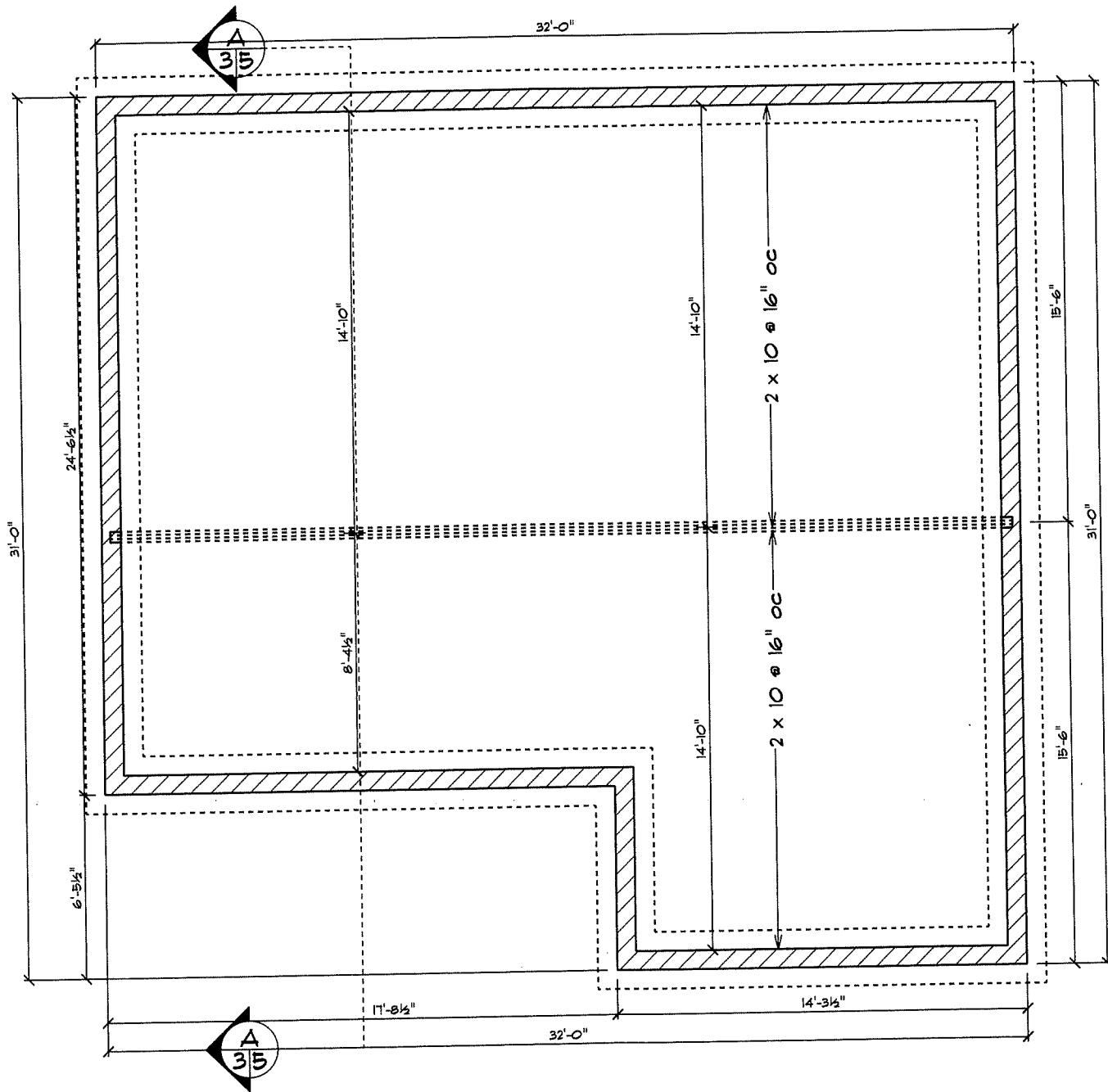
DATE: 6/20/2019

ELEVATIONS

GREY FISHER DRAWING

PHONE: 828-713-2586

greyfisher@gmail.com



CRAWL SPACE

SCALE: 3/16" = 1'-0"

HARRIS HOME

DRAWN BY: WGF

PAGE: 3/5

SCALE: 3/16" = 1'-0"

