



NEW FACILITY FOR

TAKE 5 CAR WASH

7590 BILL BELL WAY
POWELL, TN 37849

PROTO UPDATES 2022-1 - 11/11/2022

9-G-23-DP
8-30-2023

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C9.0	CIVIL SPECS	•				

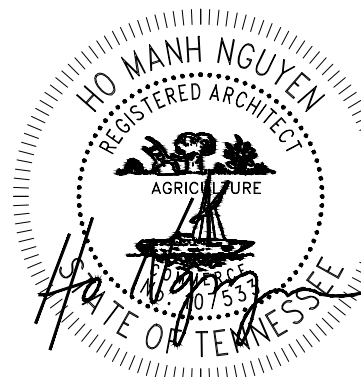


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Firm # 10518

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CYPRESS, TX. 77429
(832) 334-5000

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SEAL:



05.16.2023

CONSULTANT:



TAKE 5 CAR WASH
7590 BILL BELL WAY
POWELL, TN 37849

REV DATE DESCRIPTION

05.16.2023 PERMIT ISSUE

DRAWN BY: TMN
CHECKED BY: TMN

ARCH. PROJECT NO.:
MA #4727

SHEET NAME:

COVER
SHEET

SHEET NUMBER:

A0.00

ABBREVIATIONS

Ø	DIAMETER	- G -	RE: REFERENCE
@	AT	GA. GAUGE	REFR. REFRIGERATED
CL	CENTER LINE	GA. GALVANIZED	REIN. REINFORCED
#	POUND or NUMBER	G.C. GENERAL CONTRACTOR	REQD. REQUIRED
<	ANGLE	G.I. GALVANIZED IRON	RM. ROOM
		GR. GRADE	R.O.W. RIGHT OF WAY
A.B.	ANCHOR BOLT	GYP. BD. GYPSUM BOARD	RCP REFLECTED CEILING PLAN
A/C	AIR CONDITIONING	H.B. HOSE BIBB	- S -
A.C.	ASPHALTIC CONCRETE	H.C. HOLLOW CORE	SCHED. SCHEDULE
A.C.T.	ACOUSTICAL CEILING	HD. HEADER	SECT. SECTION
A.F.F.	ABOVE FINISH FLOOR	HDW. HARDWARE	SHT. SHEET
A.F.G.	ABOVE FINISH GRADE	HR. HOUR	SIM. SIMILAR
ALT.	ALTERNATE	HT. HEIGHT	SPEC. SPECIFICATION
A.S.T.M.	AMERICAN SOCIETY FOR TESTING & MATERIALS	H.M. HOLLOW METAL	SQ. SQUARE
		HOR. HORIZONTAL	S.S. STAINLESS STEEL
		HTG. HEATING	ST. STEEL
		HVAC HEATING VENTILATION & AIR CONDITIONING	STD. STANDARD
		H.W. HOT WATER	STOR. STORAGE
		I.D. INSIDE DIMENSION/DIAMETER	STRUCT. STRUCTURAL
		I.E. INVERT ELEVATION	S.O.V. SHUT OFF VALVE
		INSUL. INSULATION	SUSP. SUSPENDED
		INT. INTERIOR	T. TREAD
		- L -	TEL. TELEPHONE
		LAM. LAMINATED	TEMP. TEMPERATURE
		LAV. LAVATORY	T & G TONGUE & GROOVE
		LBS. POUNDS	T.O. TOP OF
		L.L. LANDLORD	T.S. TUBE STEEL
		- M -	TYP. TYPICAL
		MAX. MAXIMUM	U - U
		MD. MEDIUM DENSITY FIBERBOARD	U.O.N. UNLESS OTHERWISE NOTED
		MECH. MECHANICAL	U.L. UNDERWRITERS LABORATORY
		MTL. METAL	- V -
		MFR. MANUFACTURER	VERT. VERTICAL
		M.H. MAN HOLE	V.C.T. VINYL COMPOSITE TILE
		MIN. MINIMUM	V.T.R. VENT THROUGH ROOF
		MISC. MISCELLANEOUS	V.I.F. VERIFY IN FIELD
		MTD. MOUNTED	- W -
		M.O. MASONRY OPENING	W/ WITH
		MUL. MULLION	W.C. WATER CLOSET
		- N -	WD. WOOD
		(N) NEW	W.H. WATER HEATER
		EA. EACH	N.I.C. NOT IN CONTRACT
		EIFS EXTERIOR INSULATION FINISH SYSTEM	N.O. NUMBER
		ELEC. ELECTRICAL	N.R. NON RATED
		ENCL. ENCLOSURE	N.T.S. NOT TO SCALE
		E.J. EXPANSION JOINT	- O -
		EQ. EQUAL	O.C. ON CENTER
		EQUIP. EQUIPMENT	O.D. OUTSIDE DIMENSION/DIAMETER
		EXIST. EXISTING	OPP. OPPOSITE
		EXT. EXTERIOR	- P -
		- F -	P.L. PROPERTY LINE
		F.D. FLOOR DRAIN	PLBG. PLUMBING
		FIN. FLR. FINISH FLOOR	PLYD. PLYWOOD
		FIN. FINISH	P.O.C. POINT OF CURVATURE
		FLUOR. FLUORESCENT	P.S.I. POUNDS PER SQUARE INCH
		F.F. FACE OF	P.T. PRESSURE TREATED
		F.R.F. FIBERGLASS REINFORCED PANEL	- R -
		F.S. FLOOR SINK	R. RISER
		FT. FOOT/FEET	(R) RELOCATED
		FTG. FOOTING	RAD. RADIUS
		FURR. FURRING	R.D. ROOF DRAIN

ANNOTATION SYMBOL LEGEND

PLAN DETAIL REFERENCE	X	DOOR NUMBER	X
SHEET NUMBER	X	WINDOW TYPE	X
THIS SIGNIFIES DETAIL IS ON SAME SHEET	X	WALL TYPE	X
ELEVATION REFERENCE	X	KEYNOTE	X
SHEET NUMBER	X	EQUIPMENT CALLOUT	X
SUB-ELEVATION LETTER	A	REVISION NUMBER	
ELEVATION REFERENCE	D	ROOM NAME	ROOM LABEL
SHEET NUMBER	X	ROOM NUMBER	101
PLAN DETAIL REFERENCE	X	COLUMN GRID LINE NUMBER	X
SHEET NUMBER	X	FINISH CALLOUT	X-X
SECTION REFERENCE	X	CEILING HEIGHT	X'-X"
SHEET NUMBER	X	CEILING FINISH CALLOUT	X-X
DETAIL SECTION REFERENCE	X		
SHEET NUMBER	X		
ELEVATION HEIGHT	0'-0" A.F.F.		
ELEVATION LOCATION			
LAYOUT STARTPOINT			

CODE ANALYSIS

BUILDING CODES

2018 INTERNATIONAL BUILDING CODE (IBC); ARTICLE WITH AMENDMENTS
2021 INTERNATIONAL MECHANICAL CODE (IMC); ARTICLE WITH AMENDMENTS
2021 UNIFORM PLUMBING CODE (UPC); ARTICLE WITH AMENDMENTS
2020 NATIONAL ELECTRICAL CODE (NEC); ARTICLE WITH AMENDMENTS
2018 INTERNATIONAL FIRE CODE (IFC) AS ADOPTED BY KNOX FIRE DEPARTMENT

BUILDING SUMMARY

CONSTRUCTION TYPE: II-B
SPRINKLERED/STANDPIPES
USE/OCCUPANCY GROUP: B OCCUPANCY (PER SECTION 304.1) FOR CAR WASH
U OCCUPANCY (PER SECTION 312) FOR TRASH ENCLOSURE

MIXED USE:

ALLOWABLE BUILDING LIMITS
ALLOWABLE BUILDING HEIGHT: 40'-0" (PER IBC TABLE 504.3)
PROVIDED HEIGHT: 20'-8" (BUILDING); 29'-0" (TOWER)
ALLOWABLE NUMBER OF STORIES: 1 (PER IBC TABLE 504.4)
PROVIDED NUMBER OF STORIES: 1
ALLOWABLE BUILDING AREA: NO ALLOWABLE INCREASE REQUIREMENT.
PROPOSED BUILDING AREA IS UNDER ALLOWABLE AREA FACTOR
A₁ = 9,000 S.F.

PROVIDED BUILDING AREA:
EXPRESS CAR WASH 4,307 SQ. FT.
TRASH/VACUUM ENCLOSURES 373 SQ. FT.
Building area total 4,680 SQ. FT.

EXTERIOR CANOPIES (UNCONDITIONED AREA):
CANOPY AT ENTRY LANES 378 SQ. FT. (3 PAY STATIONS)
CANOPY AT VACUUM PARKING 1,229 SQ. FT. (111.7 S.F. x 11 STALLS)
Canopy area total 1,607 SQ. FT.
TUNNEL EXTERIOR DIMENSIONS: 24'-8" x 125'-4"

LIFE SAFETY SYSTEM REQUIREMENTS: LIFE SAFETY SYSTEM REQUIREMENTS:
Emergency Lighting: ☐ NO ☒ YES
Exit Signs: ☐ NO ☒ YES
Fire Alarm: ☐ NO ☒ YES
Smoke Detection Systems: ☐ NO ☒ YES
Panic Hardware: ☒ YES ☐ NO
Life safety systems generator: ☒ YES ☐ NO
• TABLE 601:0 FIRE RESISTANCE
• TABLE 602: + 30 FEET TO PROPERTY LINES, THEREFORE, NO FIRE RESISTANCE REQUIREMENTS
• PROTECTED OPENINGS TABLE 705.8: NOT LIMITED + 30 FEET

DEFERRED SUBMITTALS

THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY THE LOCAL JURISDICTION SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH THE LOCAL JURISDICTION.

A. FIRE ALARM SYSTEM

SEPARATE PERMITS

A. ALL EXTERIOR SIGNAGE TO BE SUBMITTED AND PERMITTED SEPARATELY BY OTHERS.
B. CAR WASH EQUIPMENT TO BE SUBMITTED BY OTHERS.
C. VACUUM EQUIPMENT TO BE SUBMITTED BY OTHERS.

