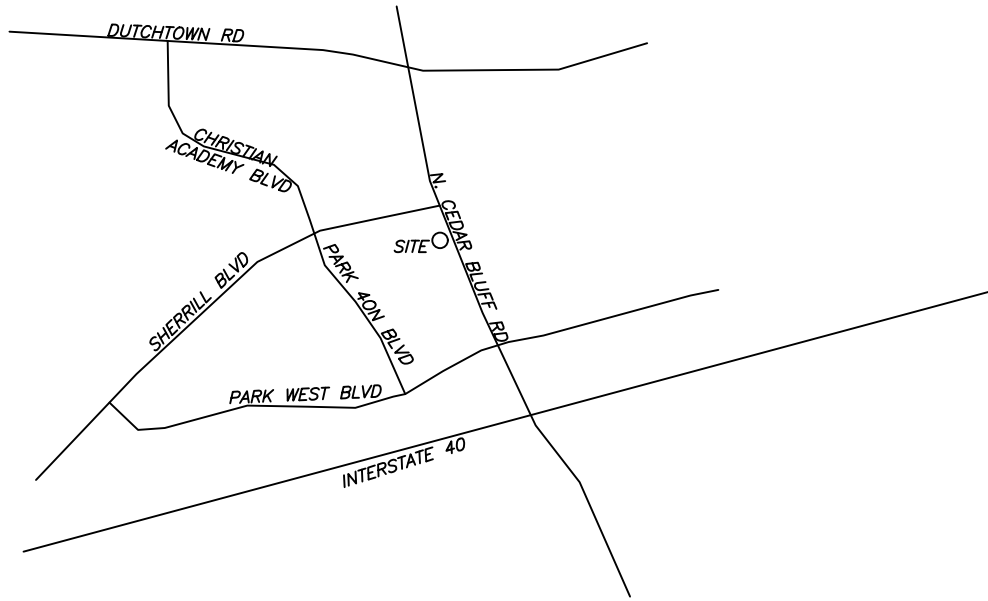


SURVEYOR'S NOTES:

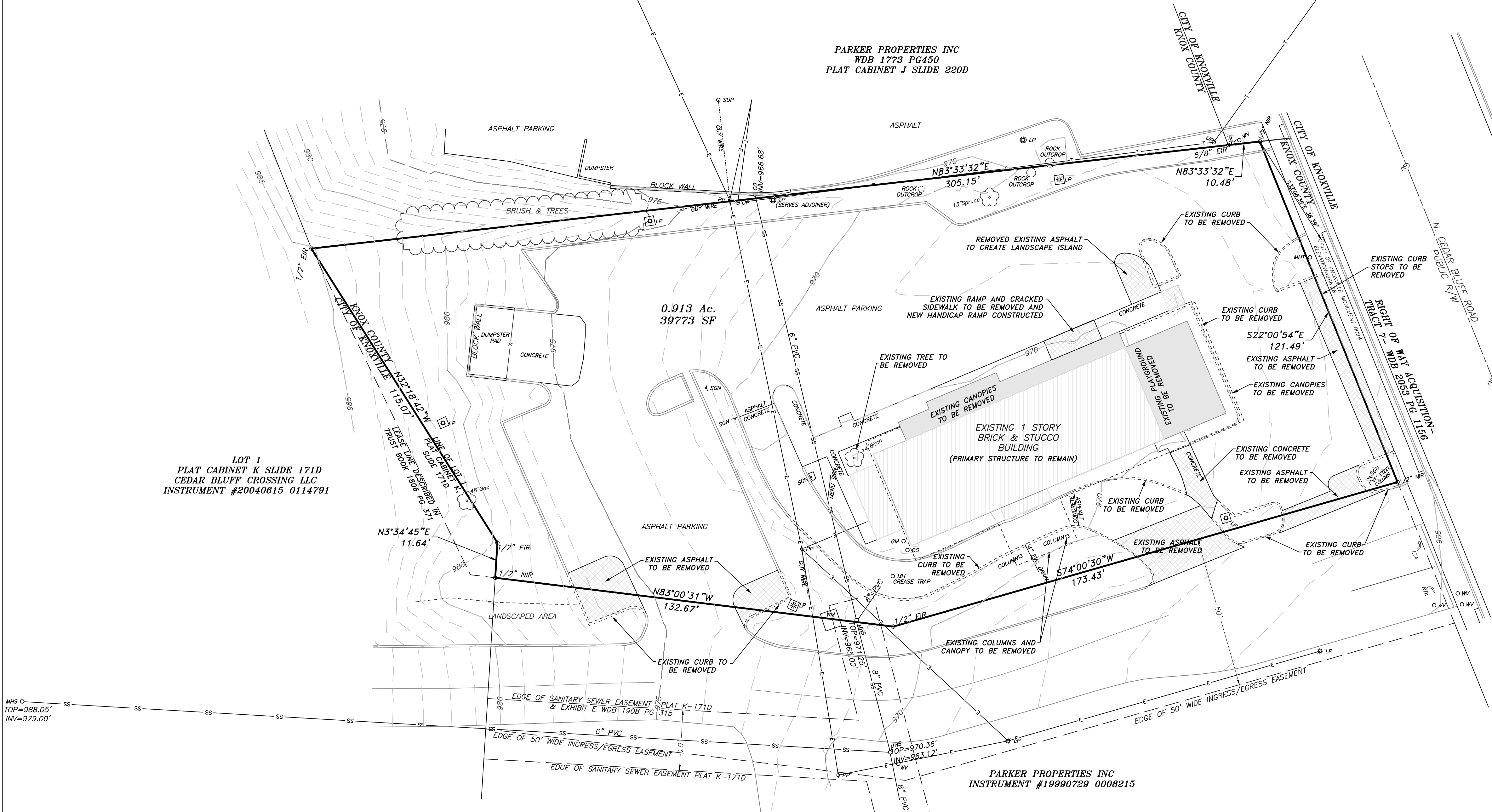
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8. As stated in paragraph 11(c) of WDB 1911 PG 1007, no improvements shall exceed the elevation of 985 feet above sea level.



