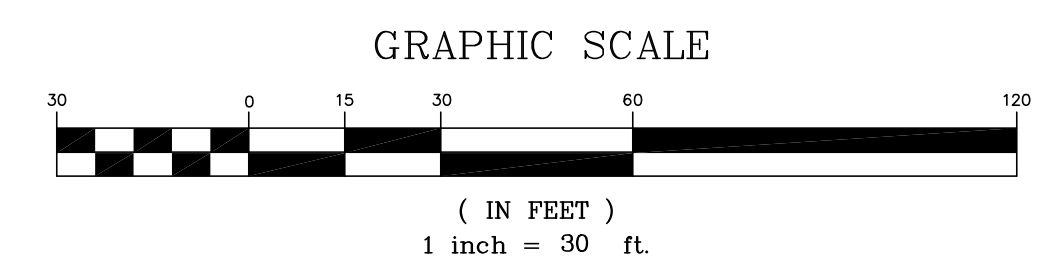


Driveway Profile  
 Horizontal Scale: 1"=30'  
 Vertical Scale: 1"=3'



**STIE**  
 INCORPORATED  
 Civil Engineers & Surveyors  
 10215 Technology Drive, Suite 304  
 Knoxville, TN 37932  
 Phone: (865) 777-4160  
 Fax: (865) 777-4189



Use on Review Development Plan - Grading and Drainage Plan

**Southside Flats**  
 2712 E Martin Mill Pike  
 Knoxville, Tennessee 37920  
 Parcel ID: 109AK00202 City Block: 25220

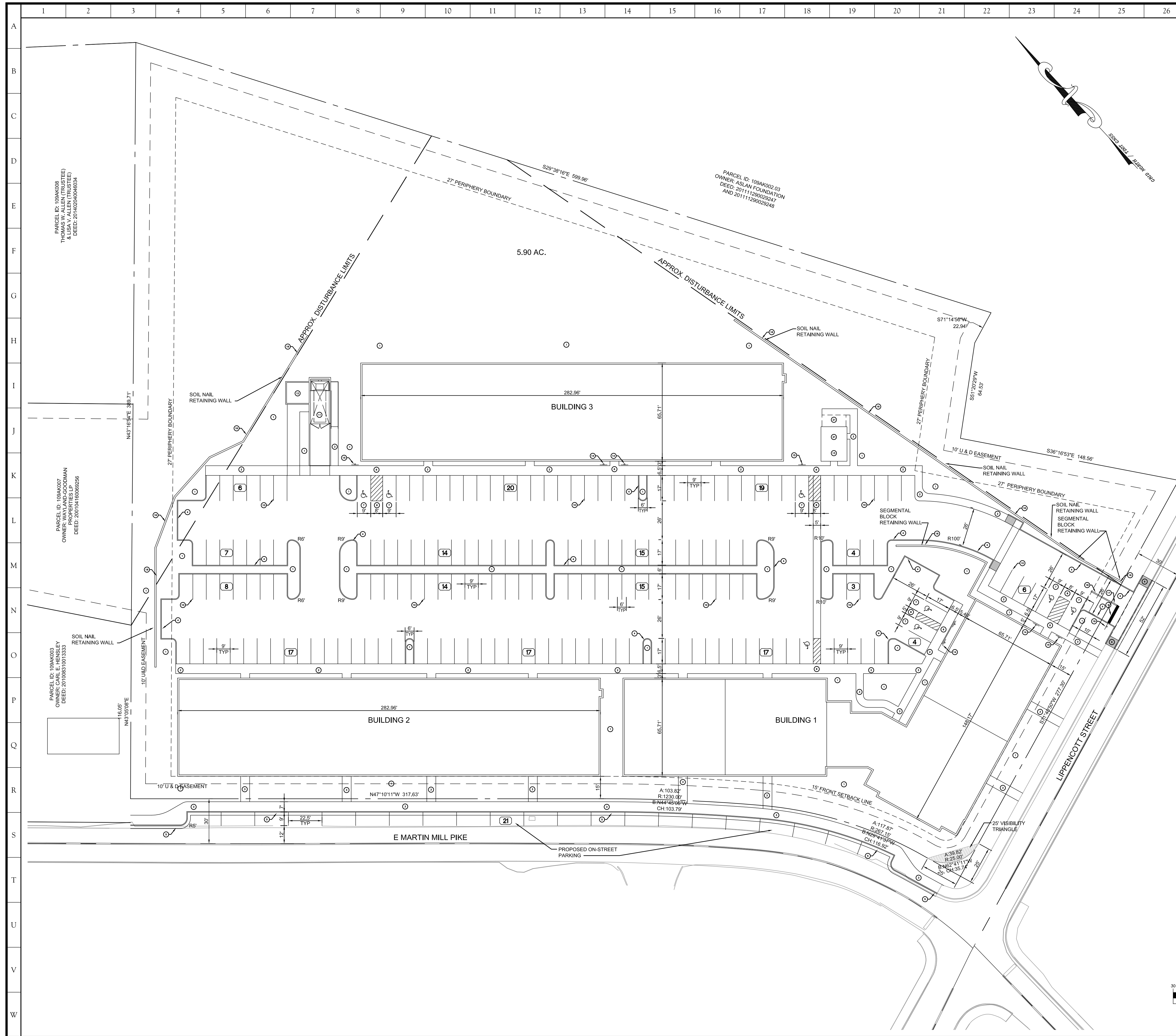
9-K-17-UR  
 Revised: 8/30/2017

NO.	DATE	COMMENTS
1	08/30/17	Revised per MFC Comments

DRAWN BY: ACH DATE: 06/04/17  
 CHECKED BY: DOR FILE: 1948 Grading

**C3.0**





**PARKING DATA:**

<b>PARKING REQUIRED PER ZONING ORDINANCE:</b>	
1 BEDROOM	1.5 PER FIRST 20 DUs + 1 PER DUs OVER 20
2 & 3 BEDROOMS	2 PER FIRST 20 DUs + 1.5 PER DUs OVER 20
<b>PARKING REQUIRED PER ZONING ORDINANCE:</b>	
1 BEDROOM (84 UNITS)	94 SPACES
2 & 3 BEDROOM (88 UNITS)	142 SPACES
TOTAL NUMBER OF SPACES REQUIRED	236 SPACES
<b>PARKING REQUIRED BY BZA VARIANCE GRANTED 8/17/17:</b>	
TOTAL SPACES	186 SPACES
<b>ON-SITE PARKING SPACES PROVIDED:</b>	
STANDARD SPACES	178 SPACES
HANDICAP ACCESSIBLE	8 SPACES
TOTAL SPACES PROVIDED:	186 SPACES
<b>OFF-SITE STREET PARKING SPACES PROVIDED:</b>	
STANDARD SPACES	21 SPACES

**PROPERTY DATA:**

TOTAL LOT AREA:	5.90 ACRES
ZONING:	RP-2
<b>REQUIRED BUILDING SETBACKS FOR ZONE RP-2:</b>	
FRONT PER BZA VARIANCE GRANTED 8/17/17:	15'
SIDE:	5'
REAR:	15'
SIDE AND REAR PERIPHERY BOUNDARY FOR 3 STORY BUILDING:	27'