PROJECT INFORMATION

CLIENT: DRIVEN BRANDS
440 S. CHURCH STREET, STE 700
CHARLOTTE, NC 28202
PROJECT: TAKE 5 CAR WASH
ADDRESS: 7590 BILL BELL WAY
POWELL, TN 37849
JURISDICTION: KNOX COUNTY
ZONING: SC (SHOPPING CENTER ZONE)
SETBACKS: FRONT 20'
SIDE (W. EMORY ROAD) 20'
SIDE (INTERIOR LOT) 5'
REAR 20'

SITE DATA

SITE DATA
SITE AREA: 137,291 S.F. / 3.15 ACRE
BLDG. LOT COVERAGE: 3.1 %
LANDSCAPE AREA: XXXX S.F.
LANDSCAPE COVERAGE: XX.X %

REQUIRED PARKING:

PARKING REQUIRED: 3 STALLS
STANDARD PARKING PROVIDED: 11
ACCESSIBLE PARKING STALLS: 1
PARKING PROVIDED: 12 STALLS
STANDARD VACUUM PROVIDED: 37
ACCESSIBLE VACUUM STALLS: 1
TOTAL VACUUM STALLS: 38 STALLS

HOURS OF OPERATION

MONDAY - SATURDAY: 7am-7pm
SUNDAY: 7am-6pm
NUMBER OF EMPLOYEES: (5-7) PER SHIFT

PLUMBING FIXTURES

PLUMBING FIXTURE OCCUPANT LOAD PER 2018 IPC TABLE 403.1 AND (50% MALE & 50% FEMALE)
USE GROUP B - 100/ PERSON FACTOR FOR OFFICE AREA

OFFICE AREA 68 S.F. /100 1 OCC.
RESTROOMS ACCESSORY AREA EXEMPT PER IPC TABLE 'A' **FOOTNOTE
EQUIPMENT ROOM 789 S.F. /5,000 1 OCC.
WASH TUNNEL 2,505 S.F. /5,000 1 OCC.
TOTAL 3 OCC.

3 OCCUPANTS: 1.5 M & 1.5 F	WATERCLOSETS		URINAL		LAVATORIES	
	1-50 MALE	1-15 FEMALE	1-100	1-50 MALE	1-50 FEMALE	
REQUIRED	.5	.5	0	.5	.5	
PROVIDED	.5	.5	0*1	.5	.5	

*1. IPC EXCEPTION NO.3; AS REQUIRED PROVIDING ONE ACCESSIBLE UNISEX RESTROOM FOR ALL EMPLOYEES AND CLIENT.

SCOPE OF WORK

THE PROPOSED PROJECT IS A NEW GROUND UP, ONE STORY 4,307 S.F. EXPRESS CAR WASH BUILDING WITH SITE IMPROVEMENTS. THIS PROJECT WILL CONSIST OF A CMU CAR WASH BUILDING THAT INCLUDES WASH BAY WITH SOLID ROOF STRUCTURE. THE INTERIOR SPACES WILL INCLUDE AN OFFICE, EQUIPMENT ROOM, AND RESTROOM.

THE SITE IMPROVEMENTS INCLUDE MODERATE FINE GRADING OF PAD, LANDSCAPING WITH IRRIGATION, CONCRETE PAVEMENT PARKING FIELD, FREESTANDING VACUUM STALL CANOPIES, AUTOMATED PAY STATIONS WITH CANOPIES, SITE LIGHT FIXTURES & POLES WITH BASES, A 373 S.F. COMBINED CMU TRASH & VACUUM EQUIPMENT ENCLOSURE, AND A HARDCAPE WALKWAY ALONG BUILDING LEADING TO PUBLIC WAY. UNDERGROUND UTILITIES WILL ALSO BE INCLUDED TO SERVICE THIS SITE.

PROJECT CONSULTANTS

OWNER
LOWES HOME CENTERS INC.
1000 LOWES BLVD.
MOORESVILLE, NC 28115
CONTACT: 704.758.1000
PHONE: (832) 334-5000
EMAIL: matthew.gilbert@drivenbrands.com

STRUCTURAL
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5906 OLD FREDERICKSBURG ROAD, #300
AUSTIN, TX 78749
CONTACT: STEPHEN TENBROOK
PHONE: (512) 301-3389
EMAIL: STENBROOK@TDI-LLC.NET

DEVELOPER/ LANDLORD
DRIVEN BRANDS
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CONTACT: MATTHEW GILBERT
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MORRIS & ASSOCIATES
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CONTACT: TY TURNER
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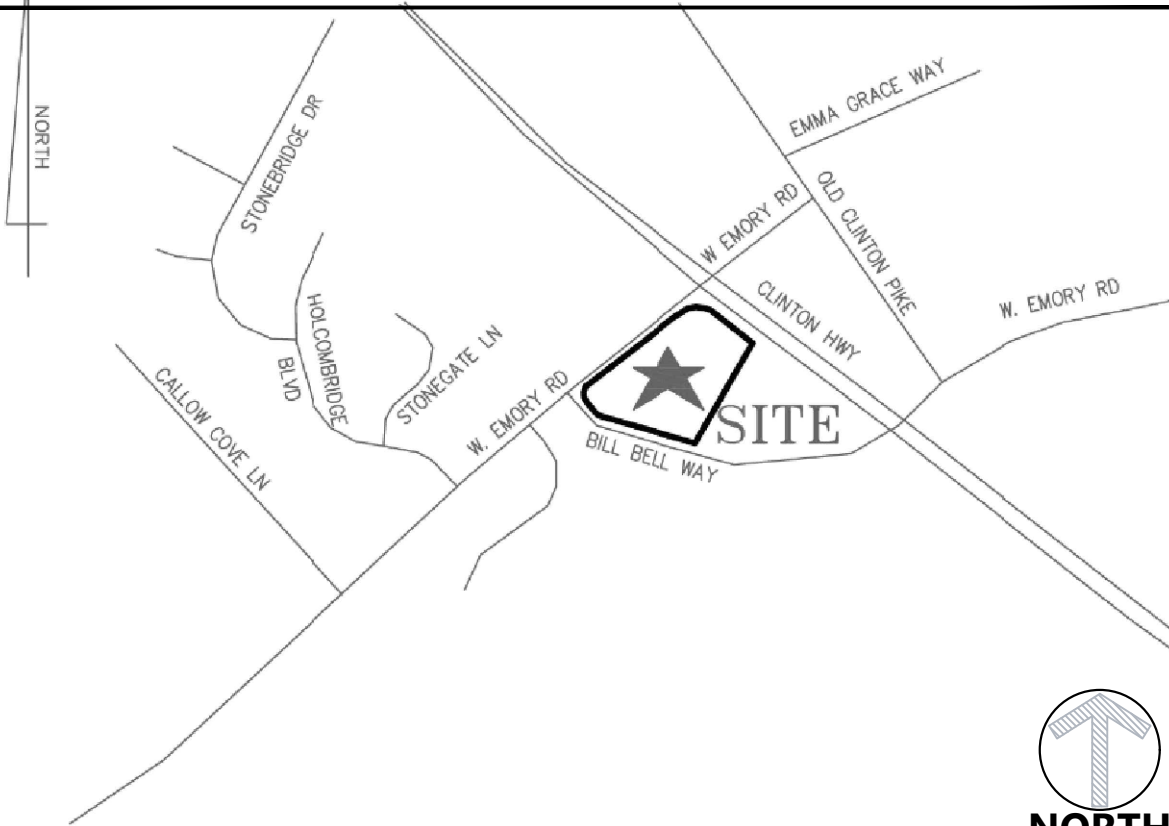
JURISDICTION CONTACTS

BUILDING & SAFETY:
KNOX COUNTY
CITY COUNTY BUILDING, SUITE 547
400 MAIN STREET
KNOXVILLE, TN 37902
PHONE: (865) 215-2325
CONTACT: MARY

FIRE DEPARMENT:
KNOX COUNTY FIRE PREVENTION
400 MAIN STREET
KNOXVILLE, TN 37902
PHONE: (865) 215-4660
CONTACT: TRAVIS EVANS

PLANNING
KNOXVILLE-KNOX COUNTY PLANNING
400 MAIN ST., RM. 547
KNOXVILLE, TN 37902
PHONE: (865) 215-2325
CONTACT: TERRY GILHULA

VICINITY MAP



GPS SURVEY NOTE:
ALL BOUNDARY MONUMENTS AND SURVEY CONTROL WAS PERFORMED USING GPS
RECEIVER: TOPCON HIPER SR NETWORK ROVER, DUAL FREQUENCY WAS USED (L1,L2)
GPS SURVEY PERFORMED WAS NETWORK ADJUSTED REAL TIME KINEMATICS BASED ON
TDOT GNSS NETWORK NAD83(NSRS2007) VERTICAL DATUM IS NAVD88, GEOID09.
PRECISION OF THE GPS WORK RPA: 2 CM PLUS 50 PARTS PER MILLION (BASED ON THE
DIRECT DISTANCE BETWEEN THE TWO CORNERS BEING TESTED).
DISTANCES HAVE NOT BEEN REDUCED TO GRID.

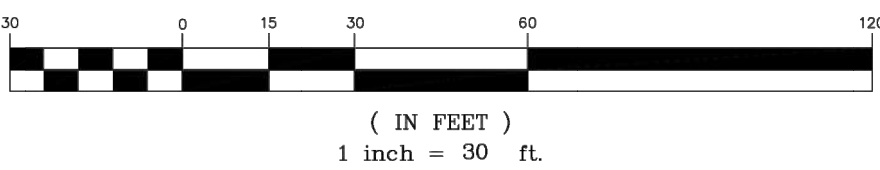
Chicago Title Insurance Company
Commitment Number: 20221392CTN
Commitment Date: July 15, 2022 at 08:00 AM
ITEMS FROM SCHEDULE B SECTION II

9. Subject to all matters shown on the Plan of record as Instrument Number 201712080035467 and Plot Instrument No.20160817001177, Register's Office of Knox County, Tennessee.
- DOES AFFECT SUBJECT PROPERTY – SEE DRAWING
10. Declaration of Joint Permanent Easement for Private Roadway and Utilities of record in Instrument Number 201608040008284 and Amended and Restated Declaration of Joint Permanent Easement for Private Roadway and Utilities in Instrument No. 201712080035467, in the Register's Office for Knox County, Tennessee.
- EASEMENT FROM INSTRUMENT NUMBER 201608040008284 WAS REVOKED BY PLAT (SEE NUMBER 20170200300407)
- PRIVATE ROADWAY & UTILITIES EASEMENT FROM INSTRUMENT 20170200300407 DOES AFFECT SUBJECT PROPERTY – SEE DRAWING
11. New Service Utility Easement of record in Instrument Number 201705100068499, in the Register's Office for Knox County, Tennessee.
- DOES NOT AFFECT SUBJECT PROPERTY
12. Utility Easement of record in Instrument Number 200803280072131, in the Register's Office for Knox County, Tennessee.
- DOES AFFECT SUBJECT PROPERTY – SEE DRAWING
13. Easement of record in Instrument Number 200305270121111, in the Register's Office for Knox County, Tennessee.
- DOES NOT AFFECT SUBJECT PROPERTY
14. Highway Right of Way Conveyances and Easements of record in Book 2022, Page 328, in the Register's Office for Knox County, Tennessee.
- DOES NOT AFFECT SUBJECT PROPERTY
15. Covenants for Permanent Maintenance of Stormwater Facilities and Best Management Practices of record in Instrument Number 201608160010816, in the Register's Office for Knox County, Tennessee.
- DOES AFFECT SUBJECT PROPERTY – NOT ABLE TO PLOT
16. Terms and provisions of Lease Agreement of record in Book 2751, Page 1105 and Assignment of Lessor's Interest in Leases in Instrument No. 201602220048585, in the Register's Office for Knox County, Tennessee.
- DOES AFFECT SUBJECT PROPERTY – NOT ABLE TO PLOT

Property Legal Description
Commitment Number: 20221392CTN

Being land in the Six (6) Civil District of Knox County, Tennessee and the City of Powell, Tennessee, and being shown as Lot No. 2R, of Final Plat for LKM Properties, Resubdivision of Lots 1 – 2, of record in Plot Instrument 201712080035467, in the Register's Office of Knox County, Tennessee.

