

LEGEND:

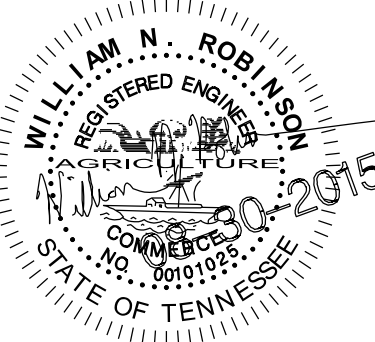
EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
[Symbol]	[Symbol]	STRUCTURE
[Symbol]	NA	PROPERTY LINE
[Symbol]	NA	EASEMENT
[Symbol]	[Symbol]	EDGE OF PAVEMENT
SD	[Symbol]	STORM DRAIN
SS	NA	SANITARY SEWER
W	PW	POTABLE WATER
NG	NG	NATURAL GAS
W	FW	FIRE PROTECTION
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	FIRE HYDRANT
NA	[Symbol]	SILT FENCING
NA	[Symbol]	INLET PROTECTION
NA	[Symbol]	CURB
NA	[Symbol]	CONCRETE PAVEMENT
NA	[Symbol]	ASPHALT PAVEMENT

SITE LAYOUT NOTES

- USE: PRIVATE SCHOOL, ZONING PC/O, CLT 103 12006
 - TOTAL BUILDING AREA: EXIST: 8,353, PROPOSED: 3,270 SF
 - TOTAL SITE: 2.14 AC, TOTAL DIST AREA: .20 AC, TOTAL IMPERV: 0.09 AC
 - DEED REFERENCE: 20080917-0019168 PLAT REFERENCE: 20070618-0103903
 - THIS PROPERTY IS NOT IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA. REFERENCE FEMA MAP 0233G.
 - SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK, DATUM NGVD.
 - SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON INFORMATION PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
 - UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
 - PARKING SUMMARY:
TOTAL REQUIRED: 27 SPACES
TOTAL PROVIDED: 31 SPACES
HANDICAP SPACES REQUIRED: 2 PROVIDED: 2
 - SETBACKS:
FRONT: 25'
SIDE: 16'
REAR: 20'
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
 - CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
 - VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
 - TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- MPC RATIOS:
GAC: 11.62393,218 = 0.12
FAR: 11.62393,218 = 0.12
IAR: 34.85893,218 = 0.37