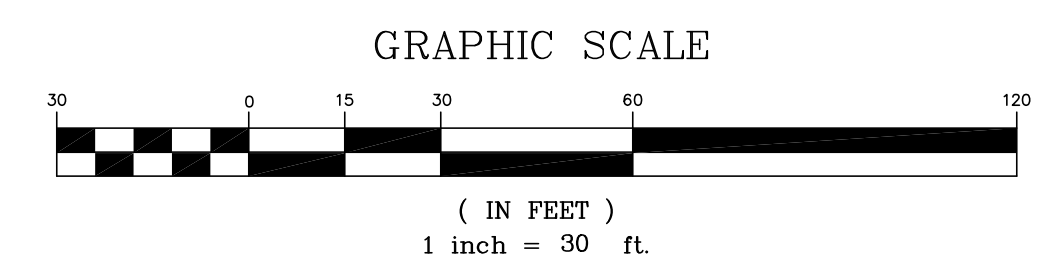
- LEGEND:**
- ① LANDSCAPE AREA/ISLAND
  - ② CONCRETE SIDEWALK WITH INTEGRAL CURB
  - ③ CONCRETE SIDEWALK
  - ④ EXTRUDED CONCRETE CURB
  - ⑤ TDOT 6-30 CONCRETE CURB AND GUTTER
  - ⑥ ACCESSIBLE RAMP
  - ⑦ ACCESSIBLE PARKING SPACE WITH PAINTED ACCESSIBLE SYMBOL
  - ⑧ ACCESSIBLE AISLE WITH 4" WIDE DIAGONAL PAINT STRIPES AT 2'-0" O.C.
  - ⑨ CROSS WALK - 8" WIDE WHITE PAINT STRIPE
  - ⑩ 4" WIDE WHITE PAINTED PARKING STRIPES
  - ⑪ TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS)
  - ⑫ MAINTENANCE BUILDING (SEE ARCHITECTURAL PLANS)
  - ⑬ MAIL BUILDING (SEE ARCHITECTURAL PLANS)
  - ⑭ ACCESSIBLE PARKING SIGN
  - ⑮ ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE PLAQUE
  - ⑯ RETAINING WALL
  - ⑰ 24" WIDE WHITE PAINTED STOP BAR
  - ⑱ 4" WIDE DOUBLE YELLOW SOLID PAINT STRIPES
  - ⑲ R1-1 "STOP" SIGN (30" X 30")
  - ⑳ R5-1 "DO NOT ENTER" SIGN (30" X 30")
  - ㉑ BIKE STORAGE (SEE ARCHITECTURAL PLANS)

**STIEH INCORPORATED**  
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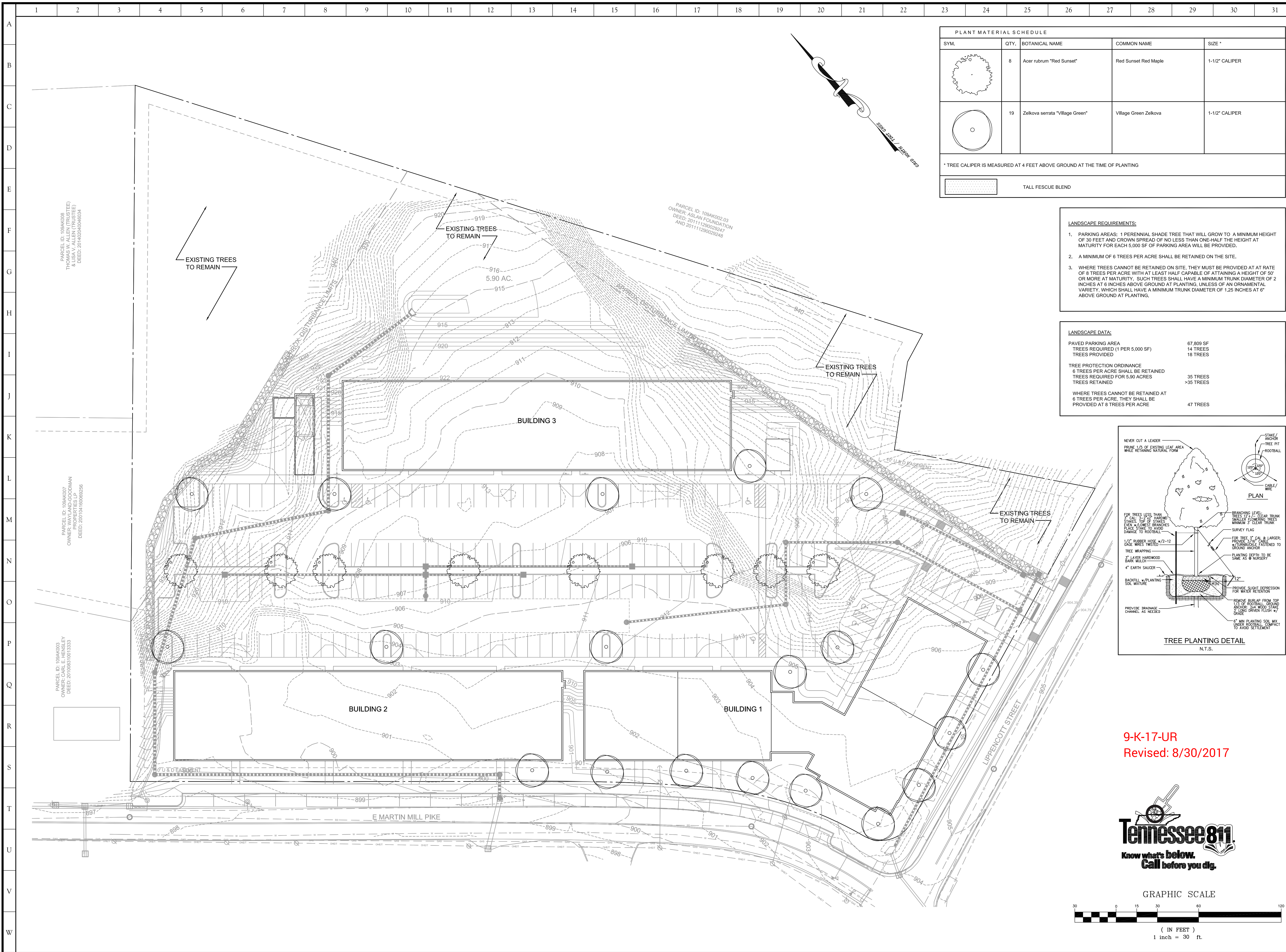
Site Layout Plan  
**Southside Flats**  
2712 E Martin Mill Pike  
Knoxville, Tennessee 37920  
Parcel ID: 109AK00202 City Block: 25220

9-K-17-UR  
Revised: 8/30/2017



DATE:	08/17/17	
FILE:	1948_Site_Plan	
NO.	DATE	COMMENTS
1	08/30/17	Revised per MFC Comments

**C4.0**



PLANT MATERIAL SCHEDULE				
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE *
	8	Acer rubrum "Red Sunset"	Red Sunset Red Maple	1-1/2" CALIPER
	19	Zelkova serrata "Village Green"	Village Green Zelkova	1-1/2" CALIPER

\* TREE CALIPER IS MEASURED AT 4 FEET ABOVE GROUND AT THE TIME OF PLANTING

TALL FESCUE BLEND

- LANDSCAPE REQUIREMENTS:**
1. PARKING AREAS: 1 PERENNIAL SHADE TREE THAT WILL GROW TO A MINIMUM HEIGHT OF 30 FEET AND CROWN SPREAD OF NO LESS THAN ONE-HALF THE HEIGHT AT MATURITY FOR EACH 5,000 SF OF PARKING AREA WILL BE PROVIDED.
  2. A MINIMUM OF 6 TREES PER ACRE SHALL BE RETAINED ON THE SITE.
  3. WHERE TREES CANNOT BE RETAINED ON SITE, THEY MUST BE PROVIDED AT RATE OF 8 TREES PER ACRE WITH AT LEAST HALF CAPABLE OF ATTAINING A HEIGHT OF 50' OR MORE AT MATURITY. SUCH TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF 2 INCHES AT 6 INCHES ABOVE GROUND AT PLANTING, UNLESS OF AN ORNAMENTAL VARIETY, WHICH SHALL HAVE A MINIMUM TRUNK DIAMETER OF 1.25 INCHES AT 6' ABOVE GROUND AT PLANTING.