GRAPHIC SCALE



LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM



DRAWN BY: M.STRANGE
CHECKED BY: R. LYNCH
APPROVED BY: R.S.L.
SCALE: 1"=30'
DATE: 12/01/2022

REVISIONS

1
2
3
4
5
6

Matt Marek
Morris Associates, Engineers & Architect
14139 Huffmeister Road
Cypress, Texas 77429
Phone: (865) 637-7777

SURVEYOR'S CERTIFICATE

To: Chicago Title Insurance Company, American Land Title Association, Boing Holdco, Inc. and LKM Properties, L.P., a Tennessee limited partnership;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 5, 6(a), 7(a), 8, 11(a) and 19 of Table A thereof. The field work was completed on 11/25/2022.

Date of Plat or Map: 12/01/2022

Ryan S. Lynch, Registration/License No. TN 2447

ALTA/NSPS LAND TITLE SURVEY OF:

LKM Properties
Lot 2R
Powell, Tennessee
District 6, Knox County, Tennessee

PROJECT NO.

4711

SHEET TITLE

SURVEY

PROJECT NUMBER

4727

DATE: 05.15.2023
SCALE: AS NOTED
DRAWN: SJ
CHECKED: TT
SHEET NO.

BY OTHERS - FOR REFERENCE ONLY

C0.1

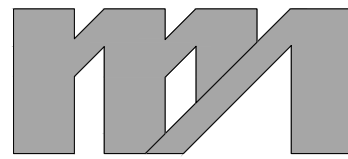


DATE	05/15/2023
DESCRIPTION	
PERMIT ISSUE	
DELTA	

TAKE 5 CARWASH

7500 BILL BELL WAY,
POWELL, TN 37849

ENGINEER:



morris + associates
Build on Our Strengths
FIRM # 31775

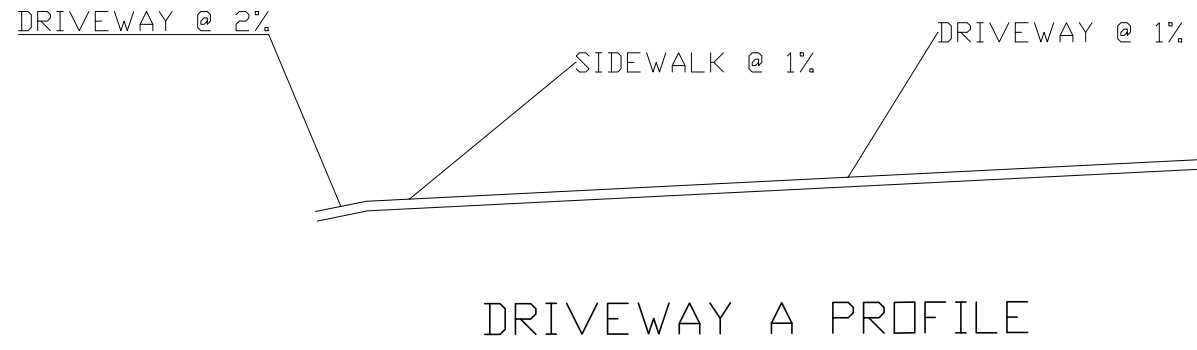
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STAMPS



Z:\Shared_Folders\PROJECTS\DRIVEN BRANDS\4727 CARWASH - POWELL, TN\DWG\CIVIL\PRODUCTION\C2.0 - SITE PLAN - MODIFIED DRIVEWAY.dwg,Kyle KoneB/30/2023 4:07 PM



DRIVEWAY PROFILE

HORIZONTAL SCALE : 1" = 30'
VERTICAL SCALE : N.T.S.

PLANT LIST			
KEY NUMBER	PLANT TYPE	QUANTITY	SIZE
A	NORWAY SPRUCE (PICEA ABIES)	30	
B	SYCAMORE (PLATANUS OCCIDENTALIS)	16	
C	SOFT TOUCH HOLLY (ILEX CRENATA)	103	

LEGEND:

	PROPERTY LINE
	TRAFFIC DIRECTION PAVEMENT MARKINGS
	EASEMENT
	BUILDING SETBACK
	BUILDING
	CONCRETE SIDEWALK
	STANDARD DUTY REINFORCED CONCRETE PAVEMENT
	HEAVY DUTY REINFORCED CONCRETE PAVEMENT
	GRASS (SOD)

KEY SCHEDULE:

1. AUTOMATED CARWASH BUILDING; REF. ARCH AND STRUCTURAL DWGS
2. VACUUM STALL; REF ARCH DWGS
3. PAY STALL; REF ARCH DWGS
4. VACUUM EQUIPMENT; REF MEP & ARCH DWGS
5. VACUUM EQUIPMENT ENCLOSURE; REF ARCH DWGS
6. 6" CONCRETE CURB AND GUTTER; REF DTL 9/C7.0. SEE ALSO NOTE 6
7. BUSINESS SIGN; REF SIGN VENDOR DWGS
8. 4" WIDE WHITE PAVEMENT STRIPING
9. 4" WIDE WHITE PAVEMENT STRIPING @ 45° ANGLE
10. HANDICAP ACCESSIBLE SPACE; REF DTL 1/C7.1
11. CONCRETE SIDEWALK; REF DTL 1/C7.0
12. STANDARD DUTY CONCRETE PAVEMENT;
13. HEAVY DUTY CONCRETE PAVEMENT; REF DTL 4/C7.0
14. HANDICAP ACCESSIBLE RAMP; REF DTL 4/C7.1
15. LIMITS OF NEW CONCRETE PAVEMENT; REF DTL 7/C7.0
16. 6" BOLLARD; REF DTL 5/C7.1
17. DUMPSTER; REF ARCH DWGS
18. DUMPSTER ENCLOSURE; REF ARCH & STRUCTURAL DWGS
19. AREA LIGHT; REF MEP DWGS
20. GRASS (SOD); REF SHEET L1.0
21. HANDICAP ACCESSIBLE SIGN ON BOLLARD; REF DTL 3/C7.1
22. CURB INLET; REF DTL 1/C7.2
23. STORM MANHOLE; REF DTL2/C7.2

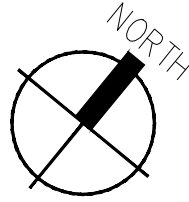
FILE NUMBER: 9-G-23-DP

GENERAL INFO:

1. THE EXISTING SITE LAYOUT AS SHOWN ON THESE DRAWINGS HAS BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY THESE DRAWINGS WITH ACTUAL SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND ANY NEW PAVEMENT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL NECESSARY UTILITIES PRIOR TO INSTALLATION OF NEW PAVEMENT.
4. ALL NEW CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE A MINIMUM 3000 PSI UNLESS OTHERWISE NOTED.
5. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE. EXCESS MATERIAL SHALL BE DISPOSED OF OFF THE OWNER'S PROPERTY AT NO ADDITIONAL COST.

SITE PLAN

SCALE : 1" = 30'

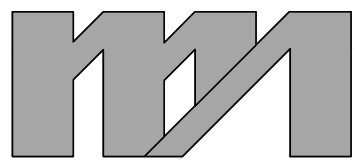


DATE	05/15/2023
DESCRIPTION	
PERMIT ISSUE	
DELTA	

TAKE 5 CARWASH

7590 BILL BELL WAY,
POWELL, TN 37849

ENGINEER:



morris + associates
Build on Our Strengths

FIRM # 31775

14139 HUFFMEISTER ROAD
CYPRESS, TX. 77429
(832) 334-5000

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SHEET TITLE

SITE PLAN

PROJECT NUMBER

4727

DATE 05.15.2023

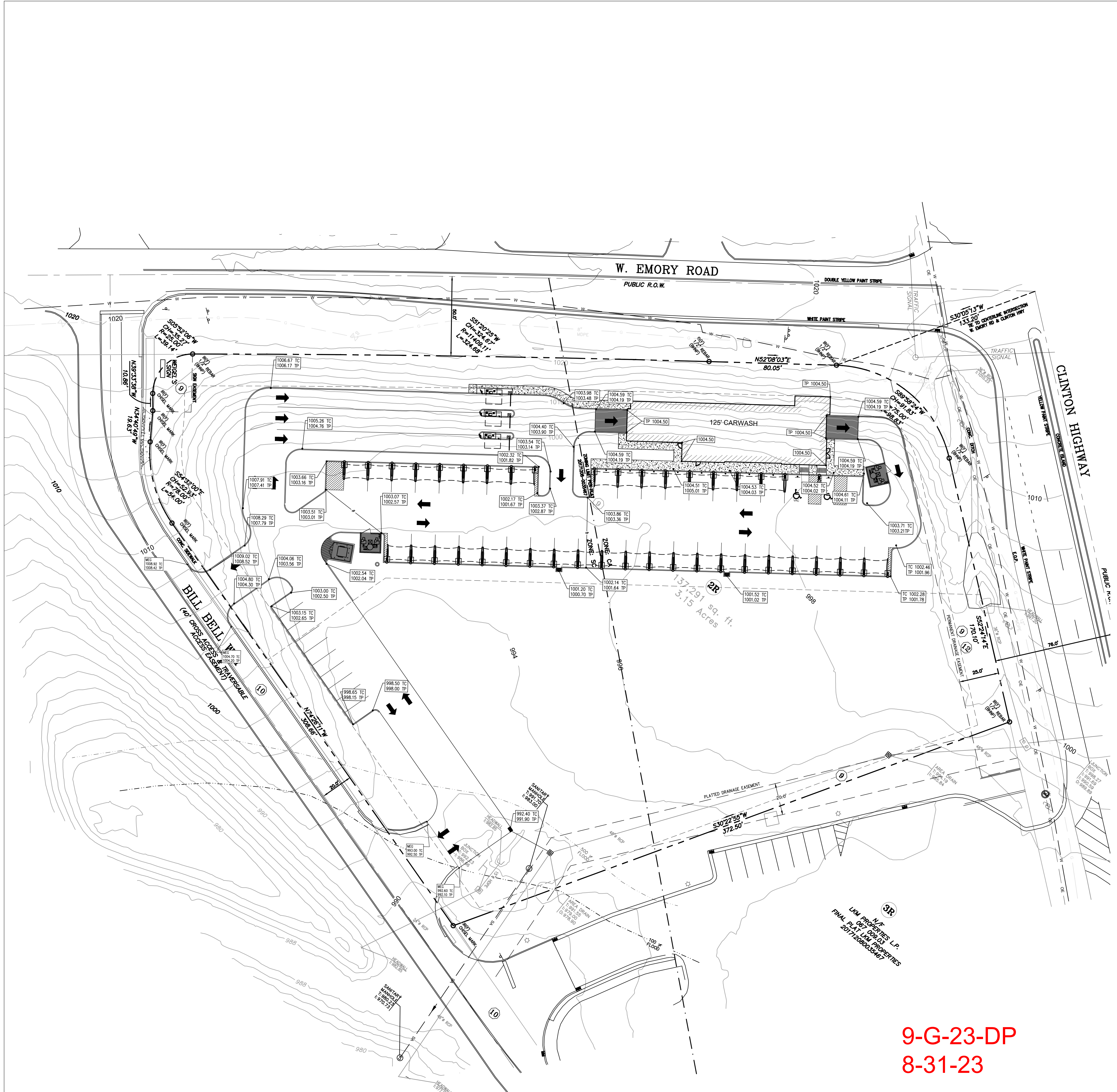
SCALE AS NOTED

DRAWN TJ

CHECKED TT


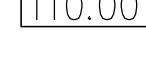



SHEET NO

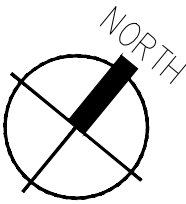
C2.0



9-G-23-DP
8-31-23

LEGEND:

	PROPERTY LINE
	MATCH EXISTING GRADE W/ APPROXIMATE ELEV.
	MATCH EXISTING CURB
100.0	EXISTING GRADE
100.0	PROPOSED GRADE
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GRATE
TI	TOP OF INLET
TMH	TOP OF MANHOLE
	FLOW ARROW
	EXIST. STORM PIPE



DELTA	DESCRIPTION	DATE
	PERMIT ISSUE	05/15/2023

TAKE 5 CARWASH

7590 BILL BELL WAY,
POWELL, TN 37849

NOTES:

1. CONTRACTOR TO VERIFY ALL GRADES PRIOR TO FORMWORK OR PLACEMENT OF REINFORCEMENT AND CONCRETE.
2. NO TREES SHALL BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY AE.
3. TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6 INCHES.
4. ALL NEW STRUCTURES AND EXISTING STRUCTURES SHALL HAVE SEDIMENT REMOVED BEFORE FINAL ACCEPTANCE.
5. NEW SPOT ELEVATIONS REPRESENT FINISHED GRADE, TOP OF FINISHED PAVEMENT AND TOP OF CONCRETE.
6. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS OF THIS INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHOULD BE CONTACTED PRIOR TO BEGINNING WORK.
7. ALL CURBS SHALL BE BACK FILLED WITH TOP SOIL AND LANDSCAPED UNLESS NOTED OTHERWISE.
8. SIDEWALK TO DRAIN AWAY FROM BUILDING AT ALL LOCATIONS (2% MAX)

GRADING SITE PLAN

SCALE : 1" = 30'



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SHEET TITLE	
<h1 style="margin: 0;">GRADING SITE PLAN</h1>	
PROJECT NUMBER	
<h2 style="margin: 0;">4727</h2>	
DATE	08.31.2023
SCALE	AS NOTED
DRAWN	SJ
CHECKED	TT
SHEET NO	

C3.0

OVERALL EXIT WIDTH CALCULATIONS						
AREA	AREA OCC. LOAD	EXIT NUMBER	OCC. LOAD PER EXIT	MIN. WIDTH REQUIRED	WIDTH PROVIDED	MAX. LOAD ALLOWED
101 EQUIPMENT ROOM	3	EXIT 1	3	3 X 0.20 = 0.60' CLR.	69" CLEAR	69' / 60 = 115
102 RESTROOM	1	EXIT 2	1	1 X 0.20 = 0.20' CLR.	33" CLEAR	33' / 20 = 165
103 OFFICE	1	EXIT 3	1	1 X 0.20 = 0.20' CLR.	33" CLEAR	33' / 20 = 165

NOTE: EXIT DOOR WIDTH NEVER TO BE LESS THAN 32" AS MEASURED PER IBC 1010.1.1

1. DOORS IN THE MEANS OF EGRESS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT AS SET FORTH IN IBC CHAPTER 10, SECTION 1008.1.8.
2. APPROVED EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL AS REQUIRED BY IBC CHAPTER 10, SECTION 1011.1, AND SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AS REQUIRED BY SECTION 1006 IN ADDITION TO ANY OTHER REQUIREMENTS SET FORTH IN IBC SECTIONS 1004 AND 1006.4. ADDITIONAL EXIT SIGNS MAY BE REQUIRED AT TIME OF FIELD INSPECTION.
3. ANY TIME A BUILDING OR A PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPANCY PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL.

KEYNOTE DESCRIPTION

1. TACTILE EXIT SIGN. REFER TO SIGNS AND IDENTIFICATION SECTION ON 9/A012 FOR MORE INFORMATION.
2. EMERGENCY EXIT SIGN, REFER TO ELEC. DWG'S.

KEYNOTES

- A. REFER TO COVER SHEET FOR PROJECT CODE INFORMATION AND ANALYSIS
- B. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF OBSTRUCTION AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.
- C. EMERGENCY LIGHTS SHALL PROVIDE AN AVERAGE OF 1 FOOT CANDLES ALONG THE PATH(S) OF EGRESS MEASURED AT THE FLOOR LEVEL.
- D. IT IS THE INTENT THAT THIS PROJECT IS IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE CONDITIONS OF THE SPACE. ANY WORK IN QUESTION SHALL NOT COMMENCE UNTIL WRITTEN CLARIFICATION IS ISSUED BY THE ARCHITECT.
- E. REFER TO SHEET E200 FOR ELECTRICAL LIGHTING PLAN.
- F. REFER TO A201 FOR ENLARGED RESTROOM PLAN AND ELEVATIONS. FOR ADA CLEARANCES.
- G. CONTRACTOR SHALL FURNISH AND INSTALL ADDRESSING NUMBERS PER THE REQUIREMENTS OF THE GOVERNING FIRE MARSHALL.

 EXIT SIGN - ARROW INDICATES DIRECTIONAL SIGN
(REFER TO E200 ELECTRICAL LIGHTING PLAN)

 EMERGENCY LIGHT (REFER TO E200 ELECTRICAL LIGHTING PLAN)

EMERGENCY LIGHT (REFER TO E200 ELECTRICAL LIGHTING PLAN)

- NUMBER OF OCCUPANTS

-) EXIT WIDTH REQUIRED (0.2 INCHES PER OCCUPANT)

EXIT WIDTH PROVIDED

-	SQUARE FOOTAGE
---	----------------

1 :-	OCCUPANT LOAD FACTOR
------	----------------------

- NUMBER OF OCCUPANTS

PATH OF EGRESS

ACCESSIBLE MANEUVERING CLEARANCE. REFER TO ACCESSIBILITY
DETAIL 4/A0.11.

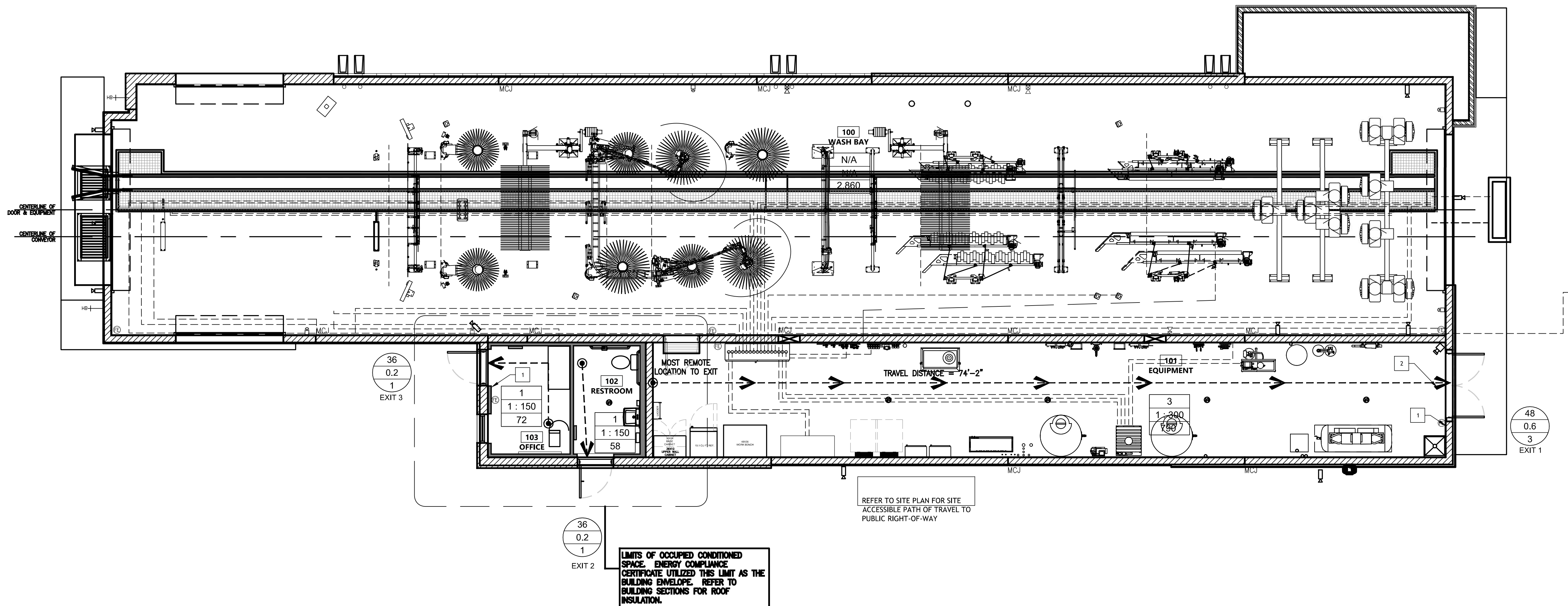
UL LABELED (10 LB MINIMUM) MULTI PURPOSE DRY CHEMICAL PORTABLE FIRE EXTINGUISHER(S) DESIGNATED FOR CLASS "A", "B", AND "C" FIRES. (MANUFACTURER: J.L INDUSTRIES; COSMIC 10E, 4A-80BC OR EQUAL). FIRE EXTINGUISHER(S) SHALL BE LOCATED THROUGHOUT THE SPACE SUCH THAT THE TRAVEL DISTANCE FROM ANY POINT WITHIN THE SPACE DOES NOT EXCEED 75'. MOUNTING LOCATIONS SHALL BE CONSPICUOUS WITH NO OBSTRUCTIONS LIMITING SIGHT LINES. THE FIRE EXTINGUISHER(S) SHALL BE MOUNTED AT A MINIMUM OF 48" ABOVE THE FINISH FLOOR. OBTAIN THE APPROVAL OF THE FIRE CODE OFFICIAL FOR PROPOSED LOCATIONS PRIOR TO INSTALLATION.