LOCATION MAP
NOT TO SCALE

LEGEND:

- EIR EXISTING IRON ROD
- NIR NEW IRON ROD
- Ac. ACRES
- SF SQUARE FEET
- WDB WARRANTY DEED BOOK
- PG PAGE
- R/W RIGHT-OF-WAY
- CB CATCH BASIN
- C CENTERLINE
- SC SEWER CLEANOUT
- FFE FINISH FLOOR ELEVATION
- PH FIRE HYDRANT
- GM GAS METER
- MH MANHOLE (EXISTING)
- MHS MANHOLE (SEWER)
- MHT MANHOLE (TELEPHONE)
- PP POWER POLE (PP)
- SP SUPPORT POLE (SP)
- 4 SIGN (POST)
- 999.99' SPOT HEIGHT
- TREE
- WV WATER VALVE
- BOUNDARY LINE
- LOT LINE
- ZONING LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- ROAD CENTERLINE
- PARKING/LANE STRIPES (EXISTING)
- ROAD STRIPE WHITE SOLID
- ROAD STRIPE YELLOW SOLID
- FENCE LINE
- E ELECTRIC LINE (OVERHEAD)
- T PHONE LINE
- UG UNDERGROUND (U/G) GAS LINE
- W WATER LINE (EXISTING)
- PVC PVC PIPE LINE
- ST STORM DRAIN LINE
- SS SEWER LINE (EXISTING)
- RETAINING/HEAD WALL
- BUILDING CANOPY LINE
- ROCK OUTCROP LINE
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- CONCRETE CURB (TO REMAIN)
- CONCRETE CURB (TO BE REMOVED)



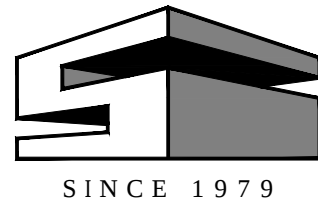
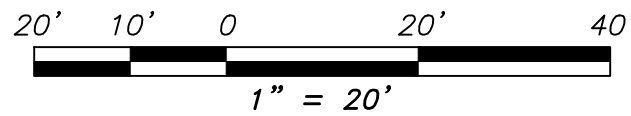
CLIENT:
DAVE BAUMGARTNER
BLUEMONT GROUP, LLC
865-405-7739

PROPERTY ADDRESS:
401 N. CEDAR BLUFF RD
KNOXVILLE, TN 37923

DISTRICT W6, KNOX COUNTY
TAX MAP 119 PARCEL 18.28

OWNER:
PARKER PROPERTIES, INC.
WDB 1773 PG 450
INSTR. 199907290008215

F&S RESTAURANTS INC. LEASE:WDB 1806 PG 371



STERLING
ENGINEERING, INC.
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CIVIL ENGINEERING
CONSULTING
LAND PLANNING

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MARYVILLE, TENNESSEE
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37802-4878
PHONE: 865-984-3905
FAX: 865-981-2815
www.sterling-us.com

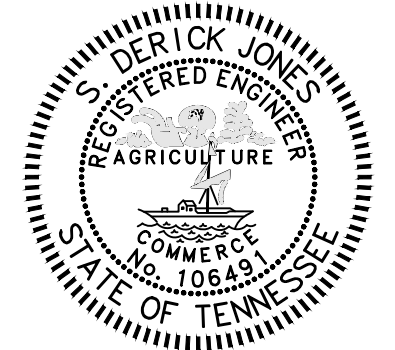
MPC USE ON REVIEW

SITE DEMOLITION PLAN

PROPOSED
DUNKIN' DONUTS
BLUEMONT GROUP, LLC

KNOX COUNTY, TN

DATE	BY	REVISIONS
8/23/19	SDJ	Revised per MPC Use on Review Comments



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SHEET

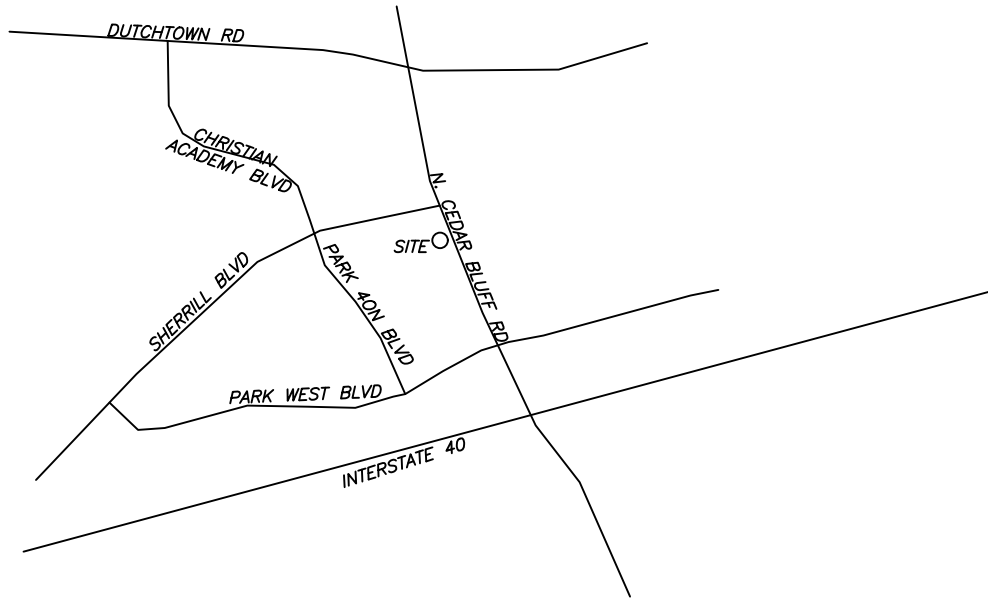
CP.2

DESIGNED: **SDJ**
DRAWN: **SDJ**
CHECKED:
DATE: **7/18/19**
SCALE: **1" = 20'**
DRAWING: **6731-CP2**
PROJECT NO: **SEI#6731**