**LANDSCAPE DATA:**

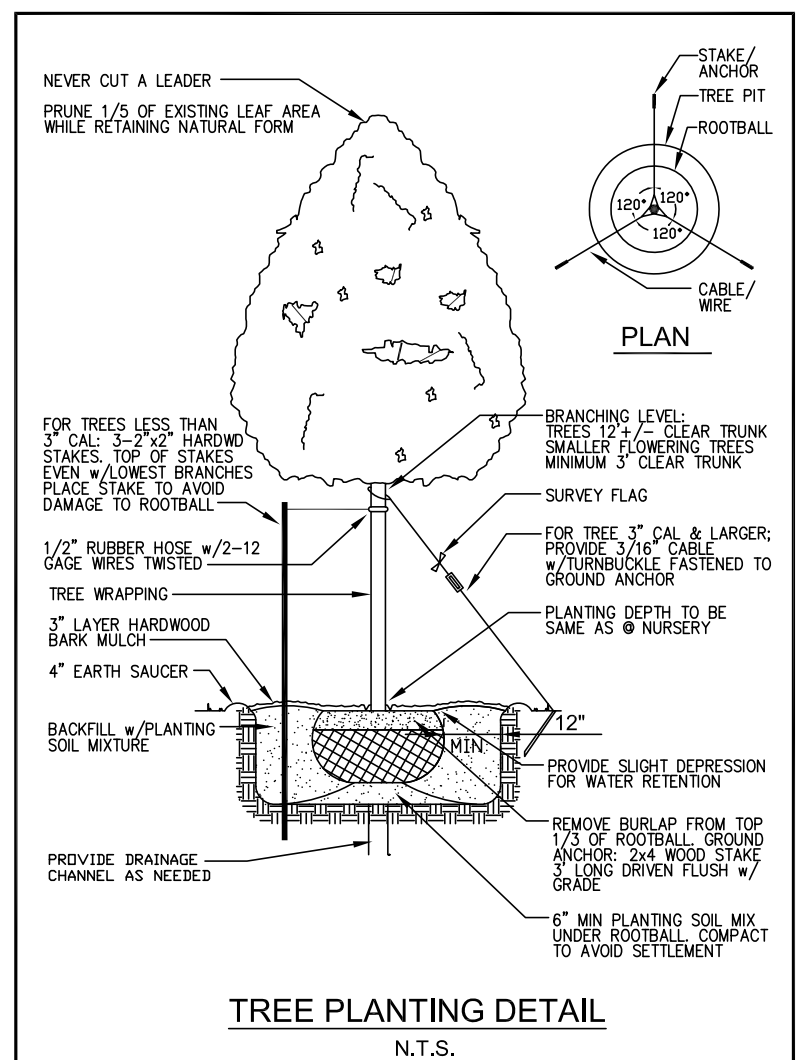
PAVED PARKING AREA	67,809 SF
TREES REQUIRED (1 PER 5,000 SF)	14 TREES
TREES PROVIDED	18 TREES

**TREE PROTECTION ORDINANCE**

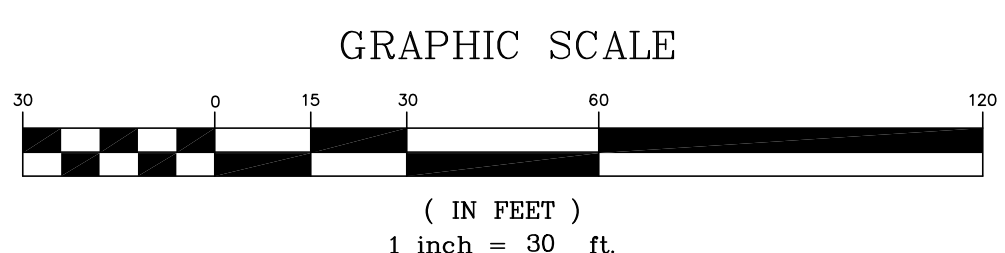
6 TREES PER ACRE SHALL BE RETAINED	35 TREES
TREES REQUIRED FOR 5.90 ACRES	>35 TREES
TREES RETAINED	>35 TREES

**WHERE TREES CANNOT BE RETAINED AT 6 TREES PER ACRE, THEY SHALL BE PROVIDED AT 8 TREES PER ACRE**

6 TREES PER ACRE	47 TREES
------------------	----------



9-K-17-UR  
Revised: 8/30/2017



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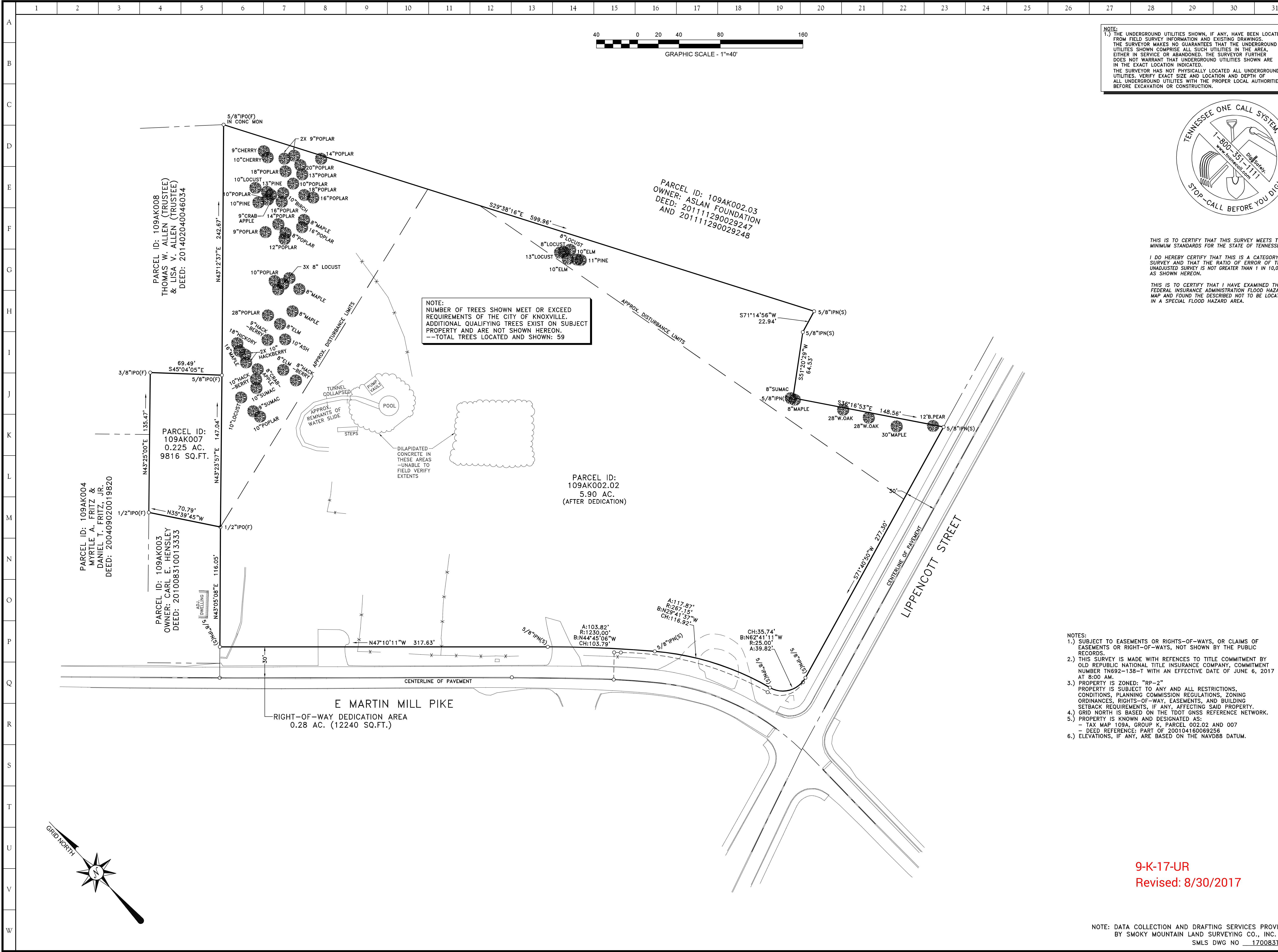
Use on Review Development Plan - Landscape Plan

**Southside Flats**  
2712 E Martin Mill Pike  
Knoxville, Tennessee 37920  
Parcel ID: 109AK00202 City Block: 25220

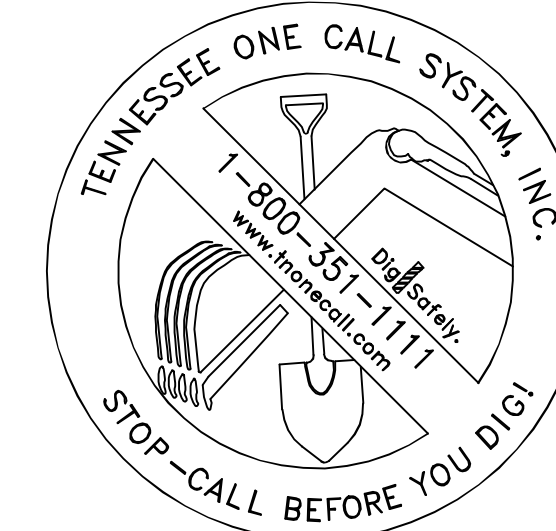
DRAWN BY: ACH DATE: 06/04/17  
CHECKED BY: DOR FILE: 1948\_Landscape