EGRESS PLAN CALCULATIONS

EGRESS PLAN NOTES

GENERAL NOTES

LEGEND



CODE AND EGRESS PLAN

$$3/16'' = 1'-0$$

NORTH

SHEET NUMBER:

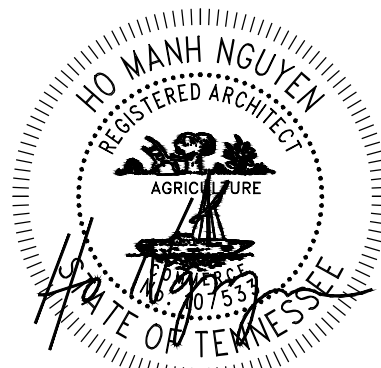
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SEAL:



05.16.2023

■ **CONSULTANT:**



TAKE 5 CAR WASH
77590 BILL BELL WAY
POWELL, TN 37849

[illegible]

DRAWN BY: TMN
CHECKED BY: TMN

ARCH. PROJECT NO.:

MA #4727

SHEET NAME

CODE AND EGRESS PLAN

SHEET NUMBER:

A0.20






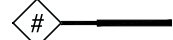




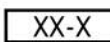


- ## TYPICAL VACUUM & PAY KIOSK ISLAND SECTIONS



- | |
|-----------------|
| $1/4'' = 1'0''$ |
|-----------------|



-
- Architectural floor plan of a room. The room is rectangular with overall dimensions of 15'-8" wide by 11'-8" deep. The plan includes a central area labeled "104 ATTIC" and a smaller area labeled "FC-3". A callout "23" points to a specific feature. A door is shown on the right wall, labeled "8". The room is bounded by a thick wall on the left and a thick wall on the right. The top wall is labeled "C" and the bottom wall is labeled "A". The right wall is labeled "M.O." and has a dimension of 4'-0" from the top to the door. The door is 2'-4" wide. The room is divided into two sections by a vertical wall. The left section is 7'-3" wide. The right section is 8'-5" wide. The room is labeled "300A" in the top right corner.

- | SYMBOL | DESCRIPTION |
|--|--|
|  | 2X4 METAL STUD WALL @ 16" OC W/BATT INSUL. AND WP-1 VINYL PANEL FINISH. FASTEN TOP PLATE TO JOISTS PER STRUCTURAL FASTENING SCHEDULE |
|  | CMU WALLS TO RECEIVE 2 COATS OF BLOCK FILL PRIMER, EXTERIOR SEALANT, CONT. AT JTS BETWEEN CMU. INSTALL WP-1 OVER 2X6 STUD WALL. CI SIZING PER ENERGY REQUIREMENTS. |
|  | 2X6 METAL STUD WALL @ 16" OC |
|  | WALL PARTITION INDICATOR
- SEE WALL DETAILS ON SHEET A7.00 |
|  | DETAIL INDICATOR |
|  | DOOR SYMBOL |
|  | WINDOW SYMBOL |
|  | ELEVATION SYMBOL |
|  | FINISH SYMBOL - REFER TO INTERIOR FINISH SCHEDULE A8.20 |
|  | WINDOW |
|  F.E. | FIRE EXTINGUISHER: 2A:10B:C; 5 LBS; MODEL# B500 WITH WALL BRACKET 888-16591 BY AMEREX OR APPROVED EQUAL - 75' MAX. TRAVEL DISTANCE TO EXTINGUISHER (CFC 906) - FINAL APPROVAL/LOCATION AS DETERMINED BY FIRE DEPT. INSPECTOR |

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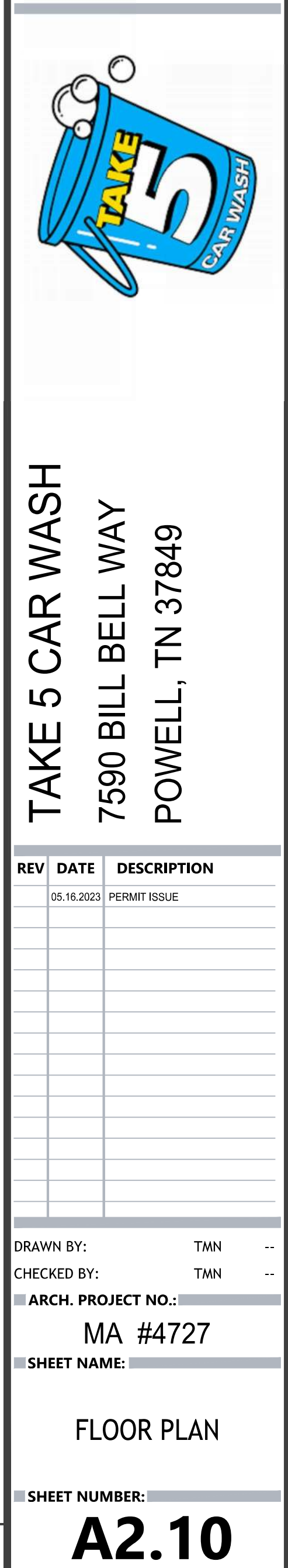
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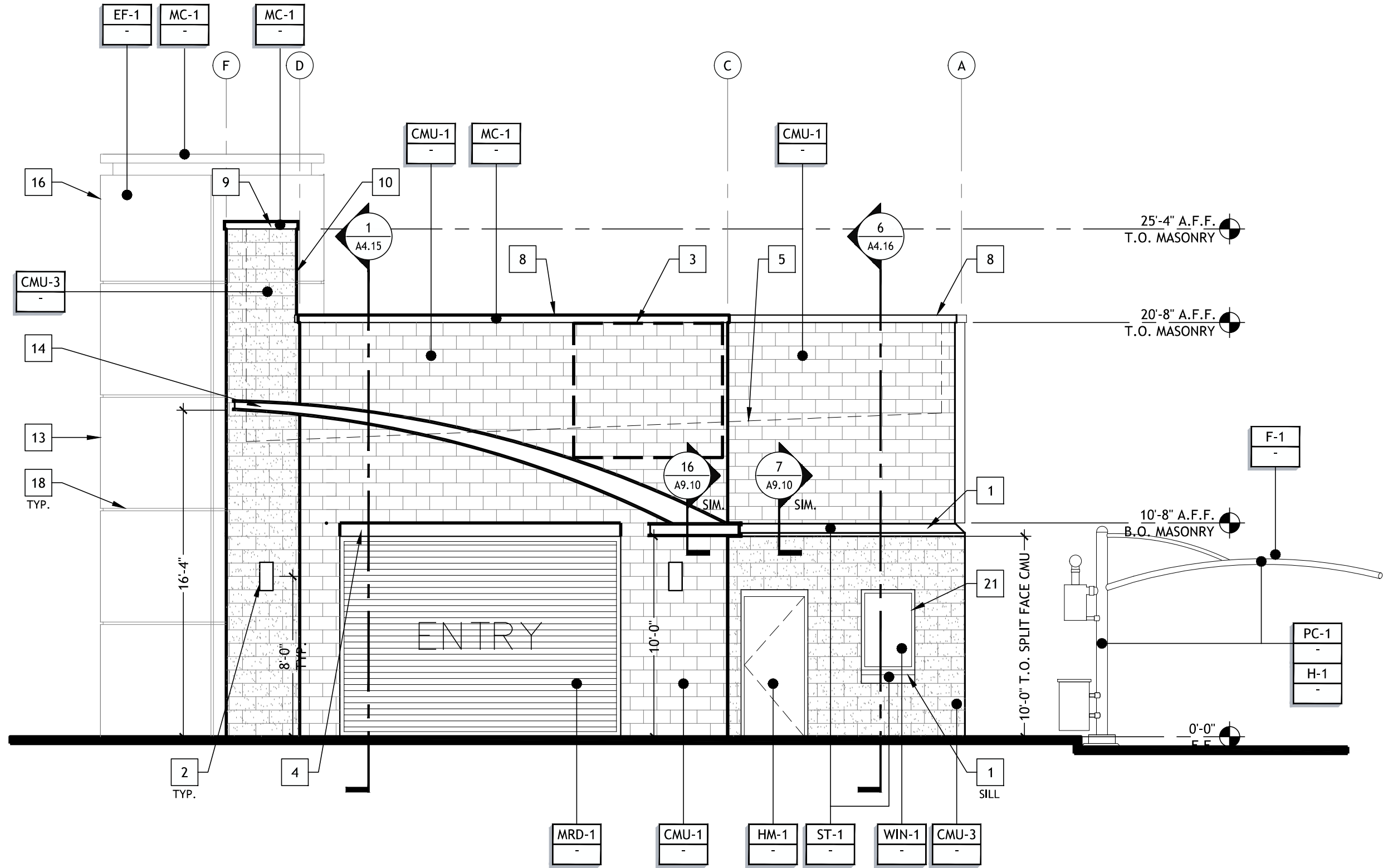
SEAL:

HO MANH NGUYEN
REGISTERED ARCHITECT
AGRICULTURE
STATE OF TEXAS
No. 14139

05.16.2023

CONSULTANT:





WEST ELEVATION

3/16" = 1'-0"