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THE GODDARD SCHOOL

10720 VIRGINIA PINE WAY
KNOXVILLE, TENNESSEE 37813

Issue Date 08-30-2015

Drawn WNR Checked WNR

Revisions

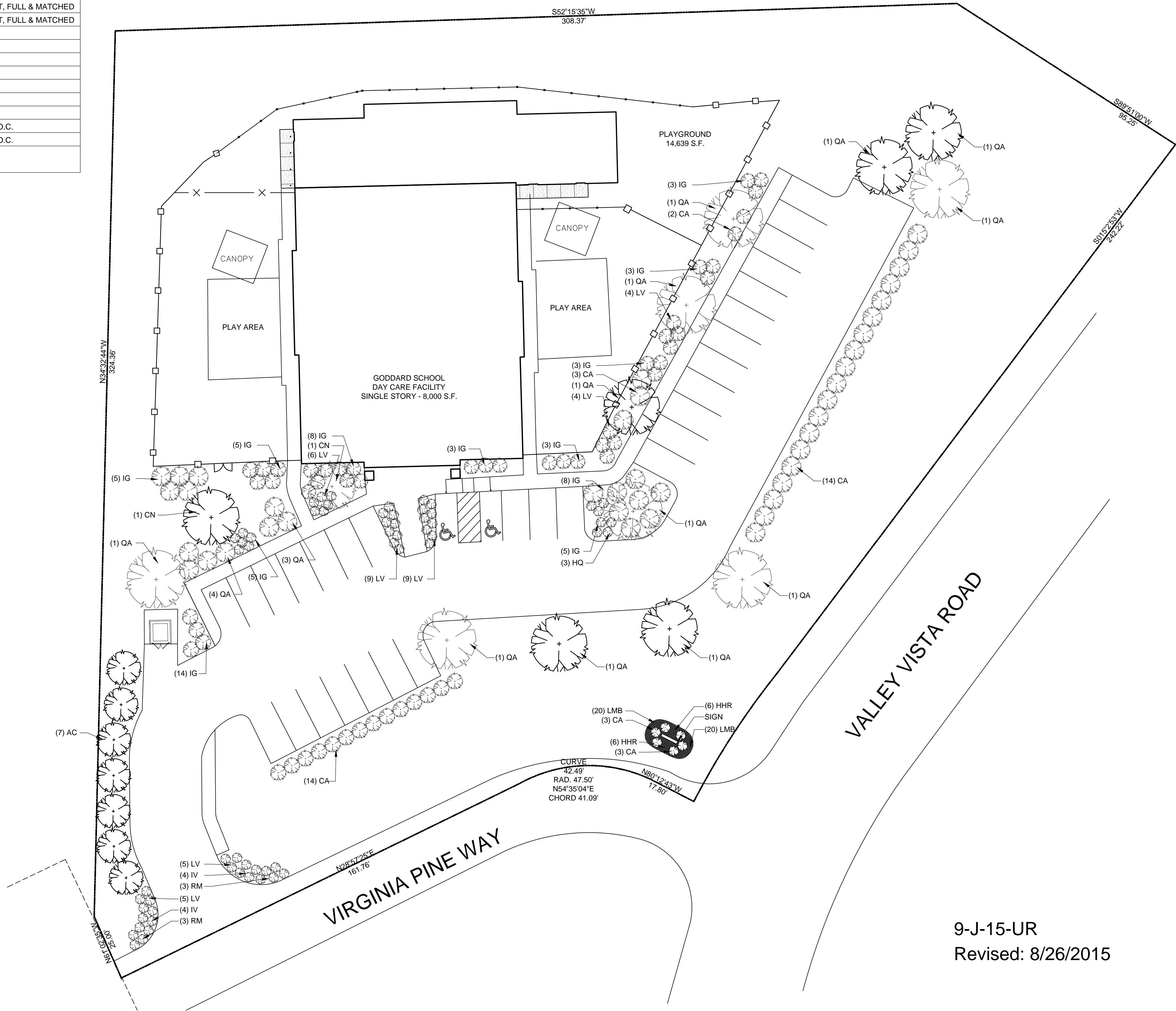
SITE LAYOUT PLAN

SCALE: 1" = 20'

9-J-15-UR
Revised: 8/26/2015

PLANT SCHEDULE

KEY	EXISTING QUANTITY	NEW QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHADE TREES						
QA	7	5	QUERCUS ALBA	WHITE OAK	3" cal.	6' CT, FULL & MATCHED
AC	0	7	ABIES CONCOLOR	WHITE FIR	3" cal.	6' CT, FULL & MATCHED
CN	1	1	CORNUS	DOGWOOD	2" cal.	6' CT, FULL & MATCHED
SHRUBS						
CA	49	0	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 gal.	
IG	45	0	ILEX GLABRA	INKBERRY HOLLY	3 gal.	
IV	22	0	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	3 gal.	
HQ	3	0	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3 gal.	
LV	33	0	ILEX VERTICILLATA	WINTERBERRY RED SPRITE	3 gal.	
GROUNDCOVER						
HHR	0	12	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 gal.	18" O.C.
LMB	0	40	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	1 gal.	18" O.C.
TOTAL REQUIRED TREES: 21						
TOTAL PROVIDED TREES: 21						



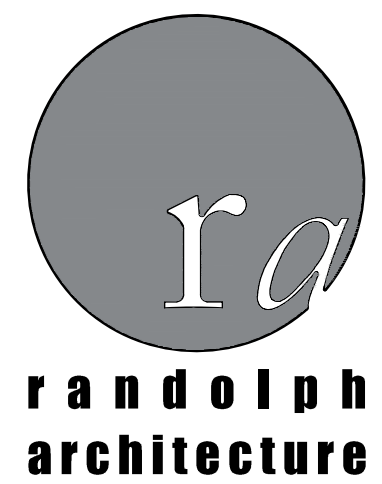
LANDSCAPE PLAN

SCALE: 1" = 20'-0"