NO.	DATE	COMMENTS
1	08/30/17	Revised per MFC Comments

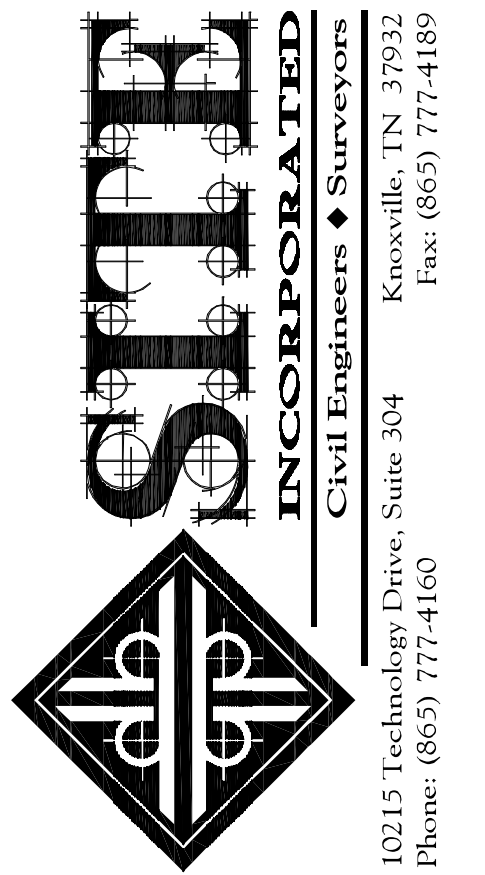
**C6.0**



NOTE:  
 1.) THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.  
 THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. VERIFY EXACT SIZE AND LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITH THE PROPER LOCAL AUTHORITIES BEFORE EXCAVATION OR CONSTRUCTION.



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE.  
 I DO HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THAT THE RATIO OF ERROR OF THE UNADJUSTED SURVEY IS NOT GREATER THAN 1 IN 10,000 AS SHOWN HEREON.  
 THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.



Tree Inventory for  
**ECCG Martin Mill LP**  
 E Martin Mill Pike & Lippencott Street  
 Dist. 9 - Knox County -- 26th Ward, City of Knoxville, TN  
 Owner: Wayland-Goodman Properties, LP

- NOTES:
- 1.) SUBJECT TO EASEMENTS OR RIGHTS-OF-WAYS, OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, NOT SHOWN BY THE PUBLIC RECORDS.
  - 2.) THIS SURVEY IS MADE WITH REFERENCES TO TITLE COMMITMENT BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER TN692-138-T WITH AN EFFECTIVE DATE OF JUNE 6, 2017 AT 8:00 AM.
  - 3.) PROPERTY IS ZONED: "RP-2"  
 PROPERTY IS SUBJECT TO ANY AND ALL RESTRICTIONS, CONDITIONS, PLANNING COMMISSION REGULATIONS, ZONING ORDINANCES, RIGHTS-OF-WAY, EASEMENTS, AND BUILDING SETBACK REQUIREMENTS, IF ANY, AFFECTING SAID PROPERTY.
  - 4.) GRID NORTH IS BASED ON THE TDOT GNSS REFERENCE NETWORK.
  - 5.) PROPERTY IS KNOWN AND DESIGNATED AS:  
 - TAX MAP 109A, GROUP K, PARCEL 002.02 AND 007  
 - DEED REFERENCE: PART OF 20010418068256
  - 6.) ELEVATIONS, IF ANY, ARE BASED ON THE NAVD88 DATUM.

DRAWN BY:	MJD	DATE:	08/28/2017
CHECKED BY:	HTD	FILE:	
REVISIONS			
NO.	DATE	COMMENTS	

9-K-17-UR  
 Revised: 8/30/2017

NOTE: DATA COLLECTION AND DRAFTING SERVICES PROVIDED BY SMOKY MOUNTAIN LAND SURVEYING CO., INC.  
 SMLS DWG NO 170083T1



**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

**ECCG Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203

Revision 1 - 8.30.17

Project Number: 16048  
Description: Use on Review Submittal  
Date: 08.04.17

Sheet Number:

A-1

**Unit Count Data:**  
All buildings shall be 3/4 split building concept

Bedroom Count	As Shown On Site	
1 Bedroom	84	49%
2 Bedrooms	51	30%
3 Bedrooms	37	21%
Total	172	100%

Shown on site plan = 186 Parking Spaces  
On Street Parking (Parallel Parking) = 21  
Parking required = 186 Parking Spaces  
Parking required by BZA Variance Granted 8/17/17

**Building Unit Count**

Building	1BR	2BR	3BR	Total
1	28	23	9	60
2	28	14	14	56
3	28	14	14	56
Total	84	51	37	172



9-K-17-UR  
Revised: 8/30/2017

**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

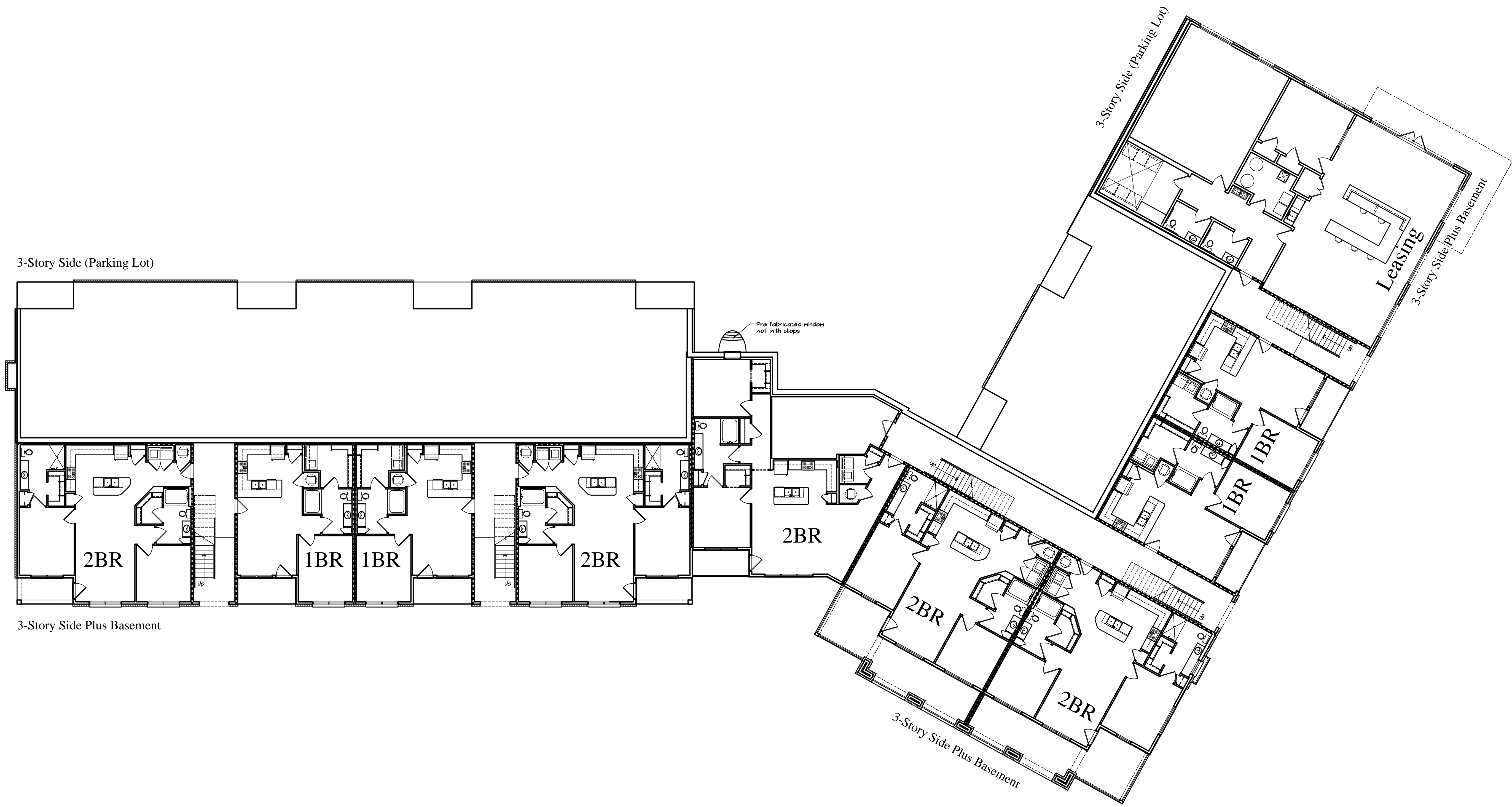
**ECCG Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203