4 GENERAL NOTES

KEYNOTES

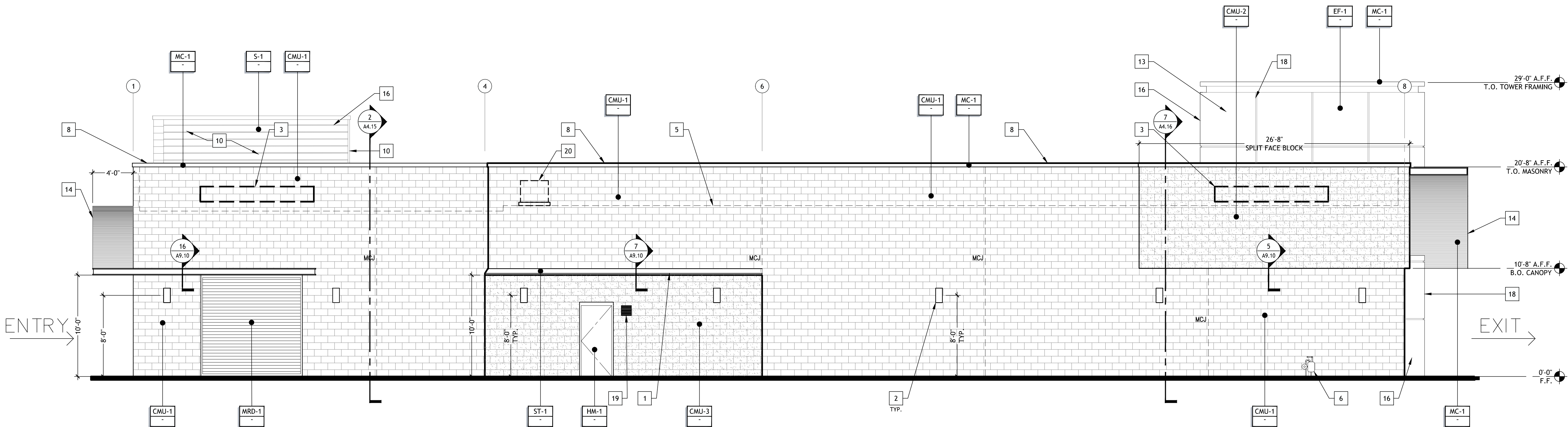
EXTERIOR MATERIAL AND FINISH SCHEDULE

MARK	ITEM	MANUFACTURER	DESCRIPTION	COMMENTS
ST-1	CAST STONE CAP	LOCAL SOURCE	CAST STONE CAP (LOCALLY SOURCED)	REFER TO STRUCTURAL FOR MATERIAL SPECIFICATIONS
CMU-1	CONCRETE MASONRY UNIT	OLD CASTLE/ESHELON	MODEL: 8" SMOOTH; COLOR: PAINT SPECIFICATION #5, #7	FOR JURISDICTIONS THAT DO NOT ALLOW PAINT; ACCENT COLOR: HILLCREST GRAY; DARK: APACHE BROWN
CMU-2	CONCRETE MASONRY UNIT	OLD CASTLE/ESHELON	MODEL: 10" SPLIT FACE; COLOR: PAINT SPECIFICATION #7	FOR JURISDICTIONS THAT DO NOT ALLOW PAINT; ACCENT COLOR: HILLCREST GRAY; DARK: APACHE BROWN
CMU-3	CONCRETE MASONRY UNIT	OLD CASTLE/ESHELON	MODEL: 12" SPLIT FACE; COLOR: PAINT SPECIFICATION #5	FOR JURISDICTIONS THAT DO NOT ALLOW PAINT; ACCENT COLOR: HILLCREST GRAY; DARK: APACHE BROWN
MC-1	METAL COPING	METAL-ERA	MODEL: PERMA-TITE; COLOR: DARK BRONZE	TAPERED
P-1	EXTERIOR PAINT	SHERWIN WILLIAMS		WALLS: PAINT SPECIFICATION #7
P-2	EXTERIOR PAINT	SHERWIN WILLIAMS		CANOPIES: PAINT SPECIFICATION #6 DOORS AND FRAMES: PAINT SPECIFICATIONS #5
EF-1	EIPS			PAINT SPECIFICATION #7
HM-1	HOLLOW METAL DOOR			REFER TO DOOR SCHEDULE, PAINT SPECIFICATION #5
MRD-1	METAL ROLL-UP DOOR			REFER TO DOOR SCHEDULE, PAINT SPECIFICATION #5
S-1	SIDING	JAMES HARDIE	FIBER CEMENT ARTISAN V GROOVE SIDING	8.25"x12" PRIMED, PAINT TO MATCH DARK CMU
F-1	SHADE FABRIC- VACUUM ARCHES	POLYFAB	MODEL: COMTEX; COLOR: 865227 RED	
PC-1	POWDER COAT- VACUUM ARCHES	CARDINAL PAINTS VIA VACUTECH	COLOR: SILVER METALLIC 30 GLOSS T353GR06	FACTORY POWDER COATED
PC-2	POWDER COAT - TSS CANOPHY	TSS	COLOR: BLUE	FACTORY POWDER COATED
H-1	VACUUM HOSE	VACUTECH	COLOR: RED	
WIN-1	STOREFRONT WINDOW	KAWNEER	COLOR: FACTORY FINISH- DARK BRONZE	

- A. CONTRACTOR TO COORDINATE WITH FIRE MARSHALL FOR REQUIREMENTS OF ADDRESS NUMBER.
- B. BUILDING SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO OBTAIN FINAL SIGNAGE DRAWINGS FOR CONFIRMATION OF ELECTRICAL ROUGH-IN PRIOR TO THE COMMENCEMENT OF WORK. SEE ELECTRICAL.
- C. REFER TO LOW VOLTAGE PLAN. COORDINATE FINAL LOCATIONS OF CAMERAS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- G. UNLESS NOTED OTHERWISE, MASONRY CONTROL JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEEDS 24'-0". REFER TO GENERAL STRUCTURAL NOTES ON STRUCTURAL DRAWINGS.
- F. REFER TO DOOR AND WINDOW SCHEDULE ON A8.00 FOR DOOR AND FRAME FINISHES AND WINDOW GLASS TYPE AND FRAME FINISHES.

- # KEYNOTE DESCRIPTION
1. PRECAST CONC WATERTABLE.
 2. WALL SCONCE; REFER TO ELECTRICAL DWG'S.
 3. SIGNAGE, BY OTHERS. "UNDER SEPARATE PERMIT. GC TO PROVIDE ELECTRICAL J-BOX FOR SIGNAGE, REFER TO ELEC DWG'S.
 4. STEEL TUBE FRAME AT OVERHEAD DOORS, REFER TO STRUCTURAL DRAWINGS.
 5. TPO MEMBRANE ROOF SYSTEM. REFER TO ROOF PLAN A2.50. ROOF LINE SHOWN DASHED.
 6. GAS METER, REFER TO PLUMBING DRAWINGS.
 7. BUILDING ADDRESS SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. MIN. 6" HIGH NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, REFER TO JURISDICTION FIRE PREVENTION CODE REQUIREMENTS. ADDRESS NUMBERS SHALL BE 6" BLACK ALUMINUM FLOATING OR FLAT MODERN HOUSE NUMBERS 0-9 BY MONTAGUE METAL PRODUCTS, INC.; COLOR: BLACK WITH 1.0 STROKE. OR EQUAL.
 8. PREFORMED PRE-FINISHED ALUM. COPING WITH CONT. HOLD DOWN CLIPS ON BOTH SIDES OF THE PARAPET; FINISH: DARK BRONZE; REFER TO SPECIFICATIONS 07 54 00 FOR MORE INFORMATION.
 9. PREFORMED PRE-FINISHED ALUM. GRAVEL STOP WITH BAKED ENAMEL FINISH AND CONT. HOLD DOWN CLIPS ON FRONT SIDE OF PARAPET
 10. EXPOSED SIDEWALL & REAR AT TOWER TO RECEIVE JAMES HARDIE FIBER CEMENT ARTISAN V GROOVE SIDING. 8.25" X12" PRIMED. PAINT TO MATCH 4" X 8" X 16" SPLIT FACE CMU VENEER W/ DRYBLOC ADDITIVE, DARK GRAY COLOR. SEALANT BETWEEN CMU AND SIDING
 11. MITER CUT PRECAST CONC WATERTABLE TO FIT SLOPE
 12. SIDEWALL GRAPHIC STRIP, COLOR BY SIGNAGE VENDOR. FURNISHED BY OWNER INSTALLED BY CONTRACTOR.
 13. EIPS FINISH BY MANUFACTURER.
 14. CANOPY BY SIGNAGE VENDOR. "UNDER SEPARATE PERMIT.
 15. ROOF DRAIN & OVERFLOW DRAIN TO DAYLIGHT AT CMU WALL MIN 6" ABOVE GRADE FOR ROOF DRAIN & 12" ABOVE GRADE FOR OVERFLOW, REFER TO DETAIL 17/A9.10.
 16. OUTLINE OF BUILDING BEYOND.
 17. KNOX BOX TO BE 3200 SERIES, RECESSED AND INSTALLED AT A MIN. HT. OF 5'-0" TO 6'-0" MAX. THE FIRE DEPT. ALERT DECAL IS TO BE MOUNTED ON THE DOOR OR FRAME OF BUILDING MAIN ENTRANCE. KEYS TO BE PLACED INTO THE KNOX BOX WILL BE DETERMINED BY JURISDICTION FIRE PREVENTION STAFF. ALL PER JURISDICTION FIRE DEPT. REQUIREMENTS.
 18. 1 1/2" ALUM. REVEAL, REFER TO DETAIL 11/A9.10.
 19. EXHAUST VENT, REFER TO MECH DWG'S.
 20. OUTLINE OF MECH EQUIP. ON ROOF, REFER TO MECH DWG'S.
 21. STOREFRONT WINDOWS, REFER TO WINDOW SCHEDULE A8.00.

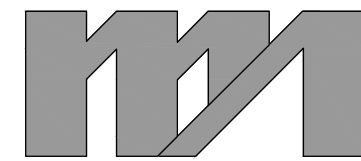
NOTE:
EXTERIOR SIGNAGE IS TO BE SUBMITTED,
REVIEWED, AND APPROVED UNDER A
SEPARATE PERMIT.