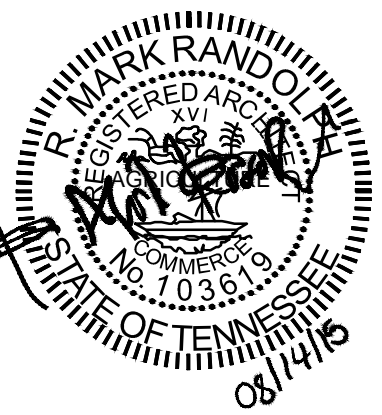
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L1.01
landscape plan



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10720 VIRGINIA PINE WAY
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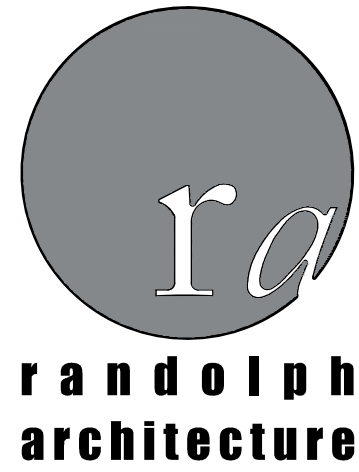
An Addition to:

Issue Date 08-14-2015

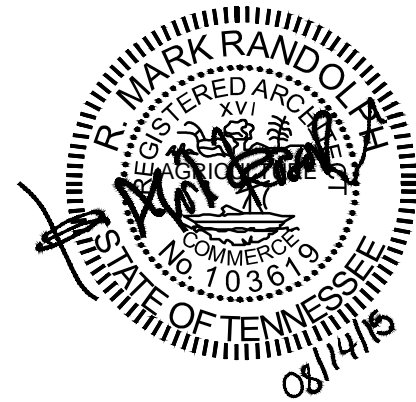
Drawn JMR
Checked RMR

Revisions
rev 1: 08 - 26 - 2015

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Revised: 8/26/2015



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An Addition to:

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Checked RMR

Revisions

a1.01

floor plan

KEYNOTES

1. EXISTING FDC TO REMAIN

2. EXISTING STONE AND E.I.F.S. VENEER TO BE REMOVED

3. EXISTING KNOX BOX TO REMAIN

4. NEW MECHANICAL UNITS ABOVE, SEE RCP & MECHANICAL SHEETS

5. NEW DOOR, FRAME & HARDWARE - SEE DOOR SCHEDULE

6. PATCH AND REPAIR GYP. BD. ON THIS SIDE. PAINT TO MATCH EXISTING

7. NEW ELECTRICAL PANEL - SEE ELECTRICAL SHEETS

8. SMART BOARD LOCATION

9. EXISTING WINDOWS TO REMAIN

10. EXISTING SIDEWALK TO BE REMOVED

11. REMOVE GUTTER & DOWNSPOLITS ON THIS FACADE

12. EXISTING SIDEWALK TO BE REMOVED

13. EXISTING CLEANOUT TO REMAIN. COORDINATE WITH NEW FINISH FLOOR SLAB AND VCT FLOORING WITH WORK. NOTIFY ARCHITECT OF ANY EXISTING CHANGES PRIOR TO PROCEEDING WITH WORK.

14. EXISTING LIGHT FIXTURE TO BE REMOVED - SEE RCP

15. EXISTING WINDOW TO BE REMOVED

16. EXISTING WINDOW TO BE REMOVED

GENERAL NOTES - FLOOR PLAN

1. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY EXISTING CHANGES PRIOR TO PROCEEDING WITH WORK.

2. ALL DIMENSIONS ARE FACE OF MTL. STUDS, UNLESS OTHERWISE NOTED

3. WORK TO COMPLY WITH ALL GOVERNING AUTHORITIES HAVING JURISDICTION

4. PROVIDE SOLID WOOD BLOCKING AS REQUIRED FOR ALL WALL MOUNTED ITEMS SUCH AS BUT NOT LIMITED TO: COUNTERTOPS SHELVING, RESTROOM ACCESSORIES, HANDRAILS, FIRE EXTINGUISHERS, ETC.