9-H-19-UR
Revused: 8/27/2019

SURVEYOR'S NOTES:

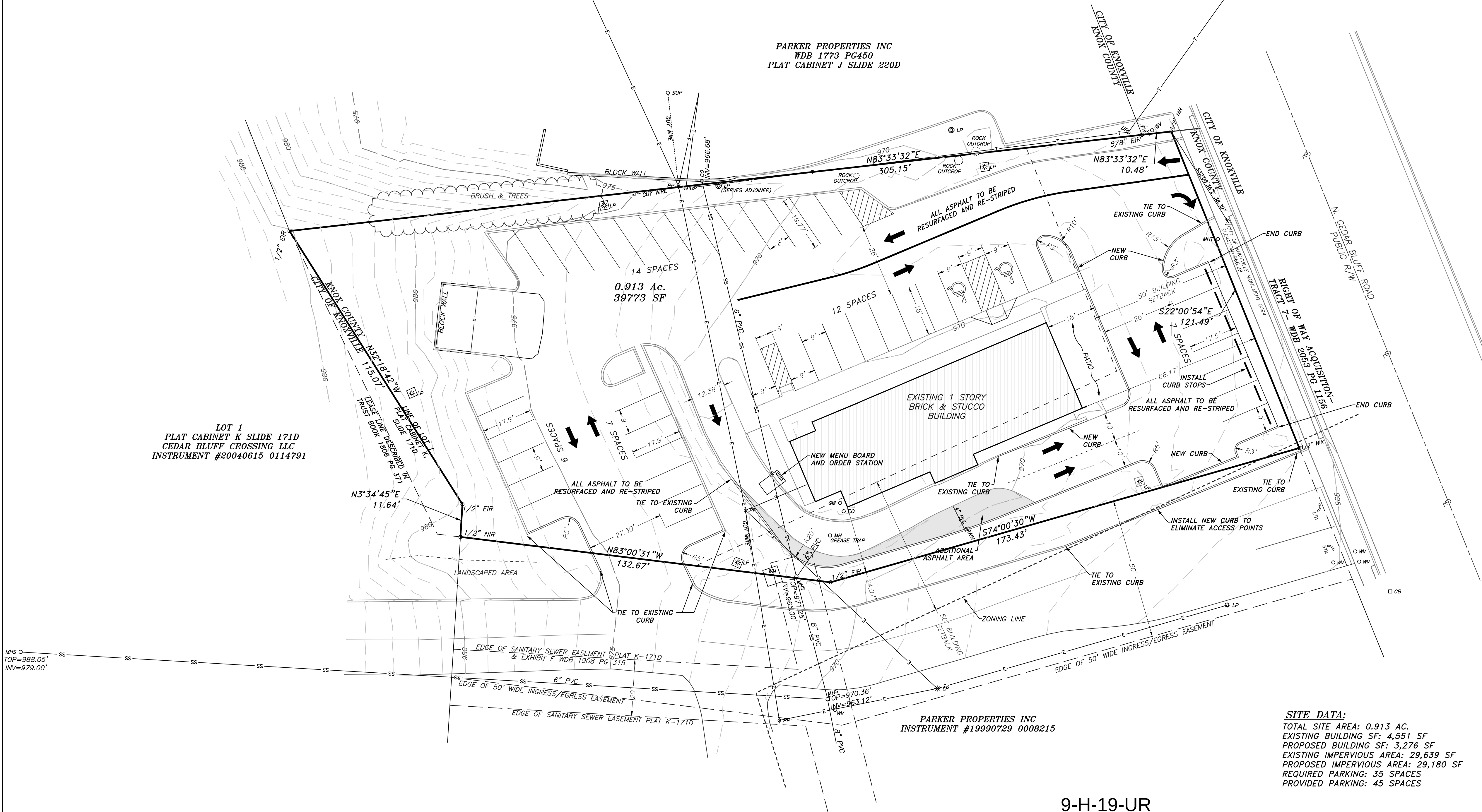
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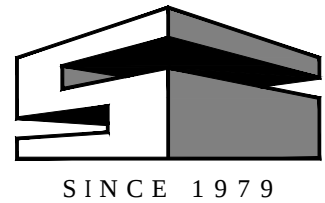
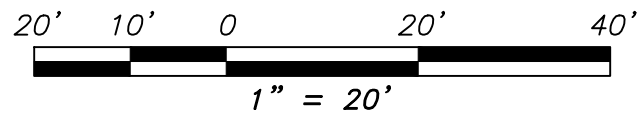
LOCATION MAP
NOT TO SCALE

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- ROAD STRIPE WHITE SOLID
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- SS SEWER LINE (EXISTING)
- RETAINING HEAD WALL
- BUILDING CANOPY LINE
- ROCK OUTCROP LINE
- EXISTING INTERMEDIATE CONTOUR
- 900 EXISTING INDEX CONTOUR



9-H-19-UR
Revised: 8/27/2019



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LAND PLANNING

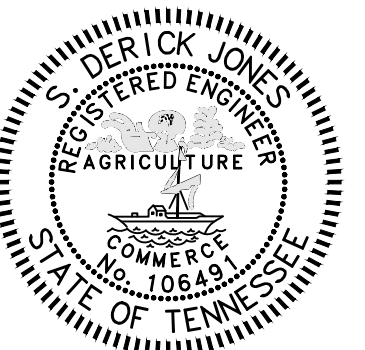
1020 WILLIAM BLOUNT DRIVE
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37802-4878
PHONE: 865-984-3905
FAX: 865-981-2815
www.sterling.us.com