NORTH ELEVATION

3/16" = 1'-0"

3

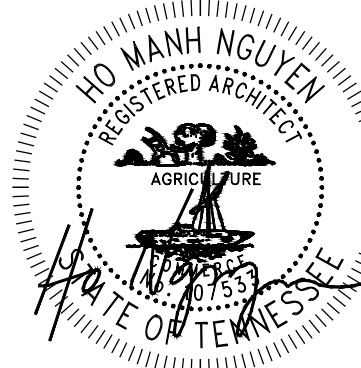


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FORM # 105.18

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SEAL:



05.16.2023

CONSULTANT:



TAKE 5 CAR WASH
7590 BILL BELL WAY
POWELL, TN 37849

REV DATE DESCRIPTION

05.16.2023 PERMIT ISSUE

DRAWN BY: TMN

CHECKED BY: TMN

ARCH. PROJECT NO.:

MA #4727

SHEET NAME:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A4.01

GENERAL NOTES:

1. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION SCHEDULE WITH THE ARCHITECT PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL CONTACT ALL GOVERNING AGENCIES A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION AND COORDINATE ALL WORK WITH THE SAME.
3. WHETHER THE DRAWINGS OR NOT THE CONTRACTOR SHALL PROVIDE ALL PIPING, APPURTENANCES, AND MISCELLANEOUS FITTINGS REQUIRED TO ACCOMPLISH THE DESIGN AS DRAWN AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL CONTACT ENGINEER IF UNSURE OF PIPING LAYOUT, SIZES OR LENGTHS.
4. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE COMMENCING ANY WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPORT ANY DISCREPANCIES TO THE ENGINEER IN A TIMELY MANNER.
5. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY THE CONTRACTOR. CHANGES IN HORIZONTAL OR VERTICAL ALIGNMENT ARE TO BE APPROVED BY THE ENGINEER.
6. THE DRAWINGS SHOW AS MUCH INFORMATION AS CAN BE REASONABLY OBTAINED FROM AN ON THE GROUND OBSERVATION, SURVEY AND EXISTING CONSTRUCTION DRAWINGS REGARDING THE TOPOGRAPHIC FEATURES, ELEVATIONS AS WELL AS THE LOCATION AND NATURE OF PIPELINES, NATURAL GAS LINES, UNDERGROUND CABLES, UTILITIES, ETC. HOWEVER, THE ACCURACY OF OR COMPLETENESS OF SUCH INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION TO PRECLUDE DAMAGE TO DOSING UTILITIES. IN THE EVENT THAT UNDERGROUND UTILITIES NOT SHOWN ON THE DRAWINGS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK IN ANY RIGHT-OF-WAY OR EXISTING EASEMENT.
8. SOME OF THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN FIELD VERIFIED.
9. CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT ALL "POINTS OF CROSSING" TO DETERMINE IF CONFLICT EXISTS BEFORE COMMENCING ANY CONSTRUCTION. NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICT.
10. IN THE EVENT OF DAMAGE TO UNDERGROUND UTILITIES OR FACILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, THE CONTRACTOR SHALL MAKE THE NECESSARY REPAIRS TO REPLACE THE UTILITY OR FACILITY BACK IN SERVICE AT NO INCREASE IN THE CONTRACT PRICE. ALL SUCH REPAIRS SHALL CONFORM TO THE REQUIREMENTS OF THE COMPANY OR AGENCY SERVICING THE FACILITY.
11. ALL EXISTING POWER POLES, LIGHT STANDARDS, SIGNS, ETC. WHICH AFFECT THE PROPOSED CONSTRUCTION, SHALL BE REMOVED AND/OR RELOCATED AS REQUIRED WHETHER SHOWN ON DRAWINGS OR NOT AT NO ADDITIONAL COST TO THE OWNER.
12. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL ADHERE TO THE STANDARDS OF THE GOVERNING AUTHORITY.
13. INGRESS AND EGRESS SHALL BE PROVIDED AT ALL TIMES FOR THE PROPERTY OWNERS AND BUSINESSES OF THE ADJUTING PROPERTY AND THE CROSS STREETS WHICH ARE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
14. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MAINTAINING A SAFE PROJECT SITE 24 HOURS A DAY.
15. DURING THE ENTIRE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION WARNING SIGNS AT EACH END OF THE PROJECT TO WARN MOTORING AND PEDESTRIAN TRAFFIC THAT CONSTRUCTION IS IN PROGRESS AND OF POSSIBLE HAZARDOUS CONDITIONS GENERATED BY THE CONSTRUCTION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELINEATING THE PERIMETER OF CONSTRUCTION AREA WITH SAFETY FENCING AT NO ADDITIONAL COST. SAFETY FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION AND REMOVED UPON COMPLETION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING TRAFFIC IN THE IMMEDIATE VICINITY OF CONSTRUCTION. ALL WORK SHALL BE IN SUCH A MANNER AND SEQUENCE AS TO PROVIDE MAXIMUM PROTECTION TO TRAFFIC AND PEDESTRIANS. CONTROLS SHALL BE CONSISTENT WITH THE TYPE OF WORK BEING PERFORMED.
18. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH THE GOVERNING "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MOST RECENT EDITION WITH ALL APPLICABLE SUPPLEMENTS AND REVISIONS) DURING CONSTRUCTION.
19. DELINEATORS SHALL BE INSTALLED ALONG THE PAVEMENT EDGE TO WARN TRAFFIC OF ANY ROADSIDE OBJECTS OR HAZARDS AND TO DELINEATE THE ROADWAY EDGE DURING HOURS OF DARKNESS.
20. THE WORK AREA SHALL BE BARRICADED AND ILLUMINATED DURING DARKNESS AND PERIODS OF INACTIVITY, WHEN IN AN AREA OF DIRECT PUBLIC ACCESS.
21. UNOCCUPIED TRENCHES SHALL BE SECURED WITH SAFETY FENCING OR OTHER APPROPRIATE MEANS AT ALL TIMES. TRENCHES WHICH ARE NOT IMMEDIATELY BACKFILLED SHALL BE SECURELY COVERED OVERNIGHT AND BE SURROUNDED BY SAFETY FENCING.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED SECURITY TO PROTECT HIS OWN PROPERTY, EQUIPMENT, AND WORK IN PROGRESS.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ADEQUATE DRAINAGE BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE GOVERNING AUTHORITY.
24. CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION OF ANY TEMPORARY DITCH OR DRAINAGE FACILITIES REQUIRED TO MAINTAIN ADEQUATE SITE DRAINAGE DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER
25. THE CONTRACTOR IS TO INSTALL GROUND WATER CONTROL FACILITIES OR WELLPOINTS IF NEEDED, AT NO ADDITIONAL COST TO OWNER.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS REQUIRED BY ALL GOVERNING AGENCIES.
27. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWP3 PLAN) FOR THIS PROJECT.
28. THE CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND STATE LAW CONCERNING EXCAVATION, TRENCHING AND SHORING.
29. THE CONTRACTOR SHALL DESIGN AND PROVIDE A TRENCH SAFETY SYSTEM TO MEET APPROPRIATE REQUIREMENTS ESTABLISHED IN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY & HEALTH REGULATIONS. 29 CFR 1926, SUBPART P – EXCAVATIONS, TRENCHING AND SHORING, AND OSHA'S PROPOSED STANDARDS ON TRENCHING, EXCAVATION PUBLISHED IN VOLUME 52, NO. 72 OF THE FEDERAL REGISTER. APRIL 15, 1987, PAGES 12288-12339. SHOULD THE REFERENCED OSHA STANDARDS BE MODIFIED OR AMENDED, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
30. CONTRACTOR SHALL PROVIDE SHEETING, SHORING AND BRACING AS NECESSARY TO PROTECT WORKMEN AND EXISTING UTILITIES DURING ALL PHASES OF CONSTRUCTION.
31. IN ORDER TO COMPLY WITH HANDICAP REGULATIONS, THE CONTRACTOR SHALL ENSURE THAT THE SLOPE OF THE SIDEWALK AND / OR PAVING IN THE FIRST FIVE FEET OUTSIDE ANY DOOR DOES NOT EXCEED 2% IN ANY DIRECTION.
32. NO CONSTRUCTION WHICH BLOCKS TRAFFIC ON ANY STREET, ALLEY, OR DRIVEWAY WILL BE ALLOWED DURING THE HOURS OF 6:30 A.M. – 8:30 A.M. AND 2:30-6:00 P.M.
33. THE CONTRACTOR MUST CLEAN MUD, DIRT OR DEBRIS TRACKED ONTO EXISTING STREETS BY HIMSELF OR SUBCONTRACTOR'S VEHICLES AND EQUIPMENT IN A TIMELY MANNER.
34. CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF JOB SHALL BE AS GOOD OR BETTER THAN PRIOR TO STARTING WORK
35. ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE NOT TO BE REPAVED OR OTHERWISE COVERED BY LANDSCAPING SHALL BE HYDROMULCHED.
36. CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL. TOPSOIL SHALL BE SPREAD OVER ALL AREAS RECEIVING SOD AND OR HYDROMULCH. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A STAND OF GRASS WITH NO AREAS OF EROSION BEFORE FINAL ACCEPTANCE.
37. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL WASTE MATERIAL GENERATED DURING CONSTRUCTION. WASTE MATERIAL MUST BE REMOVED FROM THE WORK SITE AND DISPOSED OF IN SUCH A MANNER COMPLIANT WITH ALL LAWS AND REGULATIONS AND AS TO NOT DAMAGE THE OWNER OR OTHER PERSONS AT NO ADDITIONAL COST.
38. ALL FILL PLACED ON SITE SHALL BE ENGINEERED FILL PER THE RECOMMENDATION OF THE SOILS REPORT.
39. FINISH GRADE ELEVATIONS INDICATE FINAL GRADE OF PROPOSED MATERIAL (I.E SOD, DIRT, MULCH, ETC.) LANDSCAPED AREAS ADJACENT TO BUILDING, INCLUDING, DIRT, MULCH, AND/OR BEDDING MATERIALS SHALL NOT COVER WEEPHOLES. AREAS ADJACENT TO BUILDING, LANDSCAPED, OR OTHERWISE SHALL SHEET FLOW AWAY FROM BUILDING WITH NO AREAS OF STANDING WATER ADJACENT TO BUILDING.
40. GRADING AROUND BUILDINGS INCLUDING WALKWAYS SHALL BE COORDINATED WITH ARCHITECT AND FINAL APPROVAL OF GRADES IN GRASS AREAS AND SWALES SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION OF LANDSCAPING MATERIALS.
41. AFTER INSTALLATION OF DRAINAGE SYSTEM. CONTRACTOR SHALL PERFORM FINAL GRADING AS SHOWN ON THE PLANS AND/OR AS DIRECTED BY ENGINEER OR OWNER TO INSURE POSITIVE DRAINAGE OF ENTIRE SITE. FINAL GRADING SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION OF GRASS.