5. CONTRACTOR TO VERIFY WITH OWNER FOR MILLWORK FINISHES AND INSTALLATION PRIOR TO BUILD OUT.

6. CONTRACTOR TO VERIFY WITH OWNER ALL FLOOR FINISHES PRIOR TO CONSTRUCTION

7. DOORS AND DOOR HARDWARE TO MATCH EXISTING TYPE AND MATERIALS

8. NEW EGRESS SIGNAGE AND/OR LIGHTING AS REQUIRED

9. ADJUST EXISTING EMERGENCY LIGHTING AND FIRE SAFETY EQUIPMENT TO RETAIN FUNCTIONALITY AS REQUIRED. NEW EMERGENCY LIGHTING AND FIRE SAFETY EQUIPMENT AS REQUIRED.

10. FURNISH FIRE EXTINGUISHER AS REQUIRED AND VERIFY LOCATION WITH FIRE MARSHALL PRIOR TO INSTALLATION.

WALL LEGEND

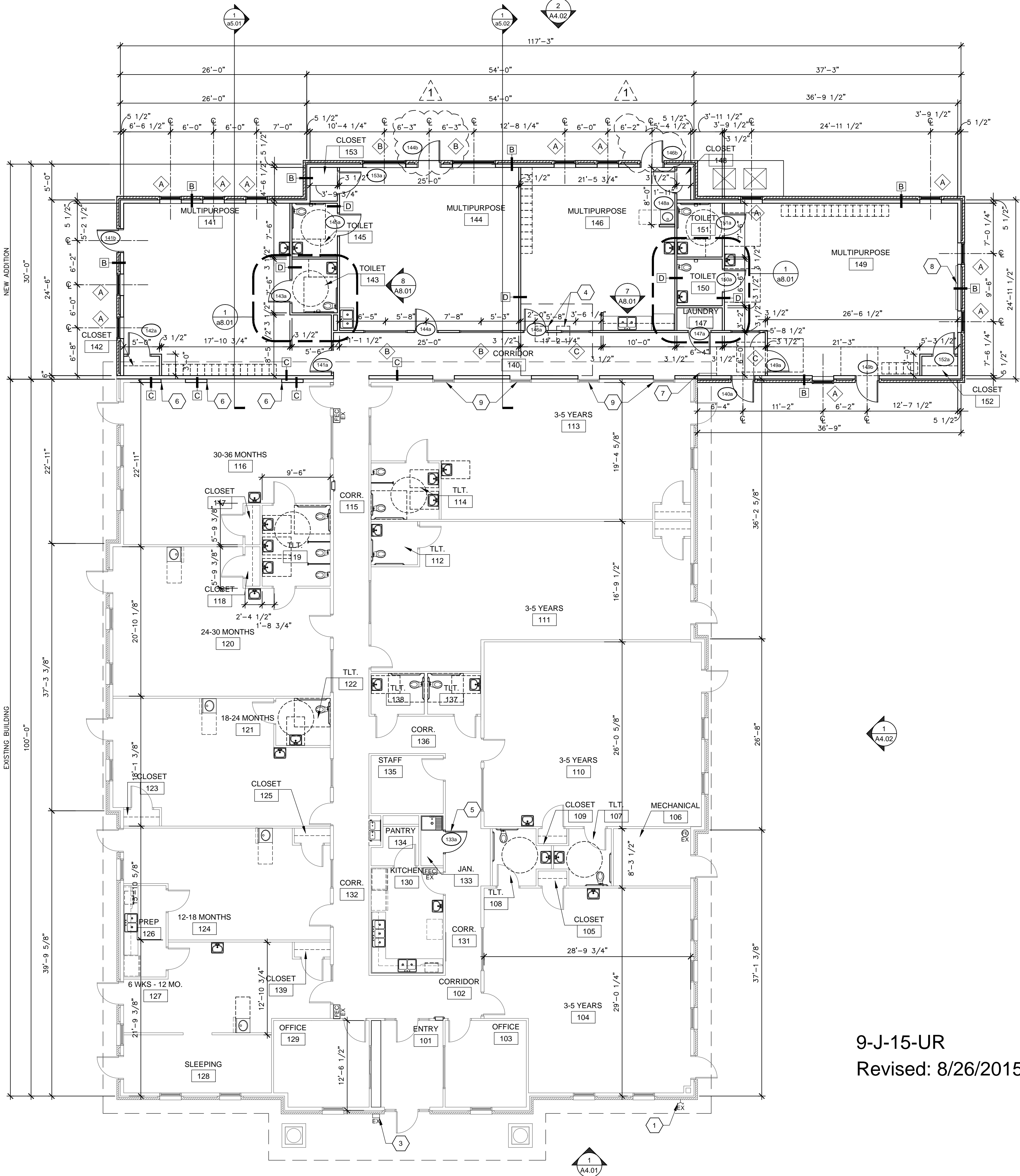
- EXISTING NON RATED EXTERIOR WALL TO REMAIN - STONE VENEER AND E.I.F.S. OVER 2X6 WD. STUDS W/ GYP. BD. ON INTERIOR SIDE
- EXISTING NON RATED INTERIOR WALL TO REMAIN - 2X4 WD. STUDS W/ GYP. BD. ON BOTH SIDES
- EXISTING WALL TO BE REMOVED
- A