DATE: 6/20/2019

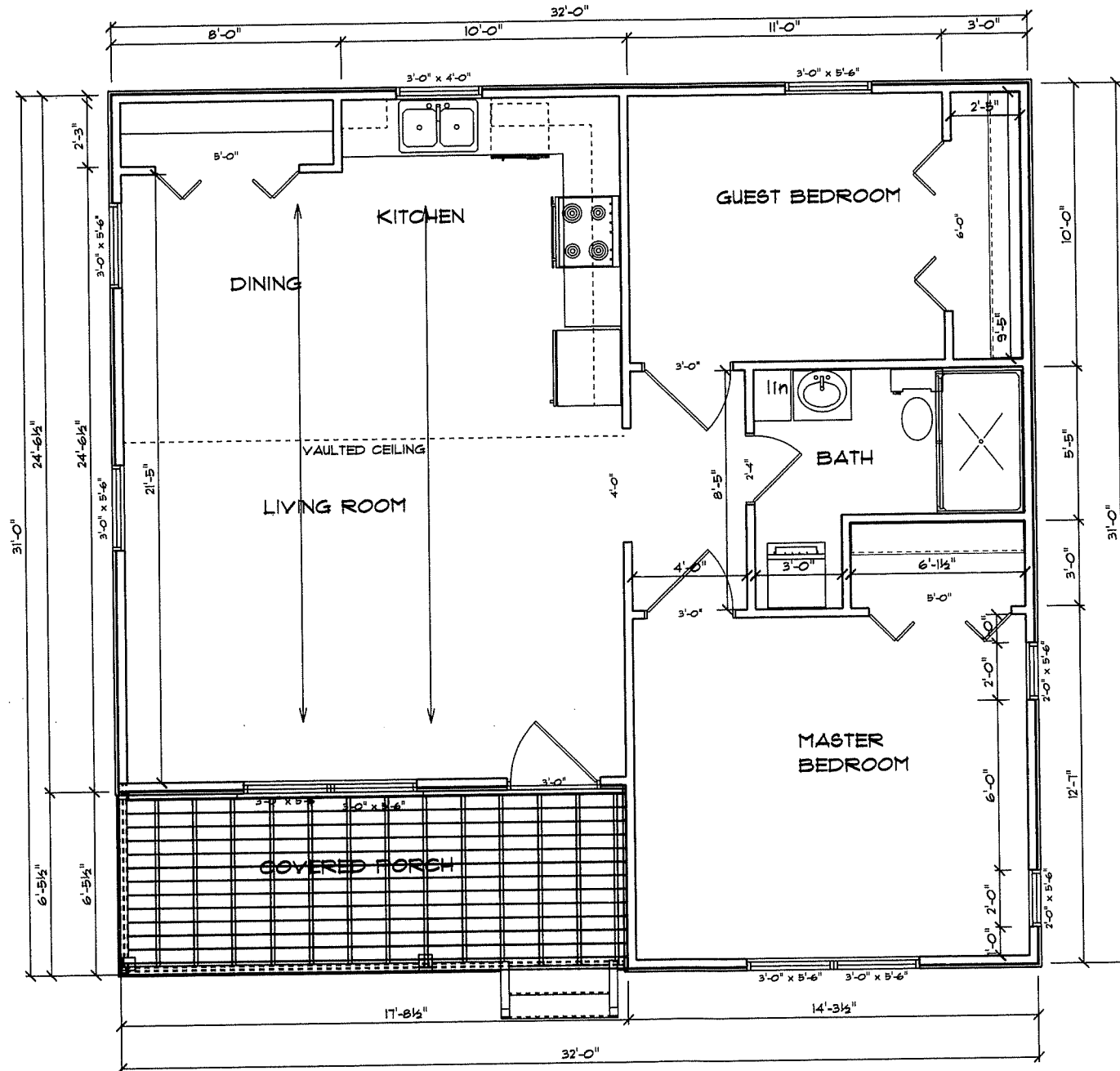
CRAWL SPACE

GREY FISHER DRAWING

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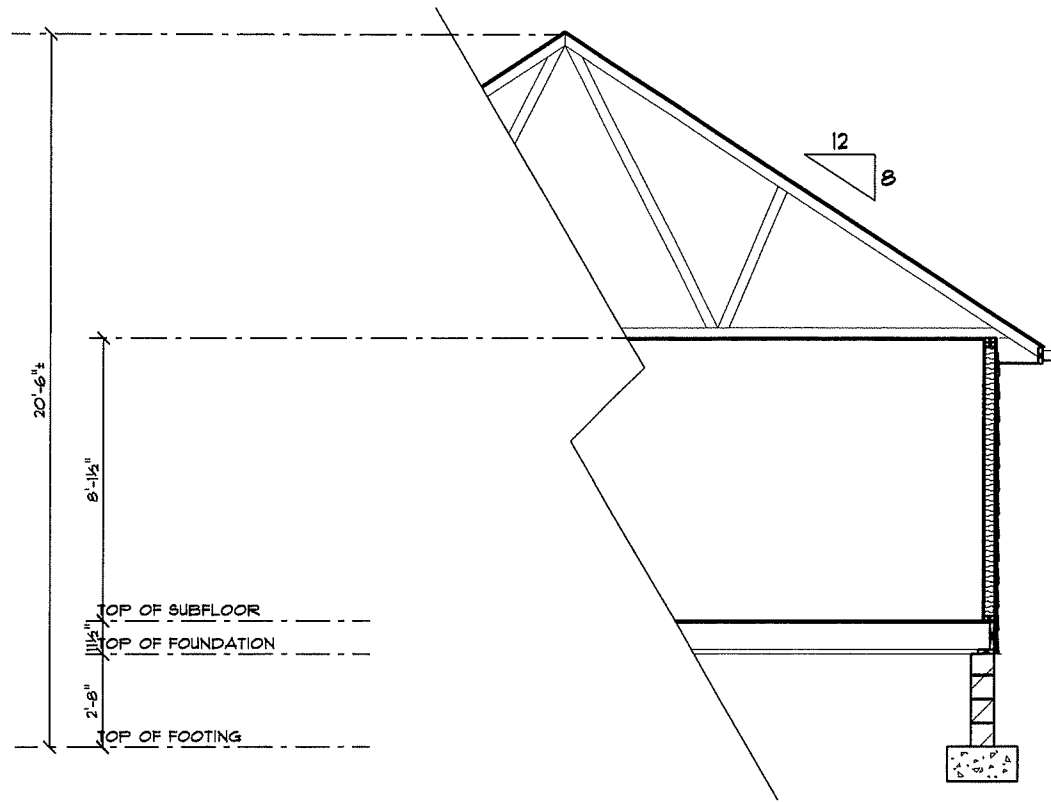
MAIN FLOOR
 SCALE: 3/16" = 1'-0"

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HARRIS HOME		PAGE: 4/ 5		MAIN FLOOR
DRAWN BY: WGF				
SCALE: 3/16" = 1'-0"				
DATE: 6/20/2019				

GREY FISHER DRAWING
PHONE: 828-713-2586
greyfisher@ymail.com

GREY FISHER DRAWING
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 greyfisher@ymail.com



CONTINUOUS RIDGE VENTING
ASPHALT SHINGLES
PRE-MANF. ROOF TRUSSES
R-38 OVERHEAD

WALLS TYPICAL 2x4 @ 16" OC
1/16" OSB SHEATING
HOUSE WRAP
SIDING, HOME OWNER CHOICE
R-13 OR BETTER
DRYWALL TAPED AND SANDED

FLOOR SYSTEM
2 x 10 SYP @ 16" oc OR BETTER
3/4" ADVANTECH SUB-FLOOR
GLUED AND NAILED

CRAWL SPACE FOUNDATION
8" C.M.U. walls
2 x 8 PT SILL PLATE
ANCHOR BOLTS PER CODE
PROPERLY VENTED
CONTINUOUS DRAIN J-DRAIN OR EQUAL
SCRATCH COAT OR MORTAR FINISH
WITH 6mil POLY
R-19 UNDERNEATH
FOOTINGS TYPICAL 18" x 8"
WITH 2 #4 REBAR
18" FROST LINE