MPC USE ON REVIEW

SITE LAYOUT PLAN

PROPOSED
DUNKIN' DONUTS
BLUEMONT GROUP, LLC

DATE	BY	REVISIONS
8/23/19	SDJ	Revise per MPC Use on Review Comments



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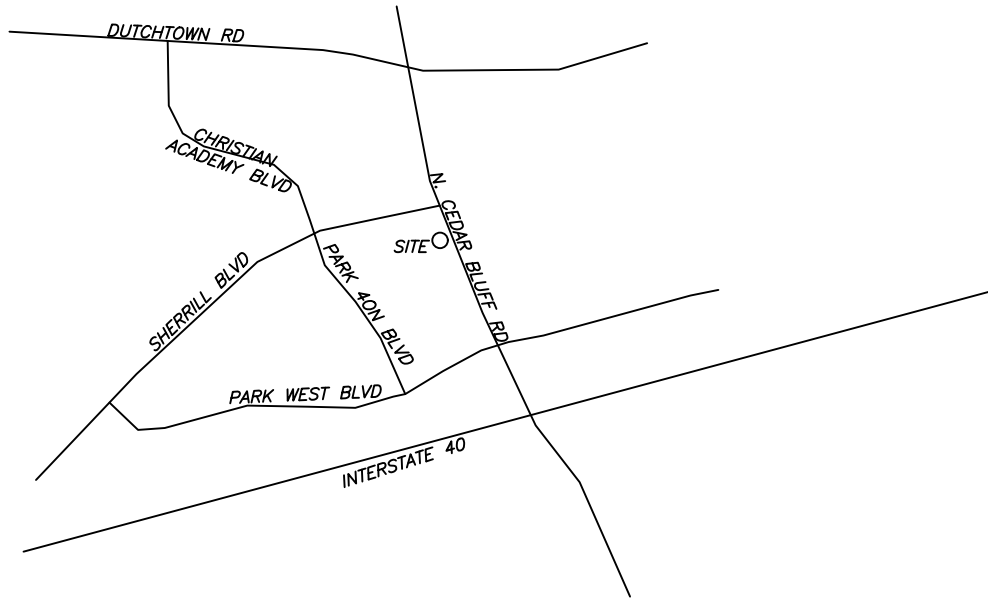
SHEET

CP.3

DESIGNED: SDJ
DRAWN: SDJ
CHECKED:
DATE: 7/18/19
SCALE: 1" = 20'
DRAWING: 6731-CP3
PROJECT NO: SEI#6731

SURVEYOR'S NOTES:

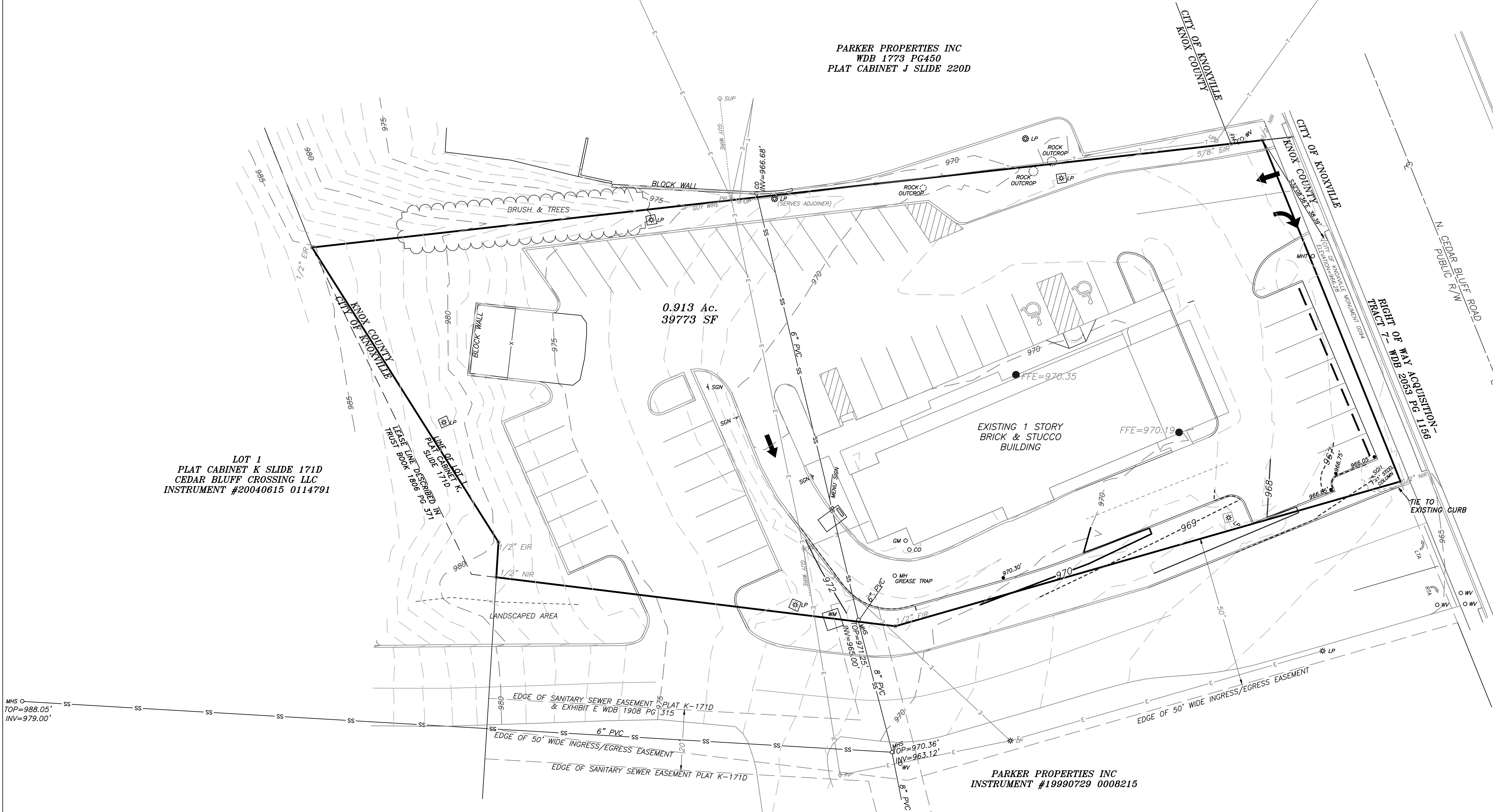
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NIR NEW IRON ROD
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CO SEWER CLEANOUT
FFE FINISH FLOOR ELEVATION
FH FIRE HYDRANT
GM GAS METER
MH MANHOLE (EXISTING)
MHS MANHOLE (SEWER)
MHT MANHOLE (TELEPHONE)
PP POWER POLE (PP)
SP SUPPORT POLE (SP)
I SIGN (POST)
+999.99' SPOT HEIGHT
TREE
WV WATER VALVE
BOUNDARY LINE
LOT LINE
ZONING LINE
EASEMENT LINE
BUILDING SETBACK LINE
ROAD CENTERLINE
CONCRETE CURB
PARKING/LANE STRIPES (EXISTING)
ROAD STRIPE WHITE SOLID
ROAD STRIPE YELLOW SOLID
FENCE LINE
ELECTRIC LINE (OVERHEAD)
PHONE LINE
UG UNDERGROUND (U/G) GAS LINE
W WATER LINE (EXISTING)
PVC PVC PIPE LINE
ST STORM DRAIN LINE
SS SEWER LINE (EXISTING)
RETAINING HEAD WALL
BUILDING CANOPY LINE
ROCK OUTCROP LINE
EXISTING INTERMEDIATE CONTOUR
EXISTING INDEX CONTOUR
DESIGN INTERMEDIATE CONTOUR
DESIGN SUPPLEMENTAL CONTOUR
DESIGN INDEX CONTOUR