EXISTING NON RATED EXTERIOR WALL TO BE MODIFIED - EXISTING STONE VENEER AND E.I.F.S. TO BE REMOVED 2X6 WD. STUDS W/ GYP. BD. ON INTERIOR SIDE TO REMAIN
- B

NEW NON RATED EXTERIOR WALL - STONE VENEER AND E.I.F.S. OVER VAPOR BARRIER OVER 1/2" PLYWOOD SHEATHING OVER 2X6 WD. STUDS AT 16" O.C. W/ GYP. BD. ON INTERIOR SIDE W/ R-19 BATT INSULATION
- C

NEW INTERIOR WALL - 2X6 WD. STUDS AT 16" O.C. W/ GYP. BD. ON BOTH SIDES
- D

NEW INTERIOR WALL - 2X4 WD. STUDS AT 16" O.C. W/ GYP. BD. ON BOTH SIDES

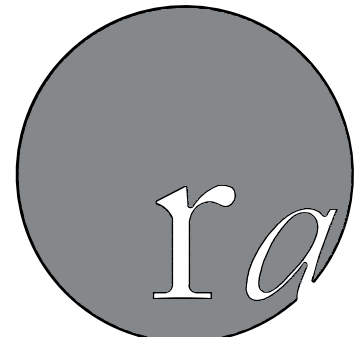


FLOOR PLAN

SCALE: 1/8"=1'-0"

