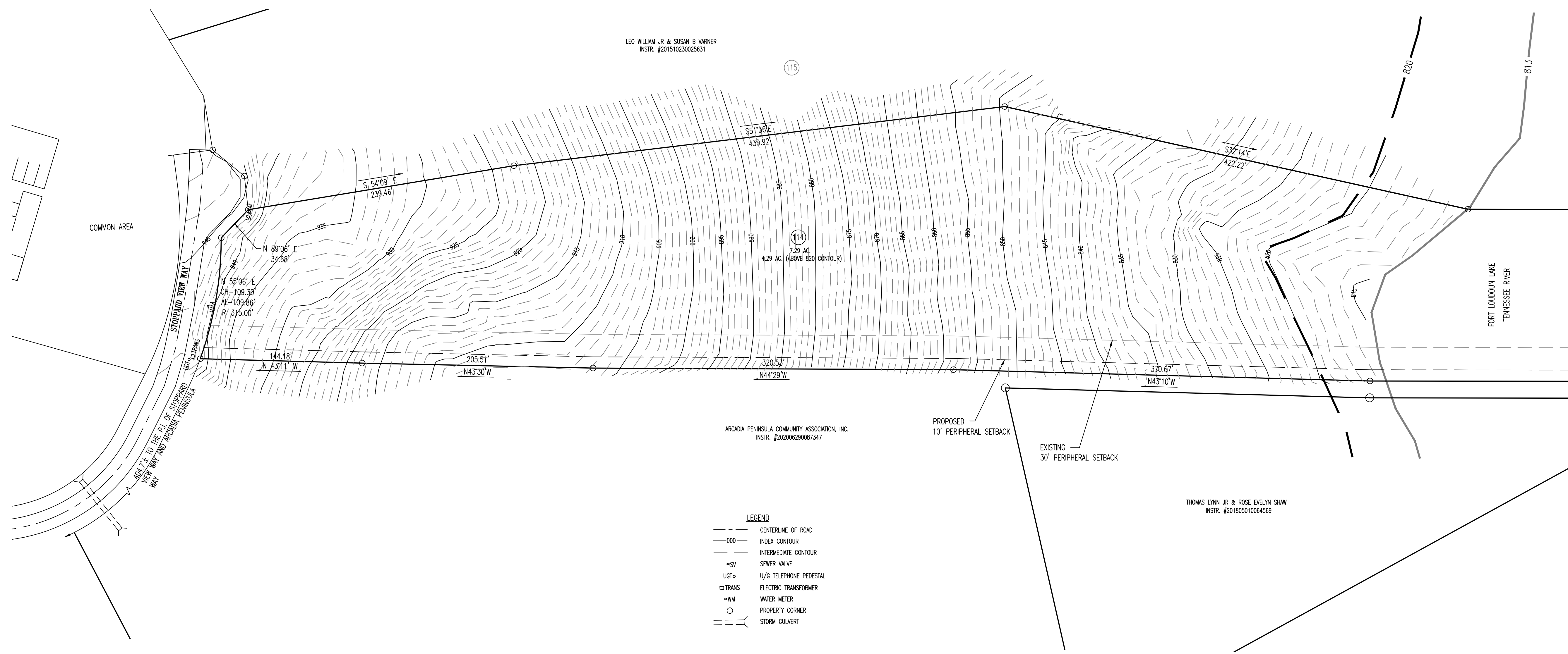


- NOTES:
- IRON PINS FOUND (PF) SHOWN ON PLAT. ALL OTHERS SET BY BHN&P, UNLESS NOTED OTHERWISE ON PLAT.
 - 10' UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS INSIDE ALL EXTERIOR LOT LINES AND ALONG ALL ROADS, 5' UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS ALONG BOTH SIDES OF ALL INTERIOR LOT LINES, PLUS OTHER EASEMENTS AS SHOWN. UTILITY AND DRAINAGE EASEMENTS TO BE CENTERED ABOUT DRAINAGE STRUCTURES AS INSTALLED. LOTS 116, 117 & 119-125 HAVE A 15' UTILITY EASEMENT ADJACENT TO LEONIDAS MEADOW WAY.
 - SANITARY SEWER EASEMENT OF 15', 7.5' EACH SIDE OF SEWER AS INSTALLED (WHERE APPLICABLE).
 - QUALITY OF NORTH BASED ON TVA LAND ACQUISITION MAP NO. 10M5421K2 DATED JUNE 1941.
 - THIS PROPERTY IS ZONED PR.
 - FOR BUILDING SETBACKS SEE CHART ON THIS PLAN.
 - FOR APPROVED SUBDIVISION VARIANCES AND CONDITIONS OF APPROVAL OF THE CONCEPT AND USE ON REVIEW PLAN, REFER TO THE METROPOLITAN PLANNING COMMISSION FILES 1-SC-15-C AND 1-F-15-UR.
 - ALL STRUCTURES WILL BE LOCATED AT LEAST 50' FROM THE LAST CLOSED CONTOUR OF THE SINKHOLE ON THE SITE. CONSTRUCTION WITHIN THE 50' SINKHOLE BUFFER MAY BE ONLY BE PERMITTED IF A GEOTECHNICAL STUDY IS PREPARED BY A REGISTERED ENGINEER AND STATES THAT BUILDING WITHIN THE 50' SINKHOLE BUFFER IS ACCEPTABLE AND THE STUDY IS APPROVED BY KNOX COUNTY ENGINEERING. AN ENGINEERING FOOTPRINT WILL BE REQUIRED FOR ANY STRUCTURE TO BE PLACED WITHIN THE 50' SINKHOLE BUFFER.
 - THE PROPERTY SHOWN ON THIS PLAT IS SUBJECT TO THE COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS SET FORTH IN THE COMMUNITY CHARTER FOR ARCADIA PENINSULA RECORDED AS INSTR. #201504140055640 IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE, AS IT MAY BE SUPPLEMENTED AND AMENDED ("COMMUNITY CHARTER").
 - THE COMMUNITY CHARTER PROVIDES THAT THE OWNER OF A LOT ON THIS PLAT AND ALL OTHER OWNERS OF THE PROPERTY DESCRIBED IN THE COMMUNITY CHARTER BE MANDATORY MEMBERS OF THE ARCADIA PENINSULA COMMUNITY ASSOCIATION, INC. ("ASSOCIATION").
 - THE ASSOCIATION'S CORPORATE CHARTER WAS RECORDED AS INSTR. #201503090047885 IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE, AS AMENDED BY INSTR. #201503140049033, AS IT MAY BE FURTHER AMENDED ("CORPORATE CHARTER").