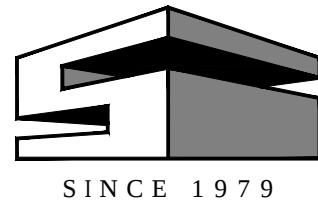
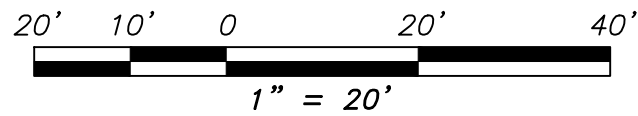
CLIENT:
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BLUEMONT GROUP, LLC
865-405-7739

PROPERTY ADDRESS:
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DISTRICT W6, KNOX COUNTY
TAX MAP 119 PARCEL 18.28

OWNER:
PARKER PROPERTIES, INC.
WDB 1773 PG 450
INSTR. 199907290008215

F&S RESTAURANTS INC. LEASE:WDB 1806 PG 371



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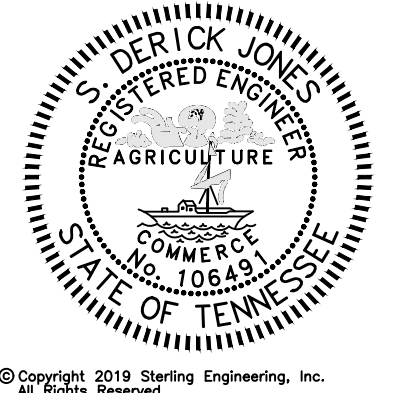
MPC USE ON REVIEW

SITE GRADING PLAN

PROPOSED
DUNKIN' DONUTS
BLUEMONT GROUP, LLC

KNOX COUNTY, TN

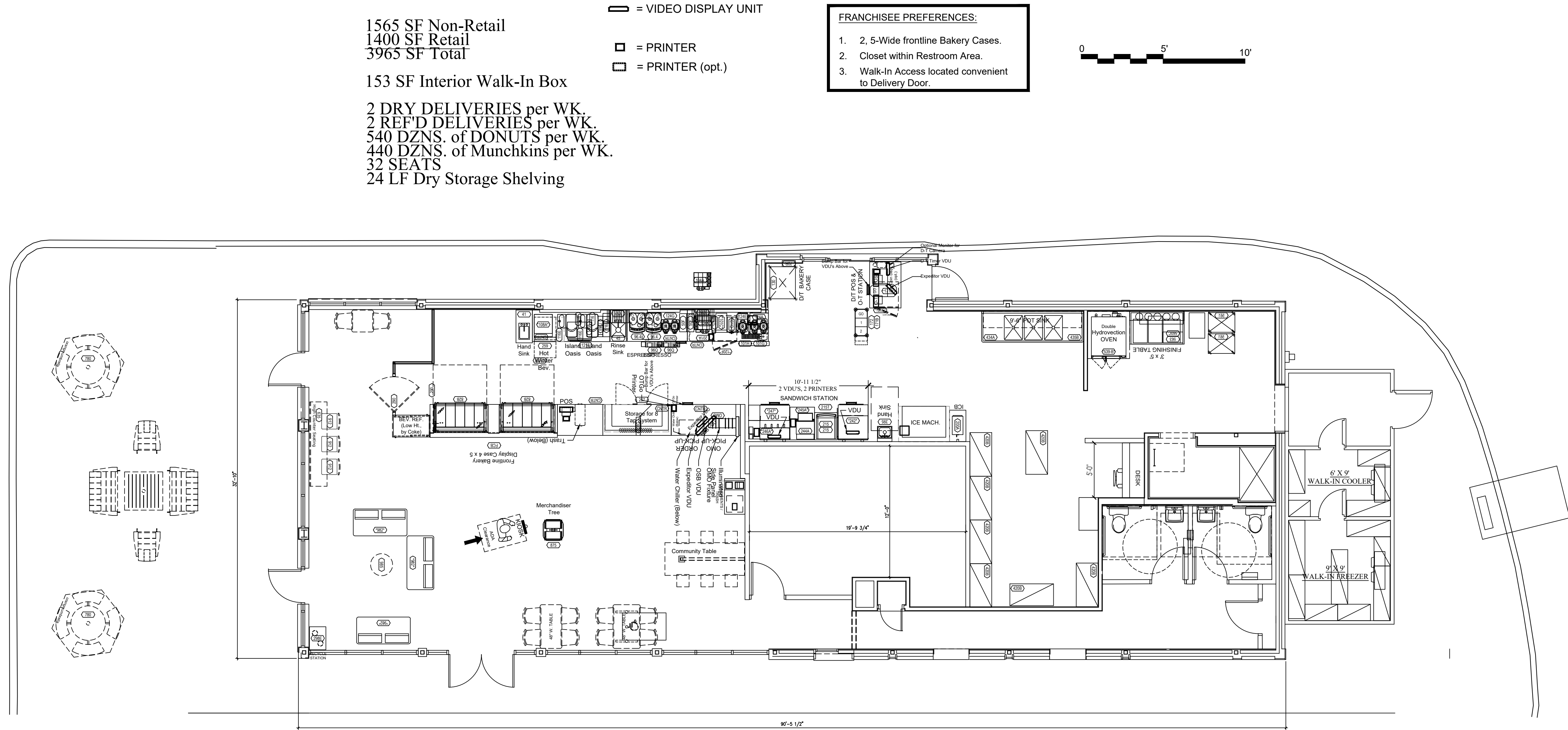
DATE	BY	REVISIONS
8/23/19	SDJ	Revised per MPC Use on Review