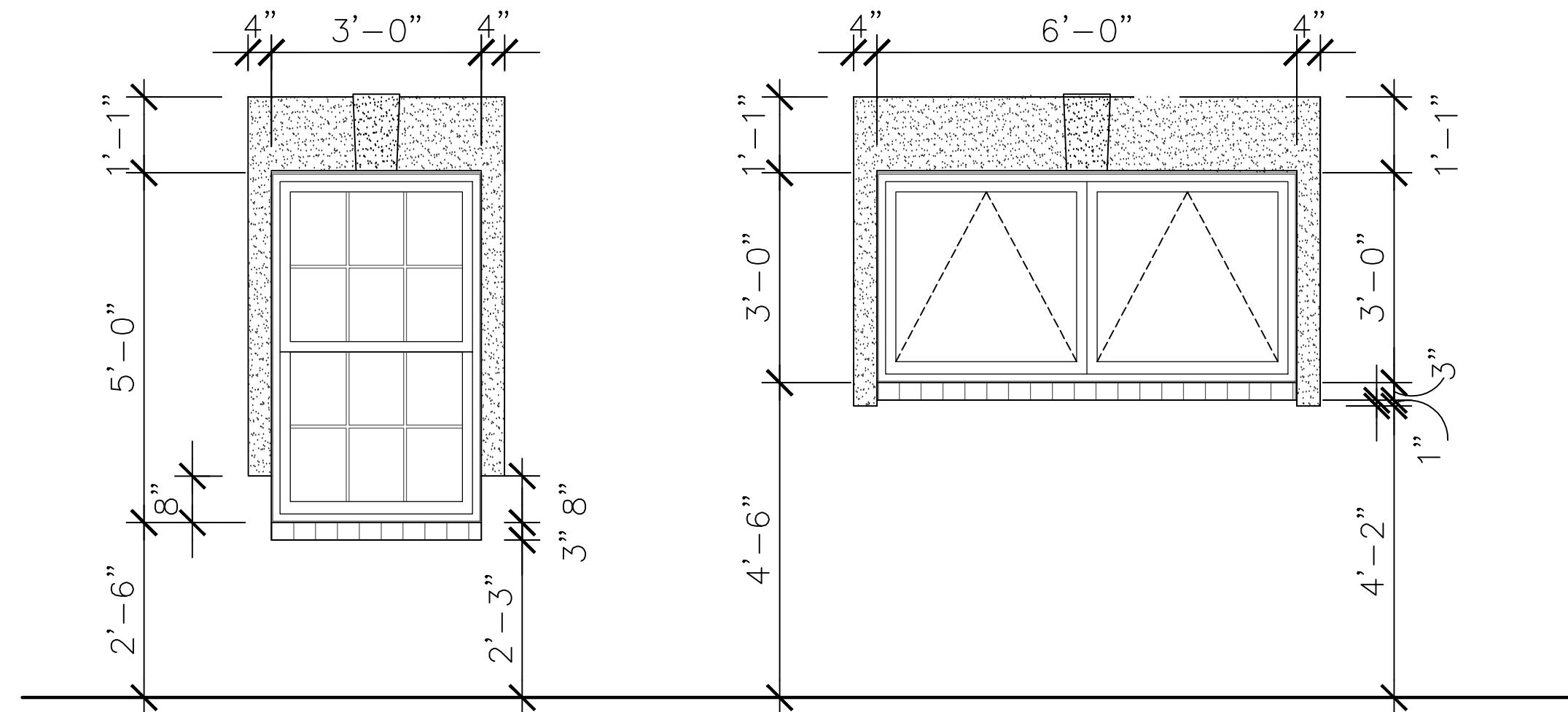
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**randolph
architecture**

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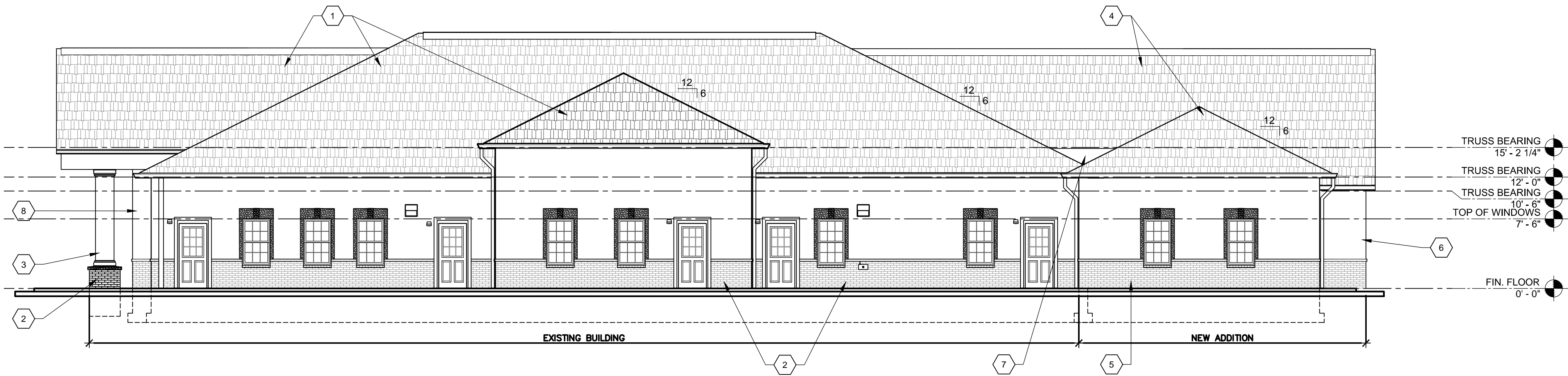
KEYNOTES