OPENING SCHEDULE		
PRODUCT CODE	SIZE	COUNT
36X80 COUNTRY B 1	3'-0"	1
60X80 BIFOLD COLONIAL 2-MODIFIED	5'-0"	1
60X80 BIFOLD COLONIAL 2	5'-0"	1
72x80 BIFOLD COLONIAL 2	6'-0"	1
28X80 COLONIAL A 1	2'-4"	1
36X80 COLONIAL A 1	3'-0"	2
24X24 CASEMENT 1	2'-0" x 2'-0"	3
24X66 DOUBLE HUNG 1	2'-0" x 5'-6"	2
36X48 DOUBLE HUNG 1	3'-0" x 4'-0"	1
36X66 DOUBLE HUNG 1	3'-0" x 5'-6"	7

A
35

CROSS SECTION A

SCALE: 3/16" = 1'-0"

HARRIS HOME

DRAWN BY: UGF

PAGE: 5/ 5

SCALE: As Noted

DATE: 6/20/2019

SECTION DETAILS

GREY FISHER DRAWING

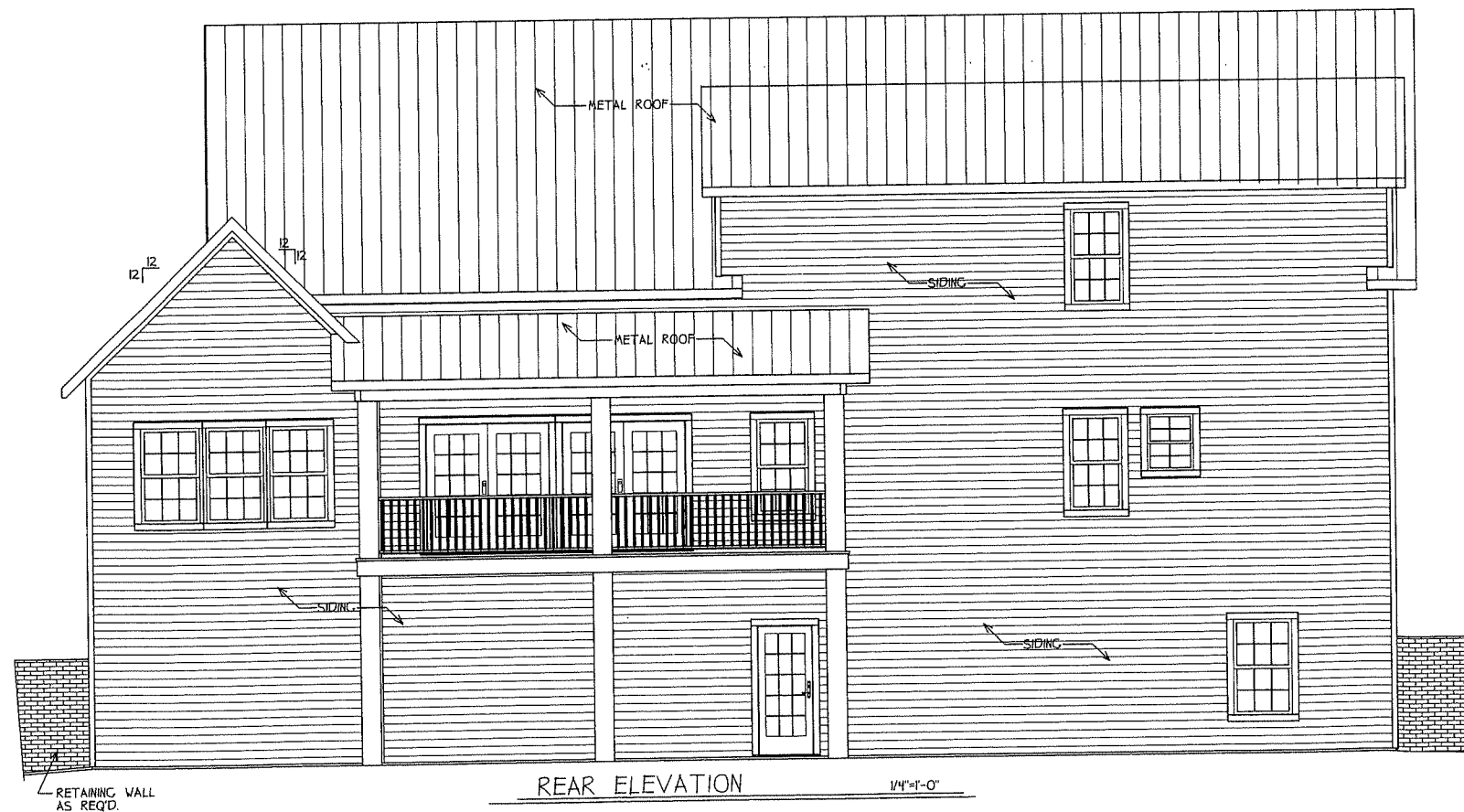
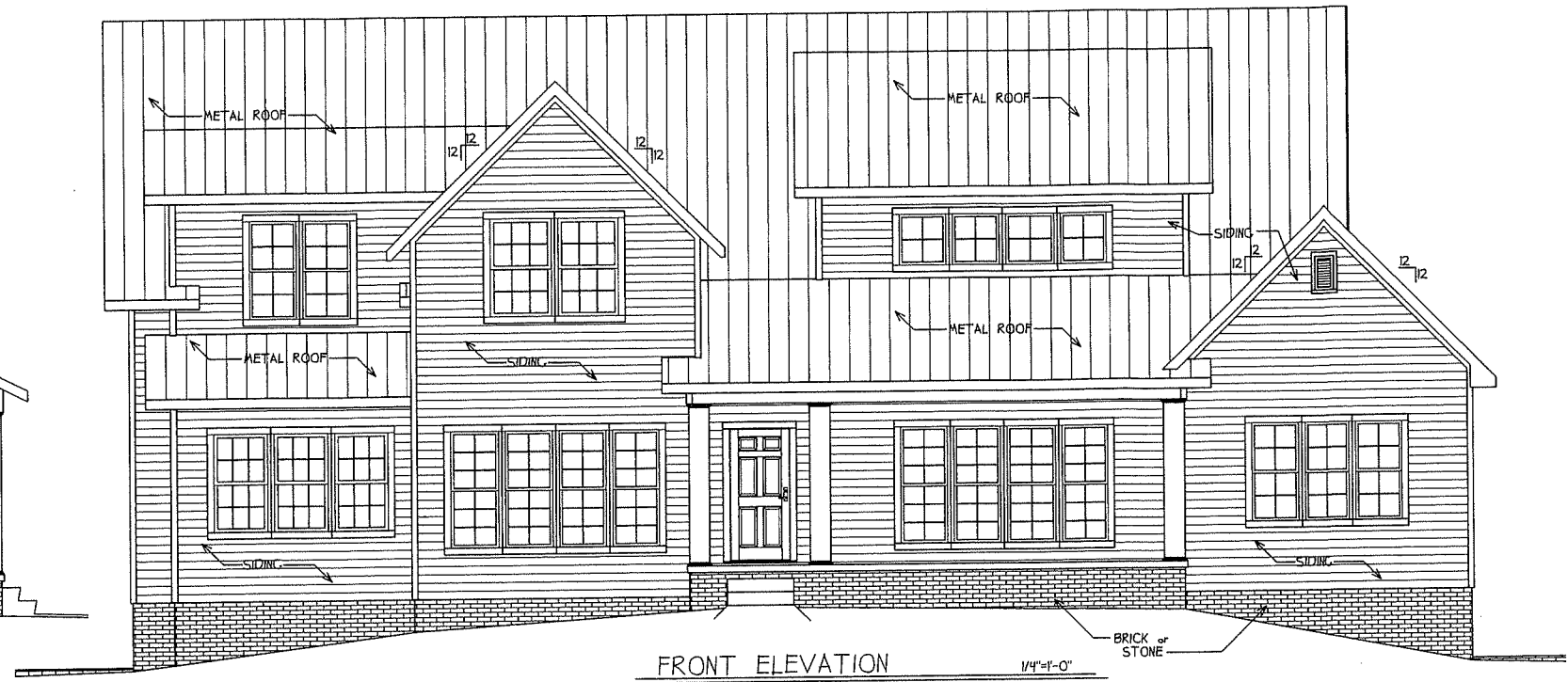
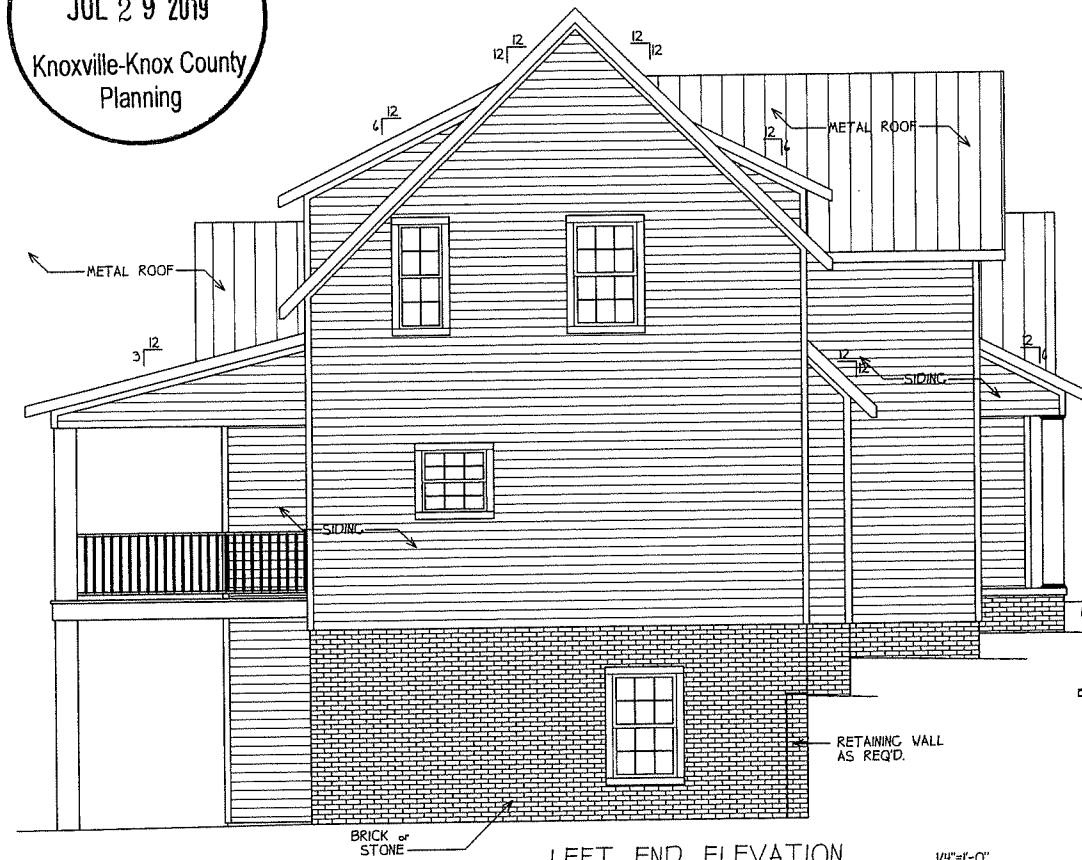
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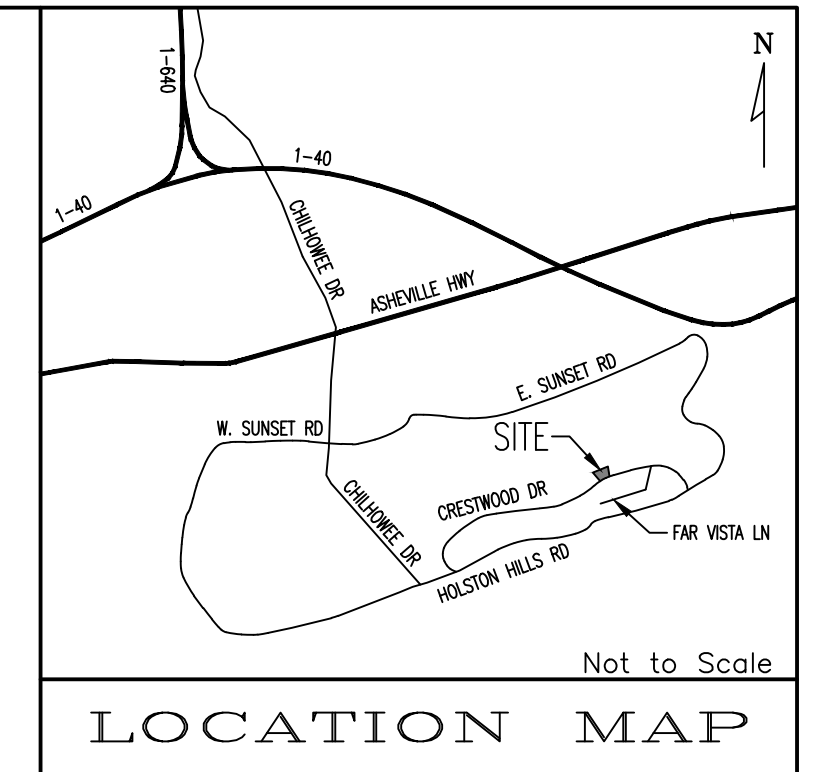
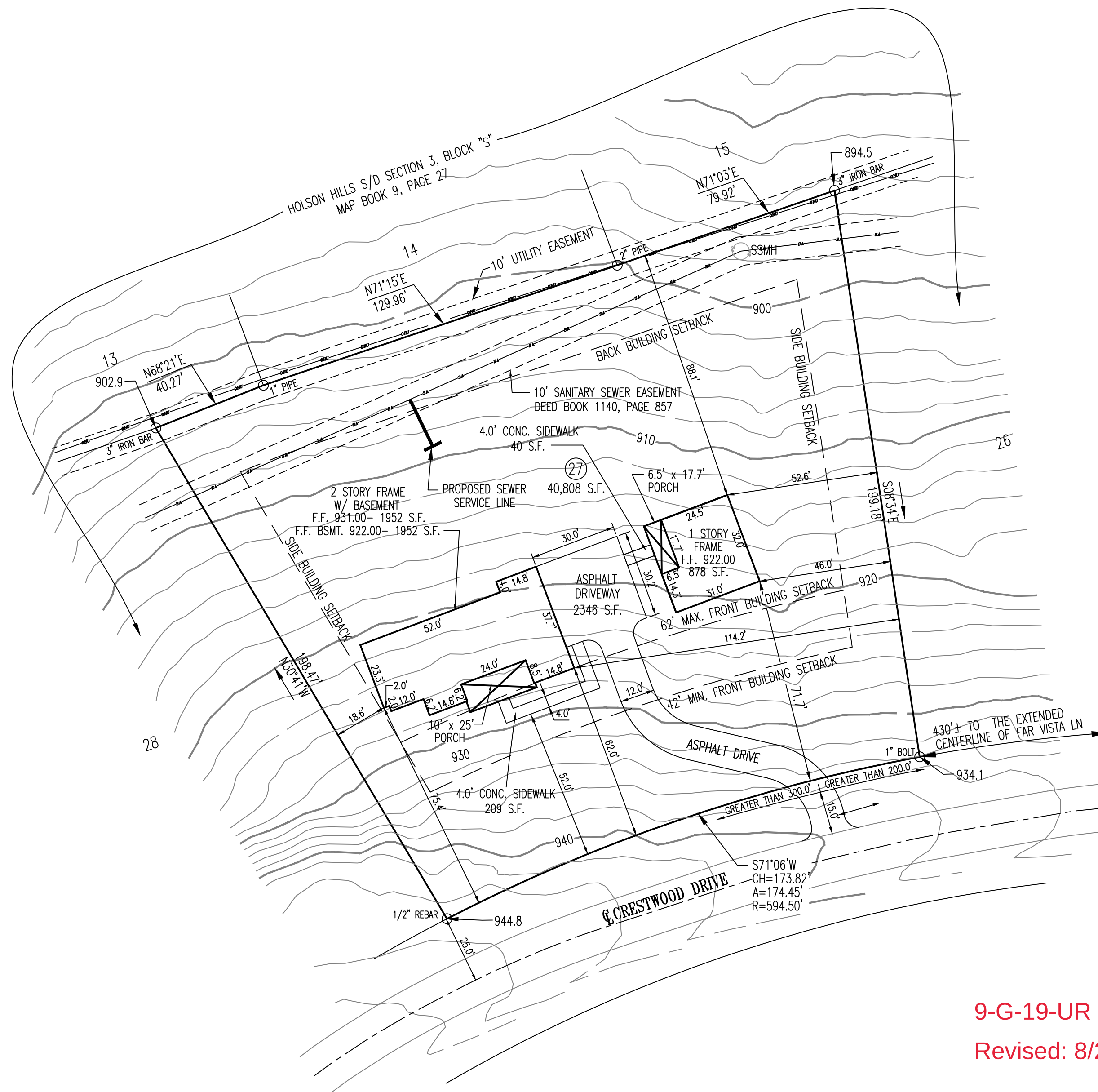
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A circular black and white stamp. The word "RECEIVED" is at the top in a bold, sans-serif font. Below it is the date "JUL 29 2019" in a similar font. At the bottom, the text "Knoxville-Knox County Planning" is written in a slightly smaller, sans-serif font. The entire stamp is enclosed in a thin black circular border.A circular black and white stamp. The word "RECEIVED" is at the top in a bold, sans-serif font. Below it is the date "JUL 29 2019" in a similar font. At the bottom, the text "Knoxville-Knox County Planning" is written in a slightly smaller, sans-serif font. The entire stamp is enclosed in a thin black circular border.A circular black and white stamp. The word "RECEIVED" is at the top in a bold, sans-serif font. Below it is the date "JUL 29 2019" in a similar font. At the bottom, the text "Knoxville-Knox County Planning" is written in a slightly smaller, sans-serif font. The entire stamp is enclosed in a thin black circular border.