Revision 1 - 8.30.17

Project Number: 16048  
Description: Use on Review Submittal  
Date: 08.04.17

Sheet Number:

**A-4**



**1** Basement Floor Plan (Building 1)  
Scale:  $\frac{3}{32}'' = 1'-0''$

9-K-17-UR  
Revised: 8/30/2017

**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

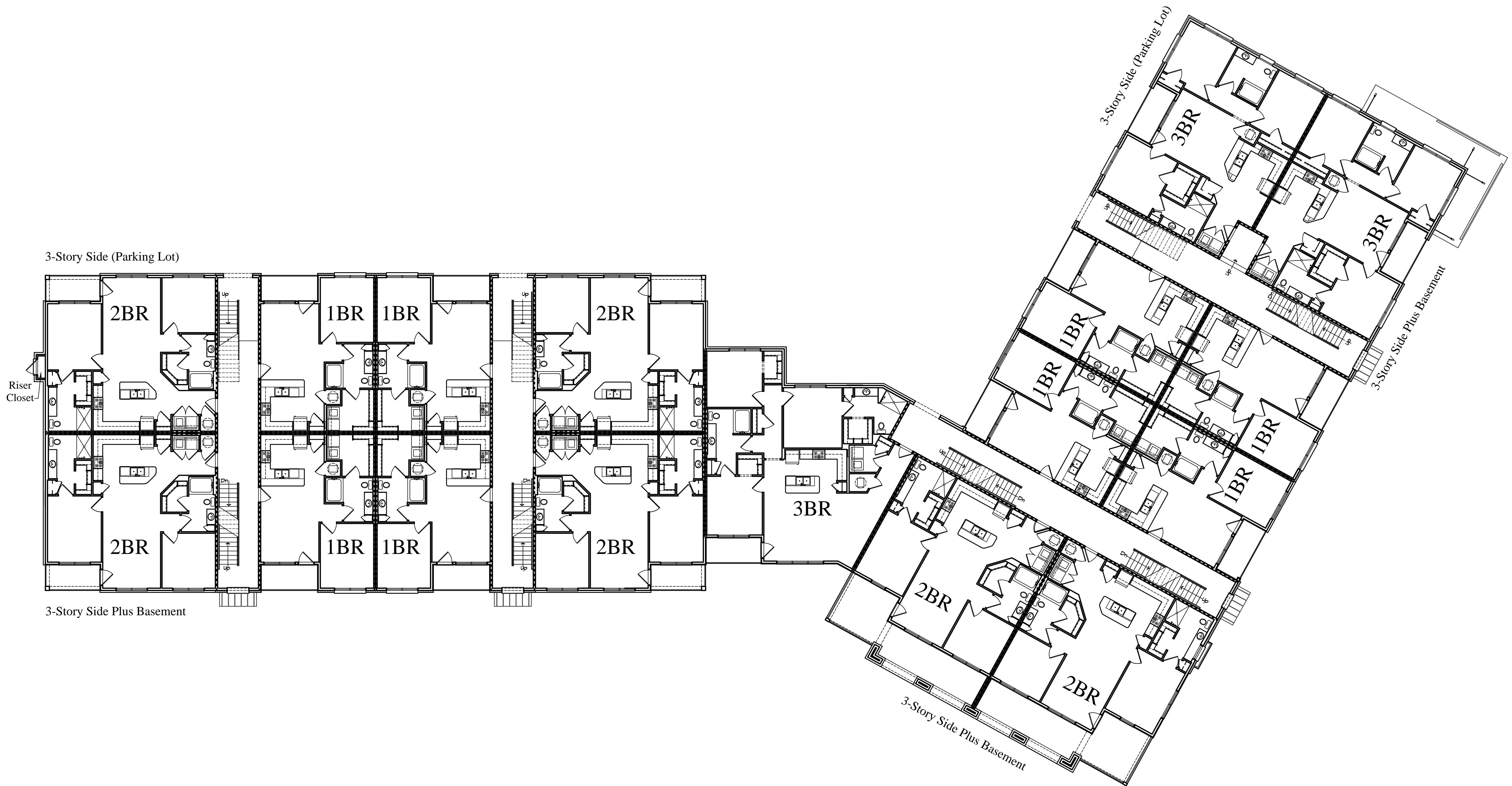
**ECG Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203

Revision 1 - 8.30.17

Project Number: 16048  
Description: Use on Review Submittal  
Date: 08.04.17

Sheet Number:

**A-5**



**1** First Floor Plan (Building 1)  
Scale:  $\frac{3}{32}'' = 1'-0''$

9-K-17-UR  
Revised: 8/30/2017

**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

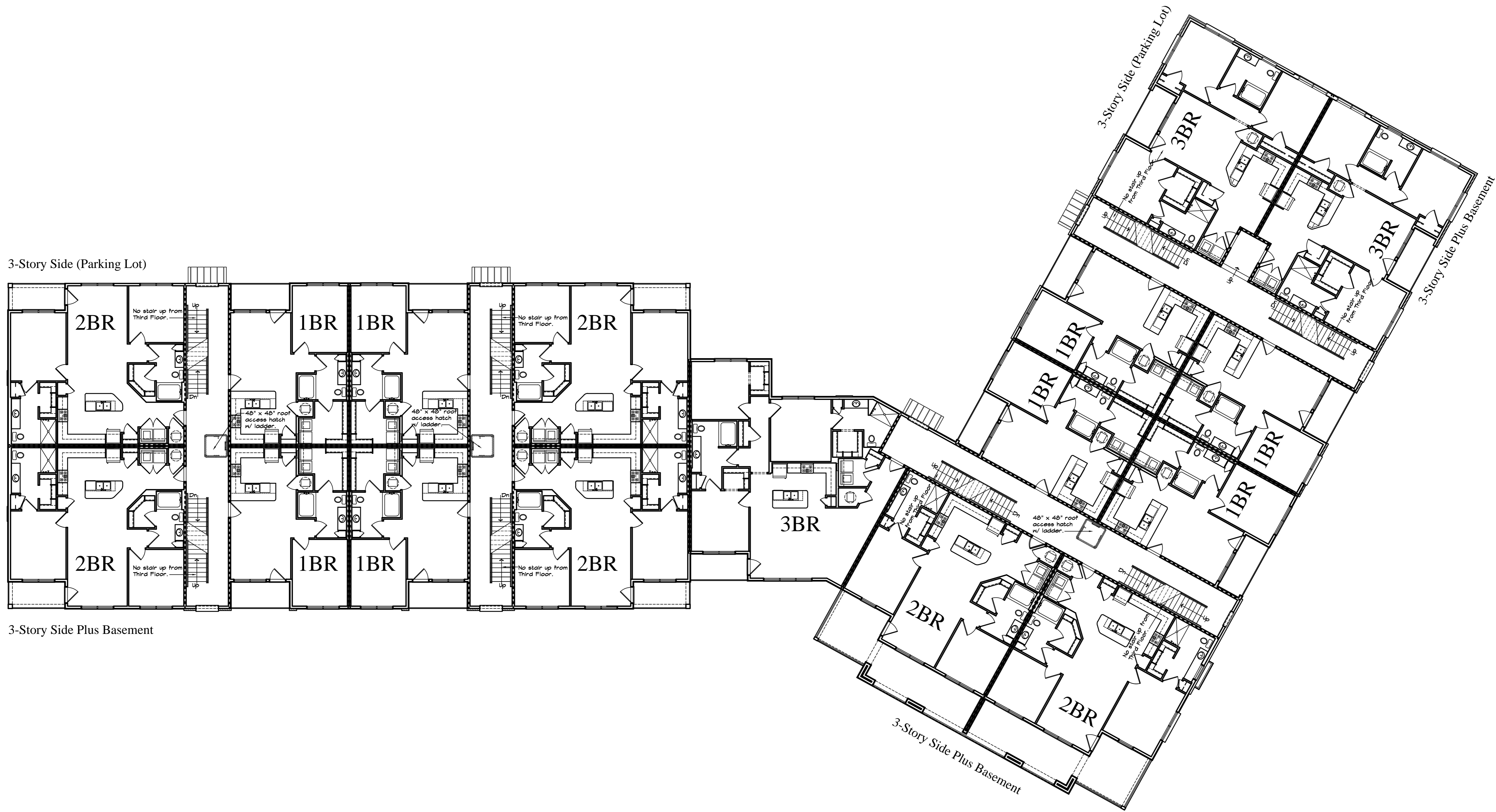
**ECG Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203