1. EXISTING FIBERGLASS SHINGLES TO REMAIN
2. EXISTING STONE VENEER TO REMAIN
3. EXISTING COLUMNS TO REMAIN
4. NEW FIBERGLASS SHINGLES TO MATCH EXISTING
5. NEW STONE VENEER TO MATCH EXISTING
6. NEW E.I.F.S. TO MATCH EXISTING
7. NEW CRICKET
8. EXISTING E.I.F.S. TO REMAIN
9. RIDGE VENT - COLOR TO MATCH EXISTING
10. E.I.F.S. SURROUND - SEE DETAIL 3/A4.01

ENLARGED GLAZING ELEVATION

SCALE: 1/8"=1'-0"

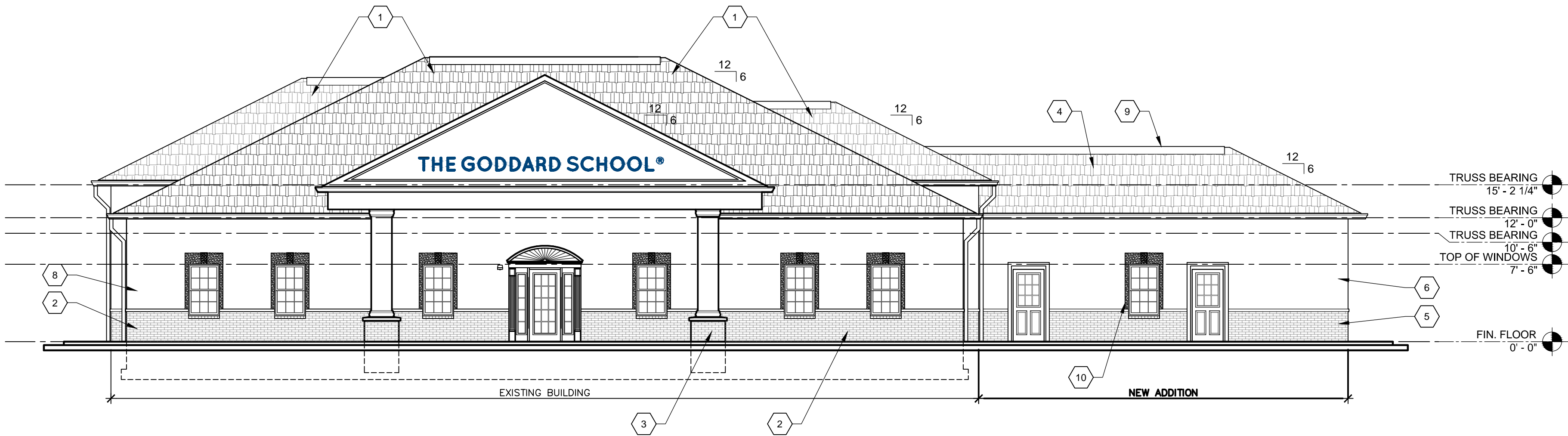
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SIDE ELEVATION (WEST)

SCALE: 1/8"=1'-0"

2



FRONT ELEVATION (NORTH)

SCALE: 1/8"=1'-0"

1

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Revised: 8/26/2015

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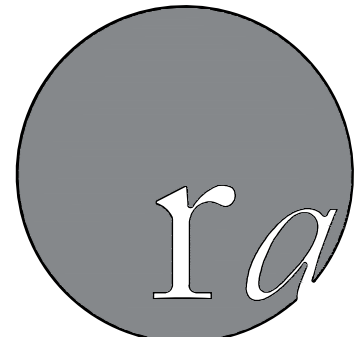
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Checked RMR