SHEET
CP.4

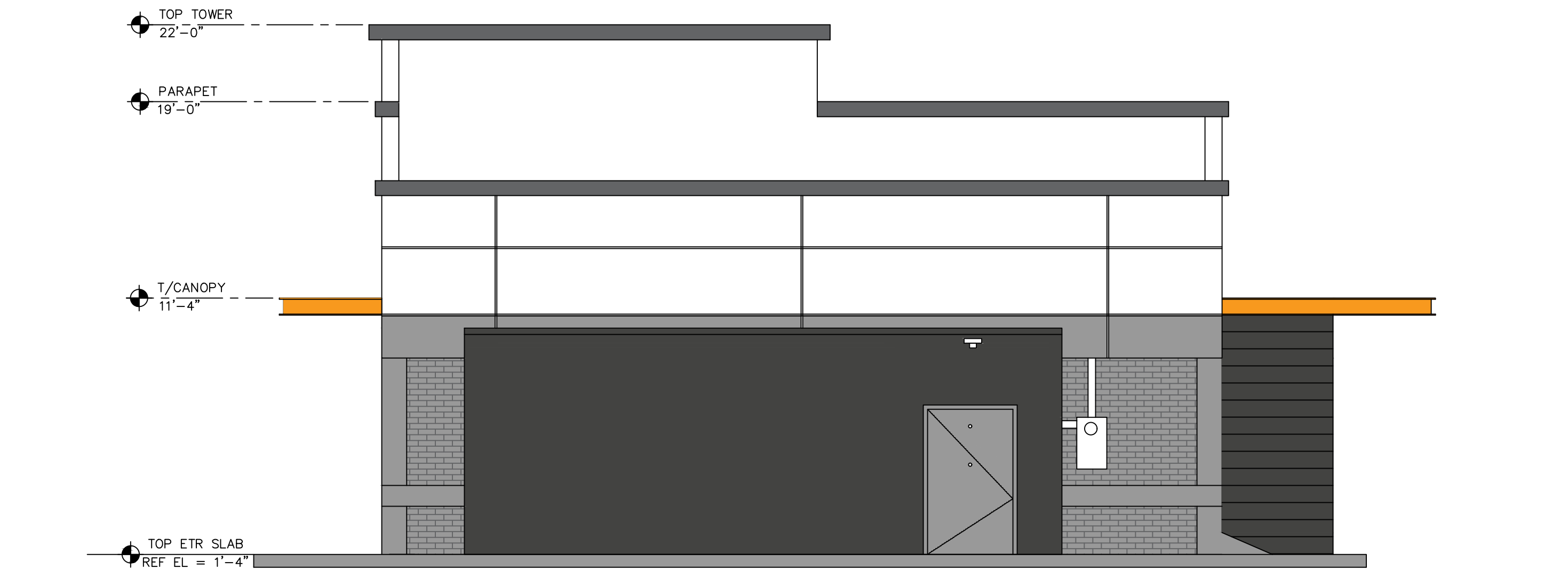
DESIGNED: SDJ
DRAWN: SDJ
CHECKED:
DATE: 7/18/19
SCALE: 1" = 20'
DRAWING: 6731-CP4
PROJECT NO: SEI#6731