 - ALL ROADWAYS SHOWN ON THIS PLAT IDENTIFIED AS (PRIVATE) AND ALL ADDITIONAL ROADS WITHIN THE PROPERTY SUBJECT TO THE COMMUNITY CHARTER SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE ASSOCIATION AS A PART OF THE ASSOCIATION'S "COMMON AREA," AS SUCH TERM IS DEFINED IN THE COMMUNITY CHARTER, AND SHALL NOT BE MAINTAINED BY KNOX COUNTY, TENNESSEE. THE COST OF MAINTAINING THE ROADWAYS AND OTHER COMMON AREAS SHALL BE LEVIED AS ASSESSMENTS BY THE ASSOCIATION AGAINST ALL PROPERTY SUBJECT TO THE COMMUNITY CHARTER. THE PRIVATE ROADWAYS WILL NOT BE MAINTAINED BY KNOX COUNTY, TENNESSEE.
 - THE ROADWAYS WILL BE A JOINT PERMANENT EASEMENT AND WILL BE A PART OF THE COMMON AREA, OWNED BY THE ASSOCIATION. JOINT PERMANENT EASEMENT WILL ALSO FUNCTION AS A UTILITY EASEMENT. JOINT PERMANENT EASEMENTS ARE ESTABLISHED AND RECORDED AS INSTR. #201509230019129.
 - TVA OWNS A FLOWAGE EASEMENT BELOW THE 820 CONTOUR LINE AS SHOWN ON THIS PLAN. NO BUILDING IS ALLOWED BELOW THE 820 CONTOUR. NO FILLING IS ALLOWED BELOW THE 820 CONTOUR WITHOUT PRIOR TVA APPROVAL.
 - ALL SITE WORK, LANDSCAPING, STRUCTURES, IMPROVEMENTS, AND OTHER ITEMS PLACED ON A LOT IN A MANNER OR LOCATION VISIBLE FROM OUTSIDE OF EXISTING STRUCTURES ("IMPROVEMENTS") ARE SUBJECT TO STANDARDS FOR DESIGN, LANDSCAPING AND AESTHETICS ADOPTED PURSUANT TO THE COMMUNITY CHARTER ("DESIGN GUIDELINES") AND THE APPROVAL PROCEDURES SET FORTH IN THE COMMUNITY CHARTER. ALL IMPROVEMENTS TO THE LOTS SHALL BE CONFINED TO THE ALLOWABLE BUILDING AREA ("BUILDING ENVELOPE") WHICH SHALL BE DETERMINED PURSUANT TO THE COMMUNITY CHARTER.
 - TVA OWNS A FLOWAGE EASEMENT BELOW THE 820 CONTOUR LINE AS SHOWN ON THIS PLAN. NO BUILDING IS ALLOWED BELOW THE 820 CONTOUR. NO FILLING IS ALLOWED BELOW THE 820 CONTOUR WITHOUT PRIOR TVA APPROVAL.

BUILDING SETBACKS
LOT 114

FRONT.....50'
SIDE.....30' (EAST SIDE)
SIDE.....10' (WEST SIDE - PROPOSED)
REAR.....30'



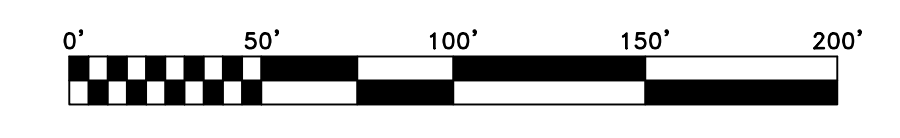
- LEGEND
- CENTERLINE OF ROAD
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - MSV SEWER VALVE
 - UGT U/G TELEPHONE PEDESTAL
 - TRANS ELECTRIC TRANSFORMER
 - WM WATER METER
 - PROPERTY CORNER
 - STORM CULVERT

USE ON REVIEW REQUEST
REVISE PREVIOUS BUILDING SETBACKS AS FOLLOWS:
SIDE SETBACK FROM 30' TO 10' ALONG THE WESTERN
PROPERTY LINE

9-G-20-UR
7/27/2020

ADDRESS:
10608 STOPPARD VIEW WAY
KNOXVILLE, TN 37922

	DESIGNED	DBH				
	DRAWN	JSM				
	CHECKED	DBH				
			NO.	DATE	REVISION	APPR.



SCALE
1"=50'
DATE
07-27-2020

OWNER:
SHAMEEK & VICTORIA KONAR
4510 STAUNTON ST.
HOUSTON, TX 77027
DEED REFERENCE: INSTR.#202003120060484
PLAT REFERENCE: INSTR.#201510230025631

USE ON REVIEW FOR
ARCADIA - PHASE IA
LOT 114
CLT MAP 163, PARCEL 28.19, DISTRICT 6
KNOX COUNTY, TENNESSEE

24000-LOT 114UR
SHEET 1 OF 1 SHEET(S)