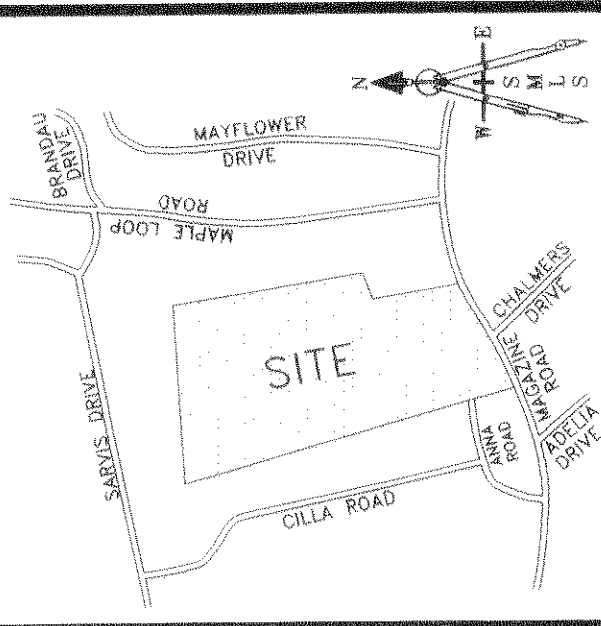
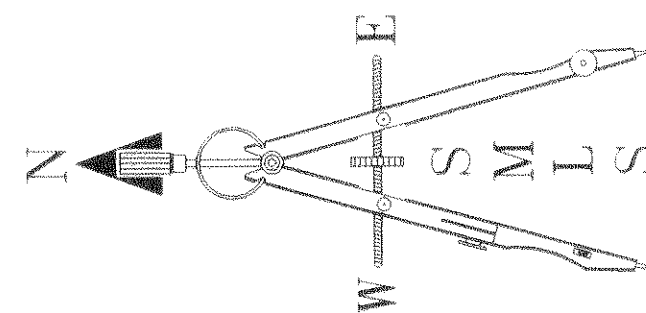
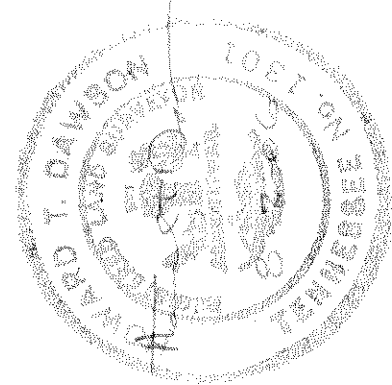




- NOTES:
- 1.) UTILITY AND DRAINAGE EASEMENTS EACH SIDE OF ALL INTERIOR LOT LINES, 10' UTILITY AND DRAINAGE EASEMENT INSIDE ALL BOUNDARY LINES AND ALONG ROAD R/W'S.
- 2.) TOTAL AREA = 14.31 ACRES/623357 SQ.FT.
- 3.) TOTAL UNITS = 50
- 4.) PROPERTY IS ZONED = "RP-1"
 - DEVELOPER ANTICIPATES THE POTENTIAL LOSS OF UNITS TO COMPLY WITH THE REQUIRED 3.5 UNITS PER ACRE.
- 5.) EXISTING STRUCTURES ON PROPERTY ARE TO BE REMOVED.
- 6.) OFF STREET PARKING TO BE ACCOMMODATED BY COMBINATION OF 1 AND 2 CAR GARAGES AND DRIVEWAYS.
- 7.) THERE SHALL BE NO FURTHER SUBDIVISION OF THE LANDS IN THIS DEVELOPMENT.
- 8.) -THE SITE DIRECTION FROM THE ENTRANCE ON MAGAZINE ROAD IS 300° IN BOTH DIRECTIONS AS REQUIRED.
- 9.) ALL ELEVATIONS ARE TAKEN FROM A REFERENCE TO VERTICAL DATUM OF NAD83.
- 10.) ALL CORNERS ARE MATHEMATICAL POINTS UNLESS NOTED OTHERWISE.
- 11.) GRID NORTH IS BASED ON A BEARING OF N 87°56'20" E FROM CITY CONTROL POINT #0038 TO #0039. DISTANCES HAVE NOT BEEN REDUCED TO GRID.
- 12.) ALL DRAINAGE TO SHALL FLOW TO PROPOSED RETENTION OR DETENTION BASINS SHOWN.
- 13.) GARBAGE COLLECTION SHALL BE PERFORMED BY CITY OF KNOXVILLE.
- 14.) MAIL FACILITY SHOWN SHALL SERVICE CONDOS ONLY.
- 15.) FAMILY UNITS SHALL HAVE INDIVIDUAL MAIL BOXES. ALL UN-NUMBERED LOTS SHALL BE COMMON AREA AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

CONCEPT PLAN FOR MAPLE GARDENS

[illegible]

I DO HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, THAT THE RATIO OF ERROR OF THE UNADJUSTED SURVEY IS NOT GREATER THAN 1 IN 10,000 AS SHOWN HEREON.

THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.

THIS SURVEY IS SUBMITTED FOR THE SOLE AND EXCLUSIVE USE AND BENEFIT OF THE PERSON OR INSTITUTION NAMED ON THIS SURVEY NO OTHER OR FURTHER USE MAY BE MADE OF THIS SURVEY WITHOUT PRIOR WRITTEN CONSENT OF HOWARD T. DAWSON P.L.S. NO. 130.