Primary House -- For Reference Only



DATE		FEB. 21, 2019													
SCALE		AS NOTED													
DRAW BY		Dale A. Byrd													
JOB NO.		r-2939													
SHEET															
FOR EVERY HOUSE IS BUILT BY SOMEONE, BUT HE WHO BUILT ALL THINGS IS GOD. REVEREND 34		DALE A. BYRD DESIGNS 301 CENTRAL STREET CLINTON, TENNESSEE 37716 PH. (865) 457-7879													
A RESIDENCE FOR: JAKE HARRIS		<table><tr><td>REVISIONS</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>BY</td><td></td><td></td><td></td><td></td><td></td></tr></table>		REVISIONS						BY					
REVISIONS															
BY															



- NOTES:
1. IRON PINS FOUND (IPF) SHOWN ON PLAT. ALL OTHERS SET BY BHN&P, UNLESS NOTED OTHERWISE ON PLAT.
 2. ALL PROPERTY INFORMATION IS BASED ON A SURVEY BY ROTH LAND SURVEYING DATED NOV 8, 2018
 3. SANITARY SEWER EASEMENT OF 10', 5' EACH SIDE OF SEWER AS INSTALLED (WHERE APPLICABLE).
 4. THIS PROPERTY IS ZONED EN-1
 5. SUBDIVISION CONTAINS 40,808 S.F.
 6. BUILDING SETBACK LINES WILL BE AS FOLLOWS:
FRONT...42'-62' (WITHIN 10' OF THE AVERAGE SETBACKS OF SAME SIDE OF THE STREET WITHIN 500 FEET OF THE PROPERTY)
SIDES.....17.5'
REAR.....25'
 7. ALL TOPOGRAPHIC INFORMATION IS BASED ON KGIS DATA.
 8. ALL UNDERGROUND UTILITIES ARE APPROXIMATE.
 9. PERCENTAGE OF PERVIOUS SURFACE (EXCLUDING BUILDING) IS 93%.
 10. THE HEIGHT OF THE MAIN BUILDING IS 27'-3". THE HEIGHT OF THE SECONDARY BUILDING IS 13'-2".
 11. SIGHT DISTANCES ADEQUATE IN BOTH DIRECTIONS OF THE PROPOSED DRIVEWAY LOCATION.
 12. MAXIMUM DRIVEWAY SLOPE SHALL BE 15.0%.

USE ON REVIEW REQUEST
APPROVE AN ACCESSORY DWELLING
UNIT IN AN EN-1 ZONE

USE ON REVIEW
FOR
HOLSTON HILLS
SECTION 3
LOT 27, BLOCK "S"
TAX MAP 71ME, PARCEL 17
DISTRICT 7, KNOX COUNTY, TENNESSEE
CITY BLOCK 31470, 31ST WARD, CITY OF KNOXVILLE
SCALE: 1" = 30' DATE: 7-25-19
30 15 0 30 60

9-G-19-UR
Revised: 8/26/2019

DEVELOPER:
JACOB HARRIS
118 ADAIR DR.
KNOXVILLE, TENNESSEE 37914
PHONE: (615)-374-8007



BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE (865) 588-6472
FAX (865) 588-6473
email@bhn-p.com