Revisions

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exterior elevations



randolph
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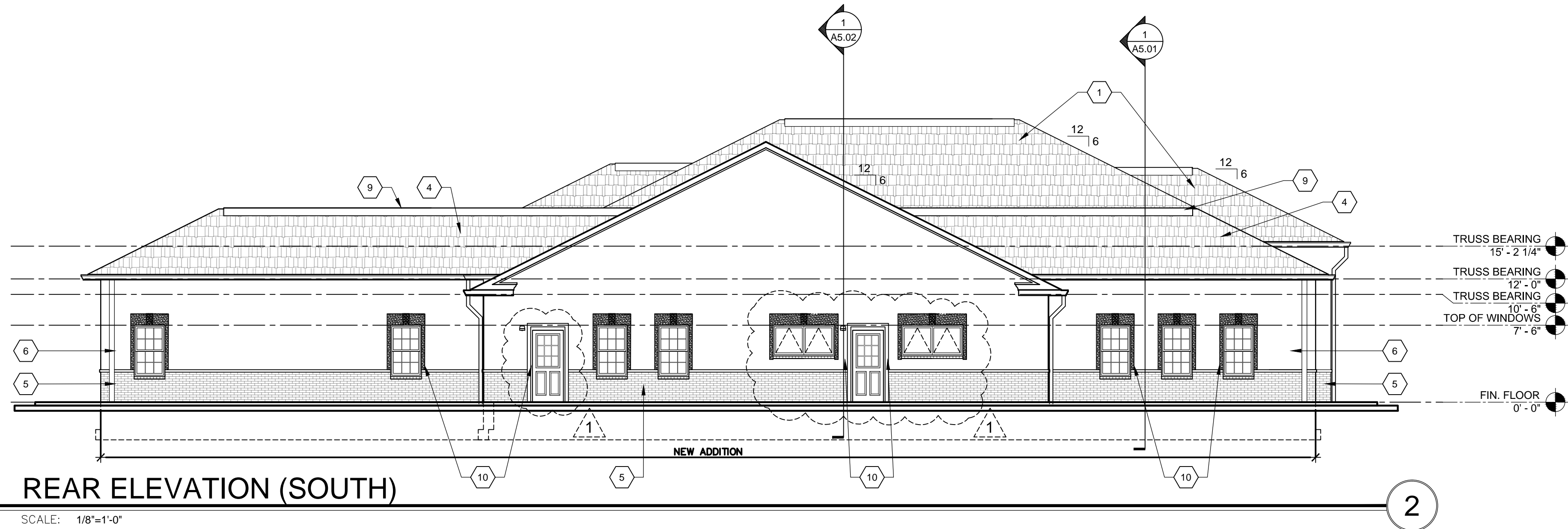
Revisions
△ rev 1: 08 - 26 - 2015

a4.02

exterior elevations

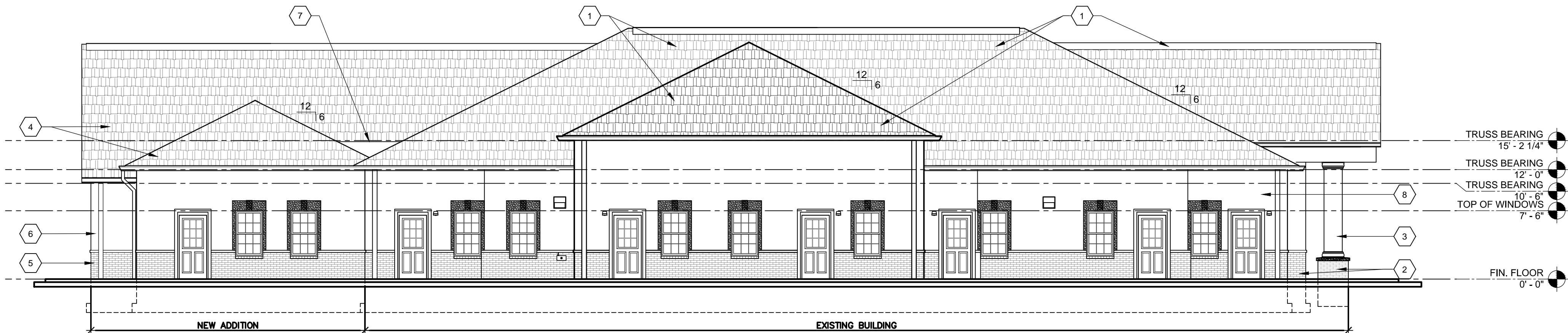
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REAR ELEVATION (SOUTH)

SCALE: 1/8"=1'-0"



SIDE ELEVATION (EAST)

SCALE: 1/8"=1'-0"

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