9-H-19-UR
Revised: 8/27/2019

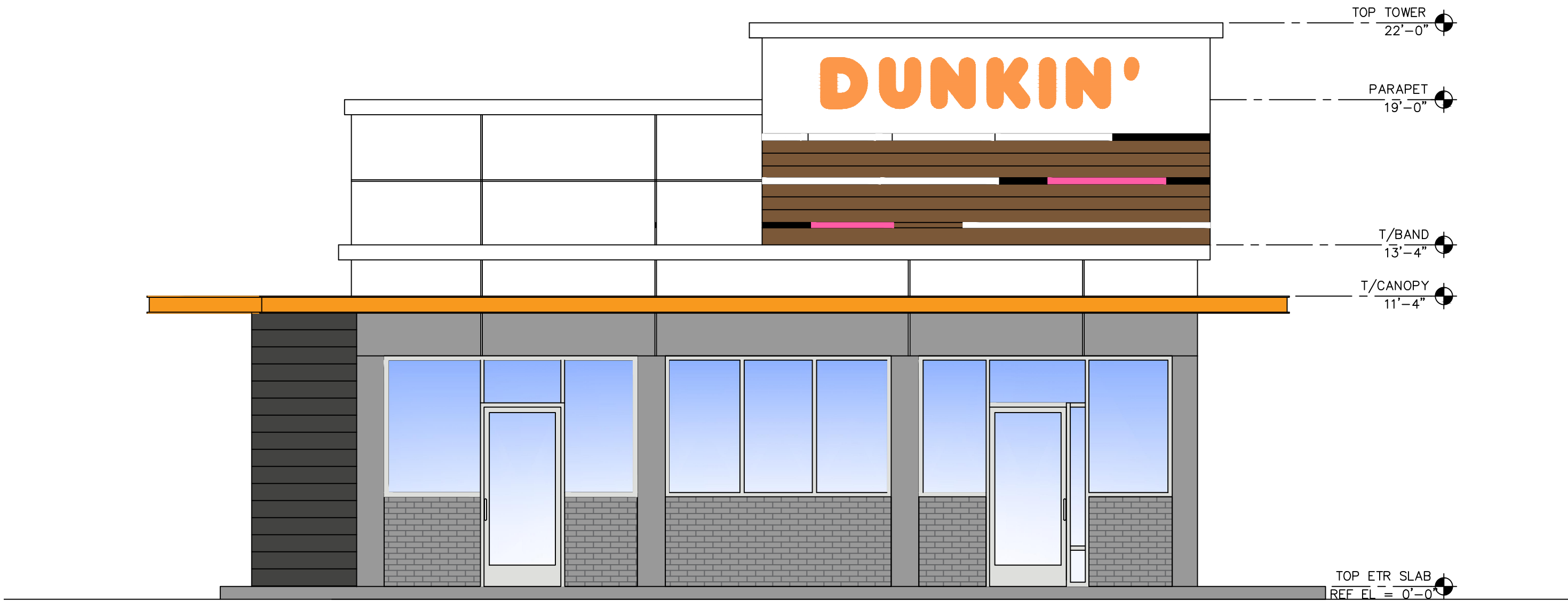


9-H-19-UR
Revised: 8/27/2019

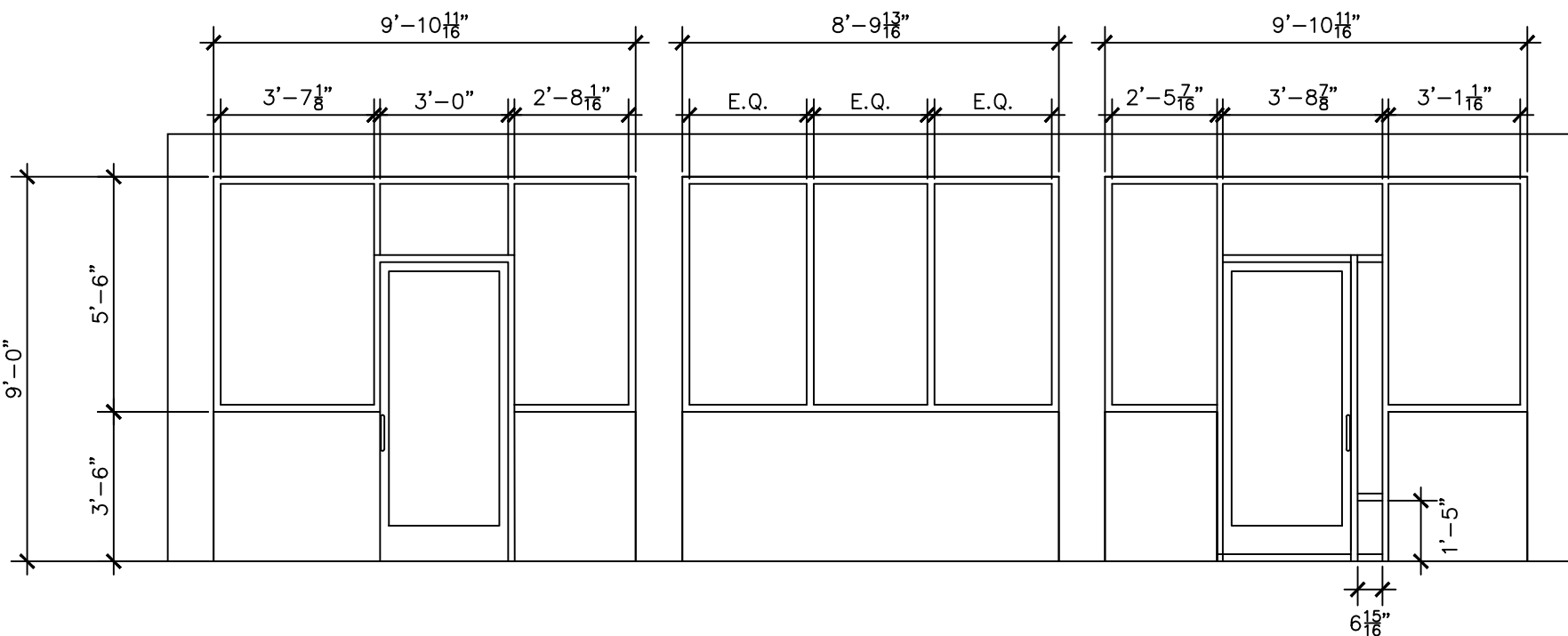
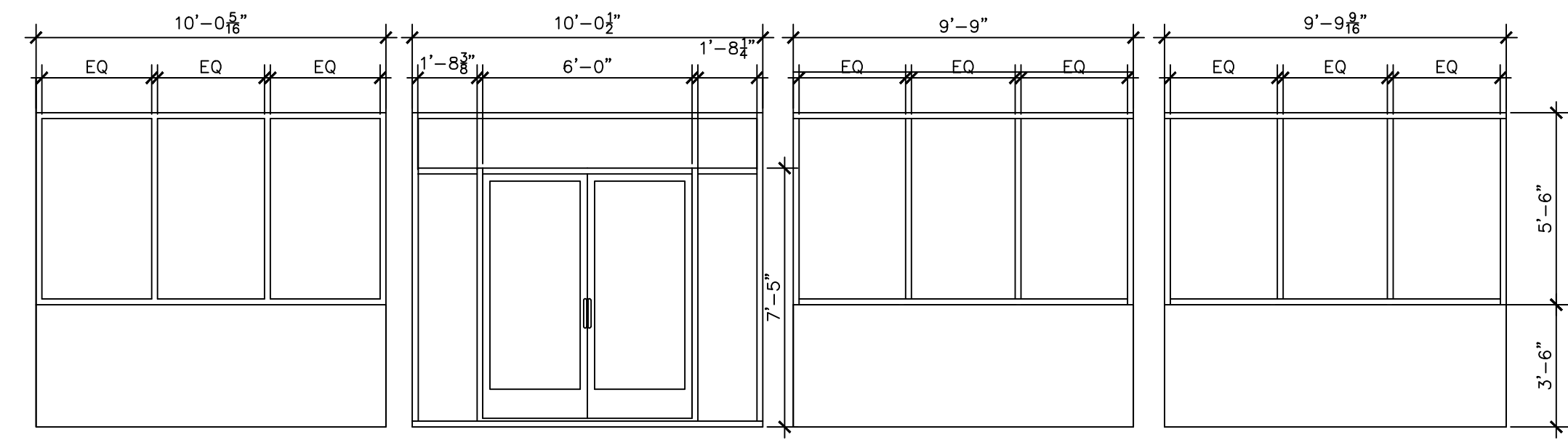
ISSUED / REVISED	DATE