42. THE CONTRACTOR SHALL COORDINATE FINAL GRADING OF LANDSCAPED AREAS WITH THE ARCHITECT.
43. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING FINAL GRADES TO ENSURE POSITIVE DRAINAGE.
44. PLACE BACKFILL AS PROMPTLY AS PRACTICABLE AFTER COMPLETION OF EACH STRUCTURE OR PORTION OF A STRUCTURE. DO NOT PLACE BACKFILL AGAINST CONCRETE WALLS OR SIMILAR STRUCTURES UNTIL CONCRETE HAS CURED AT LEAST SEVEN (7) DAYS.
45. ALL STRUCTURES AND SEWER PIPE UNDER OR WITHIN TWO (2) FEET OF PROPOSED OR FUTURE PAVEMENT SHALL BE BEDDED AND BACKFILLED WITH CEMENT STABILIZED SAND UP TO THE BOTTOM OF THE PAVEMENT SUBGRADE.
46. CEMENT-SAND BACKFILL SHALL CONSIST OF NOT LESS THAN 1-1/2 SACKS OF CEMENT PER TON OF SAND WITH SUFFICIENT WATER TO HYDRATE THE CEMENT. THE MATERIAL SHALL BE PLACED IN LAYERS EIGHT (8) INCHES THICK MAXIMUM AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
47. WHERE PAVEMENT OR CURB IS BEING REMOVED AND REPLACED FULL DEPTH SAW CUT SHALL BE PERFORMED AT STREET CONNECTION.
48. CONCRETE PAVEMENT SHALL HAVE MINIMUM OF FIVE AND ONE-HALF SACKS OF CEMENT PER CUBIC YARD AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3700 PSI AT 28 DAYS. CONCRETE SHALL COMPLY WITH GEOTECHNICAL REPORT.
49. ALL STEEL REINFORCEMENT SHALL CONFORM TO ASTM A615 GRADE 60.
50. DETAILING AND FABRICATION OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI-318 LATEST EDITION.
51. LAP ALL CONTINUOUS REINFORCING STEEL 36 DIAMETERS AT SPLICES, TEES, AND CORNERS UNLESS NOTED OTHERWISE ON PLANS.
52. WHERE CONCRETE CURB OR WALK IS INDICATED, ELEVATION SHALL BE 6 INCHES ABOVE TOP OF PAVEMENT ELEVATION SHOWN, UNLESS OTHERWISE SHOWN ON DRAWINGS.
53. MOW STRIPS SHALL BE INSTALLED SO AS NOT TO BLOCK ANY SHEET FLOW PATTERNS AS DESIGNED. ANY MOW STRIPS THAT BLOCK DRAINAGE SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER. IF CONTRACTOR HAS ANY QUESTIONS ON CORRECT ELEVATIONS FOR MOW STRIPS CONTACT ENGINEER OR ARCHITECT.
54. A FIBERBOARD EXPANSION JOINT SHALL BE PLACED BETWEEN THE BUILDING FOUNDATION AND THE CONCRETE PAVEMENT.
55. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL PROPOSED UTILITIES EXITING BUILDING PRIOR TO COMMENCING WORK ON SITE UTILITIES. UPON ANY DISCREPANCIES, ENGINEER IS TO BE NOTIFIED.
56. ELECTRIC METER AND SERVICE LINE INSTALLATION TO BE COORDINATED WITH ELECTRICAL PROVIDER BY THE CONTRACTOR.
57. GAS METER AND SERVICE LINE INSTALLATION TO BE COORDINATED WITH GAS COMPANY BY THE CONTRACTOR.
58. ALL EXISTING STORM SEWER MANHOLES OR STRUCTURES ON SITE SHALL BE ADJUSTED TO FINISH GRADE. ALL EXISTING SANITARY SEWER MANHOLES SHALL BE ADJUSTED TO 3" ABOVE FINISH GRADE.

SANITARY SEWER CONSTRUCTION NOTES:

1. SANITARY SEWER SHALL BE PVC (POLY-VINYL CHLORIDE) PIPE MEETING A.S.T.M. SPECIFICATIONS, D-3034-08 AND HAVING A S.D.R. OF 26 UNLESS OTHERWISE SHOWN ON PLANS. BEDDING BACKFILLING AND INSTALLATION OF PIPE AND CONSTRUCTION OF APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CIVIL DETAIL SHEETS.
2. THE CONTRACTOR SHALL USE PRECAST SANITARY SEWER MANHOLES.
3. ALL MANHOLES, AND CLEANOUTS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND. CEMENT STABILIZED SAND FILL SHALL BE AT LEAST 12" ON BOTTOM OF STRUCTURE AND 12" AROUND OUTSIDE OF STRUCTURE.
4. CONTRACTOR SHALL CUT OFF PIPE FLUSH WITH INSIDE FACE OF MANHOLES.
5. CONTRACTOR SHALL SEAL INTERIOR SURFACE OF PROPOSED SANITARY SEWER MANHOLES WITH RAVEN LINER 405, OR APPROVED EQUAL AS PER MANUFACTURER'S SPECIFICATIONS.
6. ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED.
7. ALL SANITARY SEWER LINES SHALL BE MANDREL AND AIR TESTED. ALL SANITARY SEWER LINES SHALL ALSO BE INSPECTED VIA CAMERA.
8. TIE-INS TO EXISTING MANHOLES SHALL BE MADE SUCH THAT THE FINAL CONDITIONS UPON COMPLETION OF THE JOB SHALL BE AS GOOD OR BETTER THAN PRIOR TO STARTING WORK.
9. THE CONTRACTOR IS TO INSTALL WATER-TIGHT ADAPTORS OF A TYPE COMPATIBLE WITH THE MATERIALS BEING JOINED AT THE POINT OF CONNECTION OF THE SERVICE LINE TO THE BUILDING PLUMBING. NO CEMENT GROUT MATERIALS ARE PERMITTED.
10. THE CONTRACTOR IS TO INSTALL EACH CLEANOUT SO THAT IT OPENS IN A DIRECTION OPPOSITE TO THE FLOW OF THE WASTE AND, EXCEPT IN THE CASE OF A "WYE" BRANCH AND END-OF-THE-LINE CLEANOUTS, CLEANOUTS WILL BE INSTALLED VERTICALLY ABOVE THE FLOW LINE OF THE PIPE. CLEANOUTS WILL BE MADE WITH AIR-TIGHT MECHANICAL PLUG.
11. THE DOWNSTREAM END OF THE PROPOSED SEWER REMAIN PLUGGED UNTIL ALL DEBRIS IS CLEANED OUT OF THE PROPOSED SEWER AND ALL LINE TESTING IS COMPLETED PRIOR TO REMOVING THE PLUG AND CONNECTING TO THE DOWNSTREAM PIPE.

WATER LINE CONSTRUCTION NOTES:

1. DOMESTIC OR FIRE WATER LINES 4" AND LARGER SHALL BE POLYVINYL CHLORIDE PVC, DR-18, CLASS 150, CONFORMING TO AWWA C900 OR C905, AS CURRENTLY AMENDED UNLESS OTHERWISE NOTED ON THE PLANS.
2. WATER LINES 3" AND SMALLER SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED ON THE PLANS.
3. ALL VALVES SHALL BE LEFT HAND (COUNTERCLOCKWISE) OPEN.
4. CONTRACTOR SHALL INSTALL METALLIC TRACER WIRE ON ALL UNDERGROUND PVC PIPING AND SECURE WIRE ENDS AT ALL VALVE BOXES.
5. CONTRACTOR SHALL ADJUST ELEVATION OF WATER LINES AS REQUIRED TO CLEAR OTHER UTILITIES ADJUSTMENT MUST MEET TCEQ REQUIREMENT FOR MINIMUM CLEARANCES, TYPE OF PIPE, ETC.
6. MINIMUM VERTICAL CLEARANCE BETWEEN WATER LINES AND OVER UTILITIES SHALL BE TWELVE INCHES, UNLESS OTHERWISE NOTED ON THE PLANS.
7. EXISTING WATER SERVICES SHALL NOT BE INTERRUPTED DURING CONSTRUCTION.
8. NO CONNECTIONS SHALL BE MADE TO EXISTING WATER LINES UNTIL ALL PROPOSED WATER LINES HAVE BEEN THOROUGHLY CLEANED, TESTED, DISINFECTED AND APPROVED. ALL TESTING PROCEDURES SHALL CONFORM TO THE GOVERNING AGENCY.

STORM SEWER CONSTRUCTION NOTES:

1. ALL INLETS, MANHOLES, CLEANOUTS, AND HEADWALLS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND. CEMENT STABILIZED SAND FILL SHALL BE AT LEAST 12" ON BOTTOM OF STRUCTURE AND 12" AROUND OUTSIDE OF STRUCTURE.
2. NO CORNER CONNECTIONS WILL BE ALLOWED TO ANY INLETS, JUNCTION BOXES, OR BOX MANHOLES
3. CONTRACTOR SHALL CUT OFF PIPE FLUSH WITH INSIDE FACE OF INLETS AND MANHOLES.
4. CONCRETE FOR DRAINAGE STRUCTURES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS.
5. CULVERT CROSSINGS LOCATED WITHIN 30 FEET OF THE RIGHT-OF-WAY SHALL HAVE MINIMUM 6:1 SLOPING ENDS KNOWN AS SAFETY END TREATMENTS (SETS). THE CULVERT SHALL HAVE SUFFICIENT LENGTH TO ALLOW THE 6:1 SLOPE TO BE ACHIEVED FROM THE EDGE OF PAVEMENT TO THE FLOWLINE AT THE END OF THE SET.
6. CULVERTS LARGER THAN SINGLE 30-INCH DIAMETER (OR LARGER THAN MULTIPLE 24-INCH DIAMETER CULVERTS) SHALL REQUIRE SAFETY PIPE RUNNERS.
7. CONTRACTOR SHALL FLUSH AND CLEAN ALL STORM SEWER LINES AND STRUCTURES PRIOR TO ACCEPTANCE. ALL STORM LINES SHALL ALSO BE INSPECTED VIA CAMERA.
8. TIE-INS TO EXISTING MANHOLES SHALL BE MADE SUCH THAT THE FINAL CONDITIONS UPON COMPLETION OF THE JOB SHALL BE AS GOOD OR BETTER THAN PRIOR TO STARTING WORK.
9. THE CONTRACTOR IS TO INSTALL EACH CLEANOUT SO THAT IT OPENS IN A DIRECTION OPPOSITE TO THE FLOW OF THE WASTE AND, EXCEPT IN THE CASE OF A "WYE" BRANCH AND END-OF-THE-LINE CLEANOUTS, CLEANOUTS WILL BE INSTALLED VERTICALLY ABOVE THE FLOW LINE OF THE PIPE. CLEANOUTS WILL BE MADE WITH AIR-TIGHT MECHANICAL PLUG.

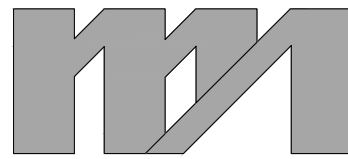


DATE	05/15/2023					
DESCRIPTION						
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TAKE 5 CARWASH

7590 BILL BELL WAY,
POWELL, TN 37849

ENGINEER:



morris + associates
Build on Our Strengths

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SHEET TITLE

CIVIL SPECS

PROJECT NUMBER

4727

DATE 05.15.2023

SCALE AS NOTED

DRAWN SJ

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SHEET NO

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