REAR ELEVATION
SCALE: 1/4"=1'-0"



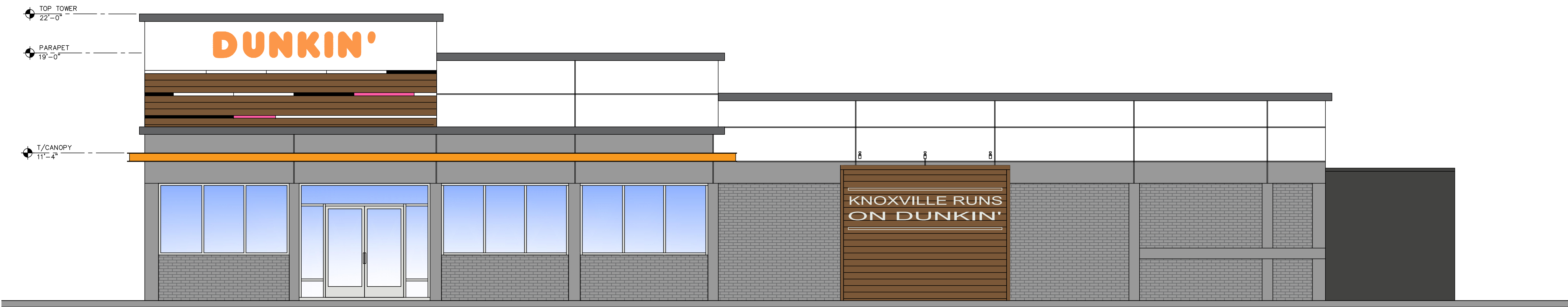
FRONT ELEVATION
SCALE: 1/4"=1'-0"



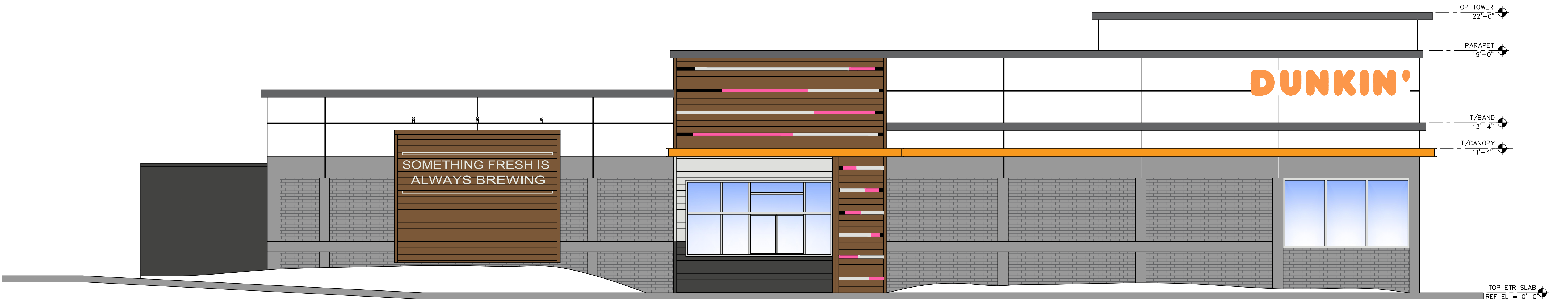
STOREFRONT GLAZING
SCALE: 1/4"=1'-0"

9-H-19-UR
Revised: 8/27/2019

Mark	Exterior Finishes	Manufacturer	Model	Paint Color
SF1	Off White Cladding	James Hardie	Cobblestone	SW 7063
SF2	Mid-Tone Cladding	James Hardie	Gray Slate	SW 7066
SF3	Concrete Cladding	James Hardie	Pearl Gray	SW 7064
SF4	Charcoal Cladding	James Hardie	Iron Gray	SW 7069
SF5	Wood Look Cladding	James Hardie (Woodtones)	Rustic Series 25%	Summer Wheat
SF6	Large Panel--Off White	James Hardie	48x96 Reveal Panel	SW 7063
SF7	DD Orange PMS 165c	Sherwin Willaims		SW 6885
SF8	DD Charcoal PMS 7540C	Sherwin Willaims		SW 7069
SF9	DD Off-White PMS Cool Gray1C	Sherwin Willaims		SW 7063
Jeff Harvey--James Hardie c. 774.287.6278 jeffrey.harvey@jameshardie.com		Paul Adolphe--Woodtone p. 800.663.9844 x1124 paul@woodtone.com		



PARKING SIDE ELEVATION
SCALE: 1/4"=1'-0"



DRIVE-THRU SIDE ELEVATION
SCALE: 1/4"=1'-0"

9-H-19-UR
Revised: 8/27/2019

JOHN S VACI, Architect
1138 BERWICK ROAD
BIRMINGHAM, AL 35242
205.541.7898
john@johnvaciarchitect.com

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dunkin'
brands™
401 North Cedar Bluff Road
Knoxville TN 37923
Store Number: XXXXX

Bluemont
GROUP
Lee Millwood
Director of Store development
(615) 260-4642

ISSUED / REVISED	DATE

ELEVATIONS