Revision 1 - 8.30.17

Project Number: 16048  
Description: Use on Review Submittal  
Date: 08.04.17

Sheet Number:

**A-6**



9-K-17-UR  
Revised: 8/30/2017

**1** **Second & Third Floor Plan (Building 1)**  
Scale:  $\frac{3}{32}'' = 1'-0''$



**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

**ECCG Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203

Revision 1 - 8.30.17

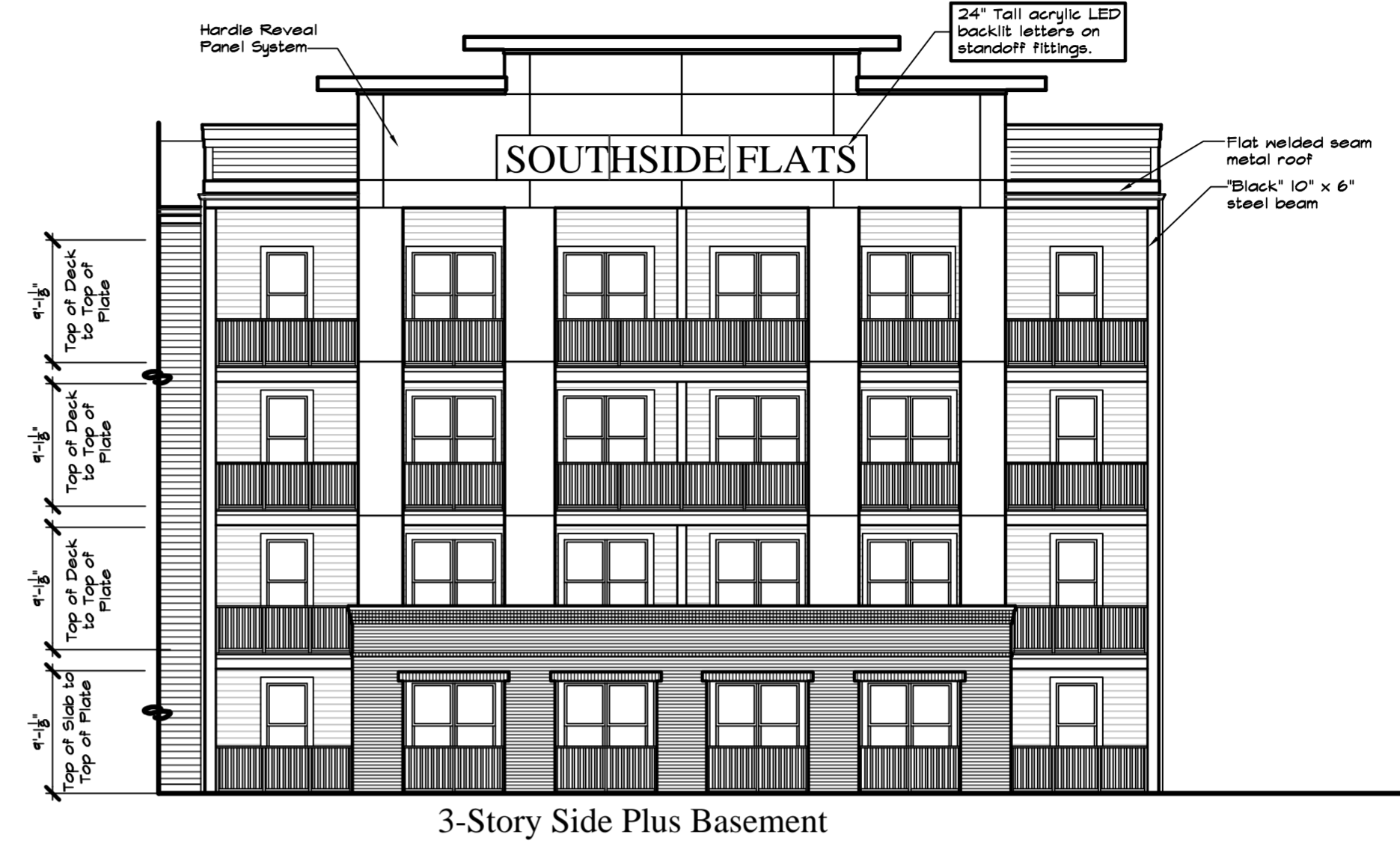
Project Number: 16048  
Description: Use on Review Submittal  
Date: 08.04.17

Sheet Number:

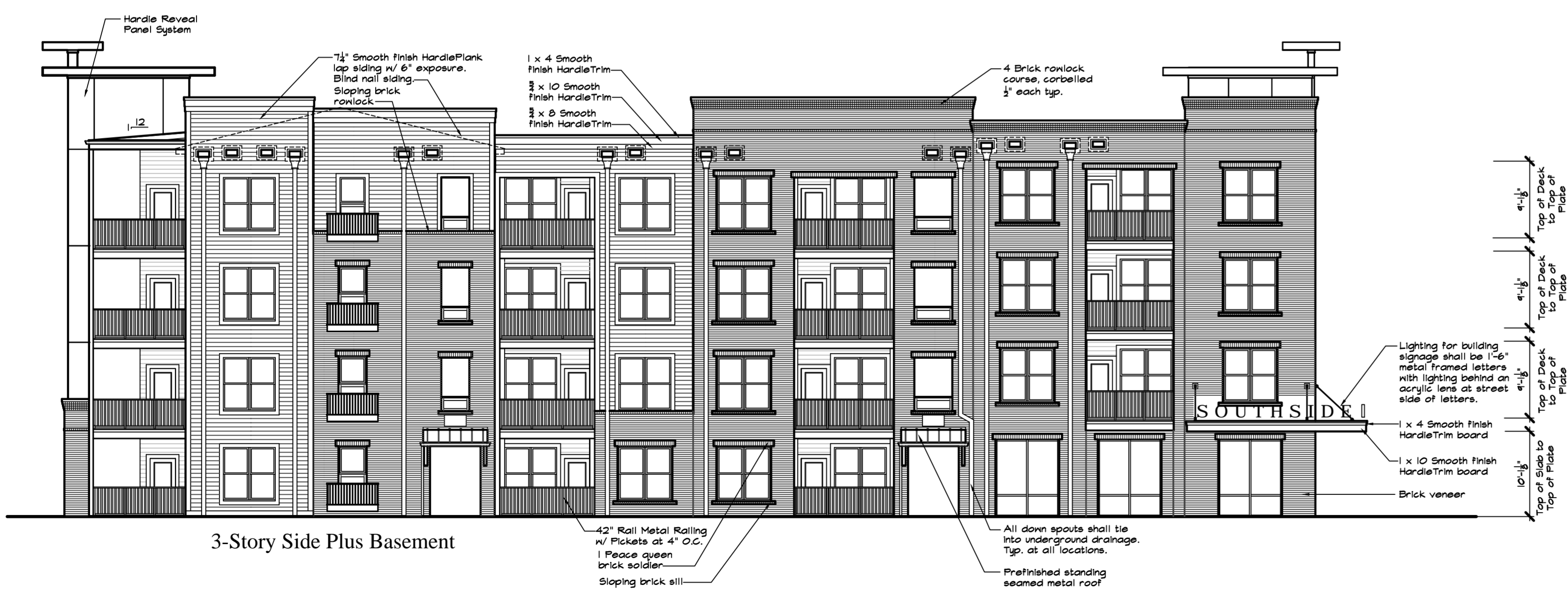
**A-7**



**1 South Elevation (Building 1)**  
Scale:  $\frac{3}{32}'' = 1'-0''$



**2 Corner of E. Martin Mill Pike & Lippencott Prtial Elevation (Building 1)**  
Scale:  $\frac{3}{32}'' = 1'-0''$



**3 East Elevation (Building 1)**  
Scale:  $\frac{3}{32}'' = 1'-0''$



**4 West Elevation (Building 1)**  
Scale:  $\frac{3}{32}'' = 1'-0''$

9-K-17-UR  
Revised: 8/30/2017

**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

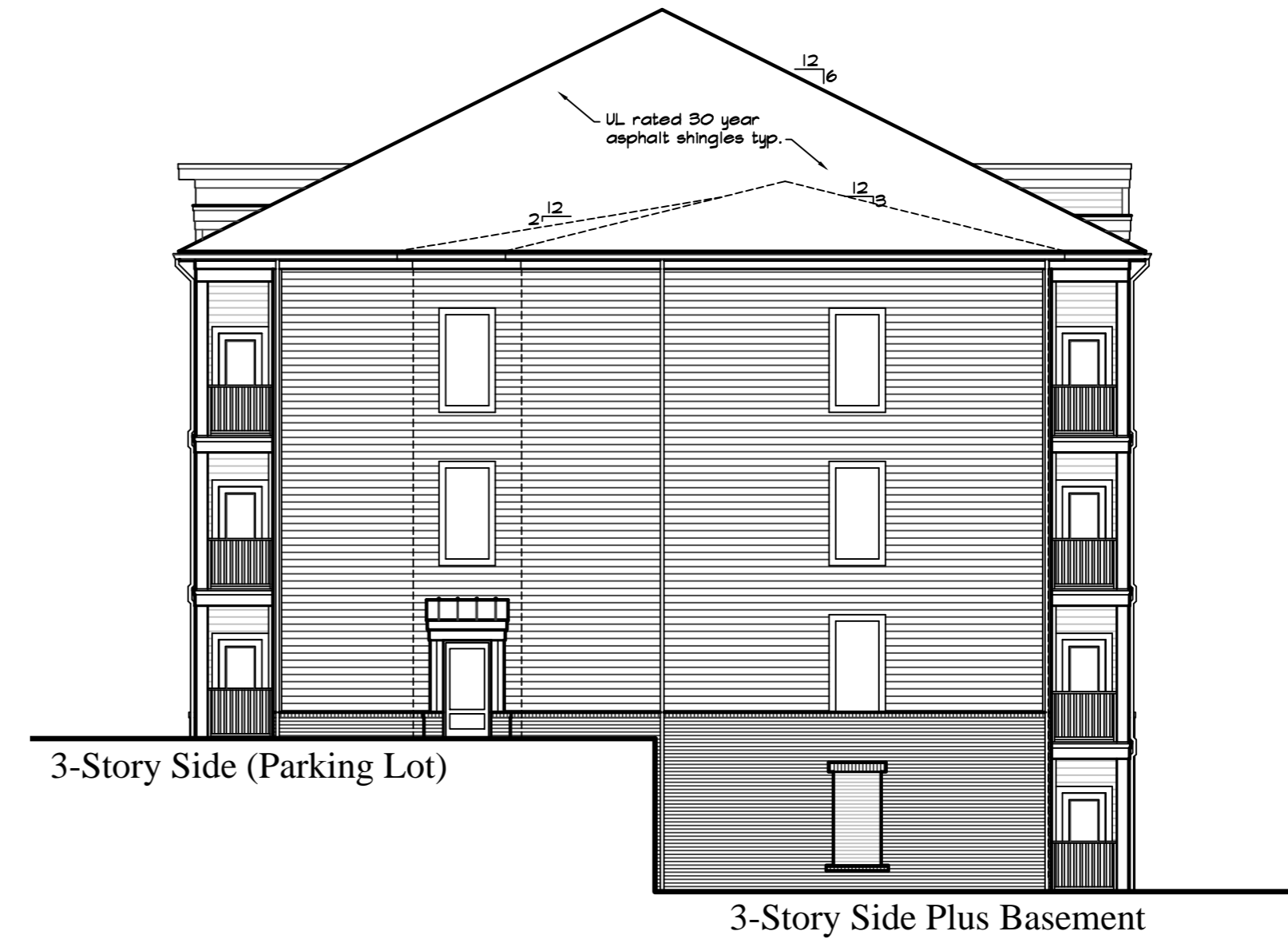
**ECG Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203

Revision 1 - 8.30.17

Project Number: 16048  
Description: Use on Review Submittal  
Date: 08.04.17

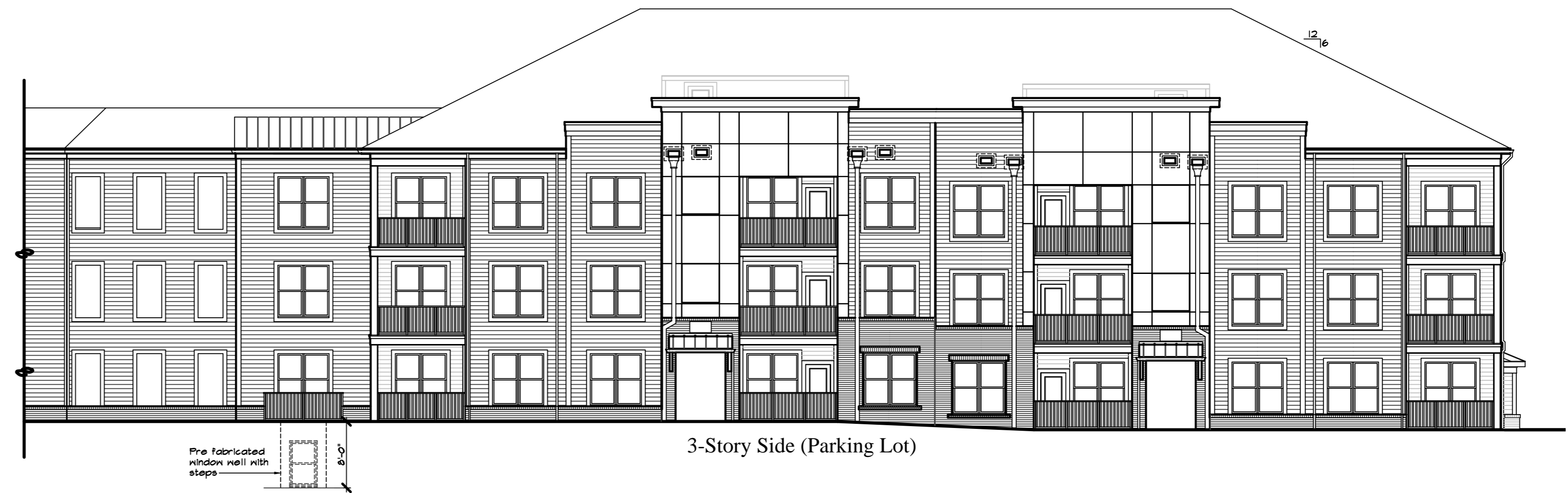
Sheet Number:

**A-8**



**1 North East Elevation (Building 1)**  
Scale:  $\frac{3}{32}'' = 1'-0''$

**2 West Elevation (Building 1)**  
Scale:  $\frac{3}{32}'' = 1'-0''$

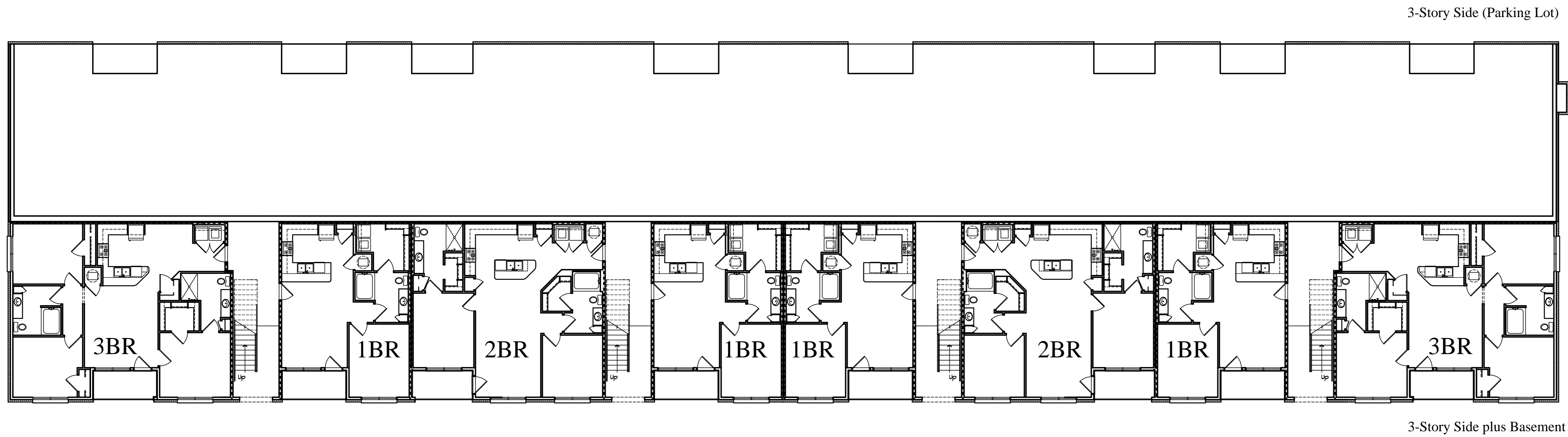


**1 North West Elevation (Building 1)**  
Scale:  $\frac{3}{32}'' = 1'-0''$

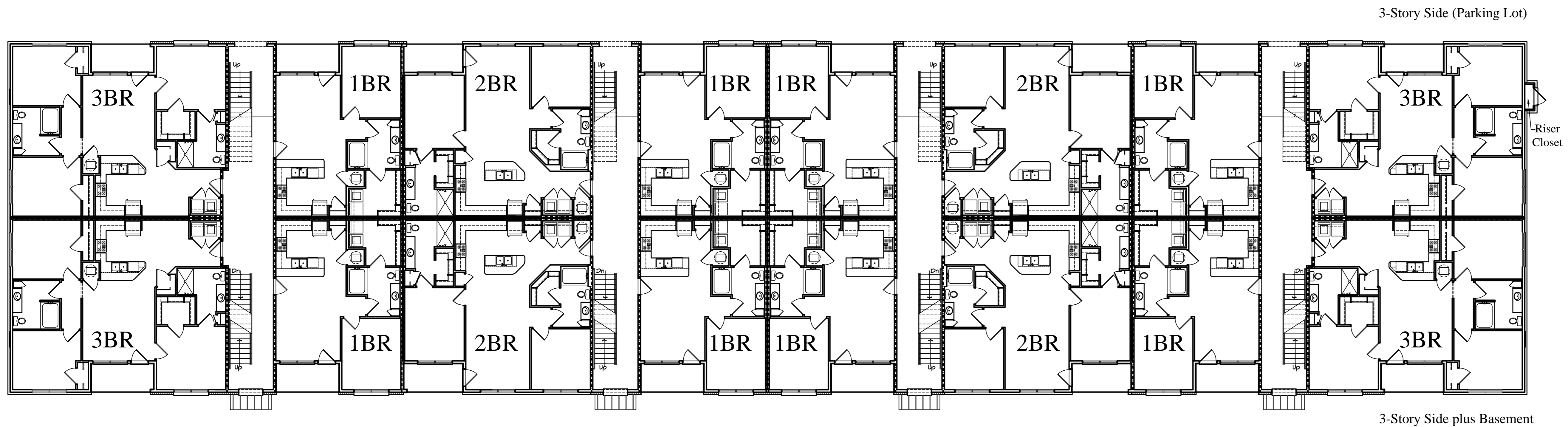
9-K-17-UR  
Revised: 8/30/2017

**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

**ECCG Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203



**1** Basement Floor Plan (Building 2 & 3)  
Scale:  $\frac{3}{32}'' = 1'-0''$



**2** First Floor Plan (Building 2 & 3)  
Scale:  $\frac{3}{32}'' = 1'-0''$

9-K-17-UR  
Revised: 8/30/2017

Project Number: 16048  
Description: Use on Review Submittal  
Date: 08.04.17

Sheet Number:

**A-9**

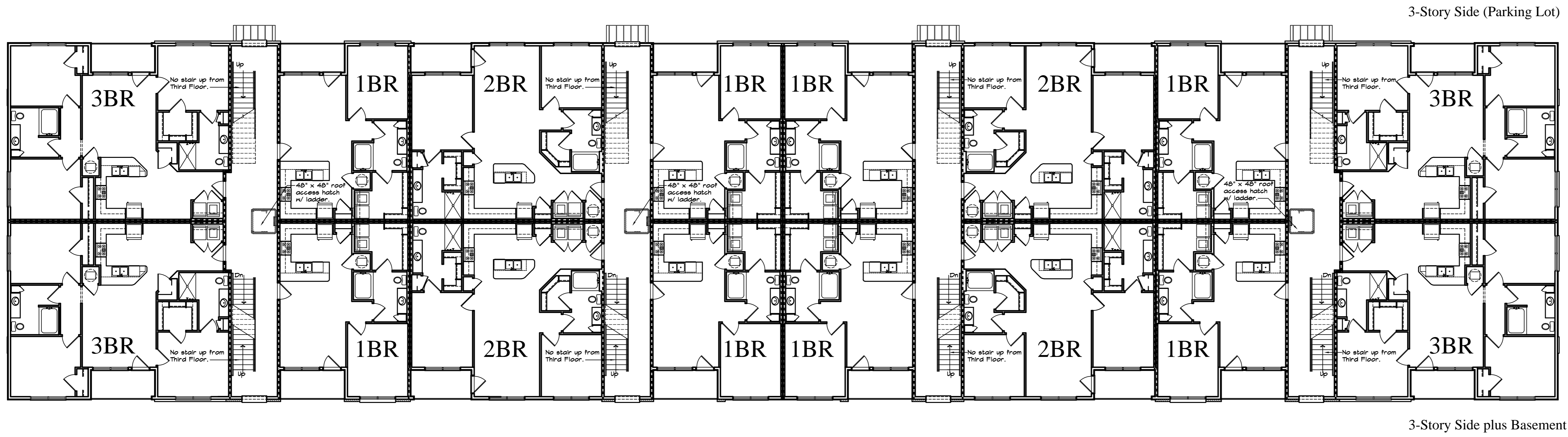
**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

**ECC Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203

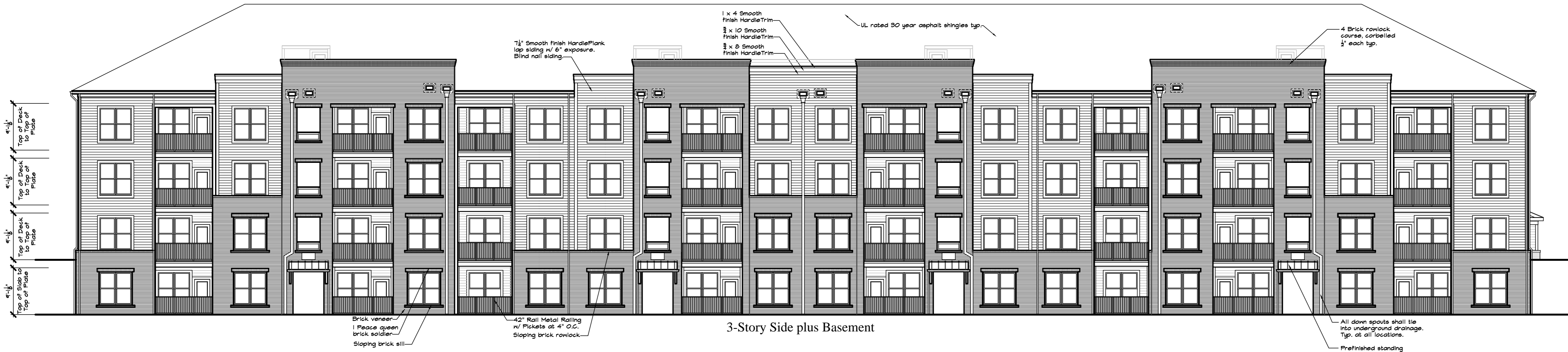
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Description: Use on Review Submittal  
Date: 08.04.17

Sheet Number:

**A-10**

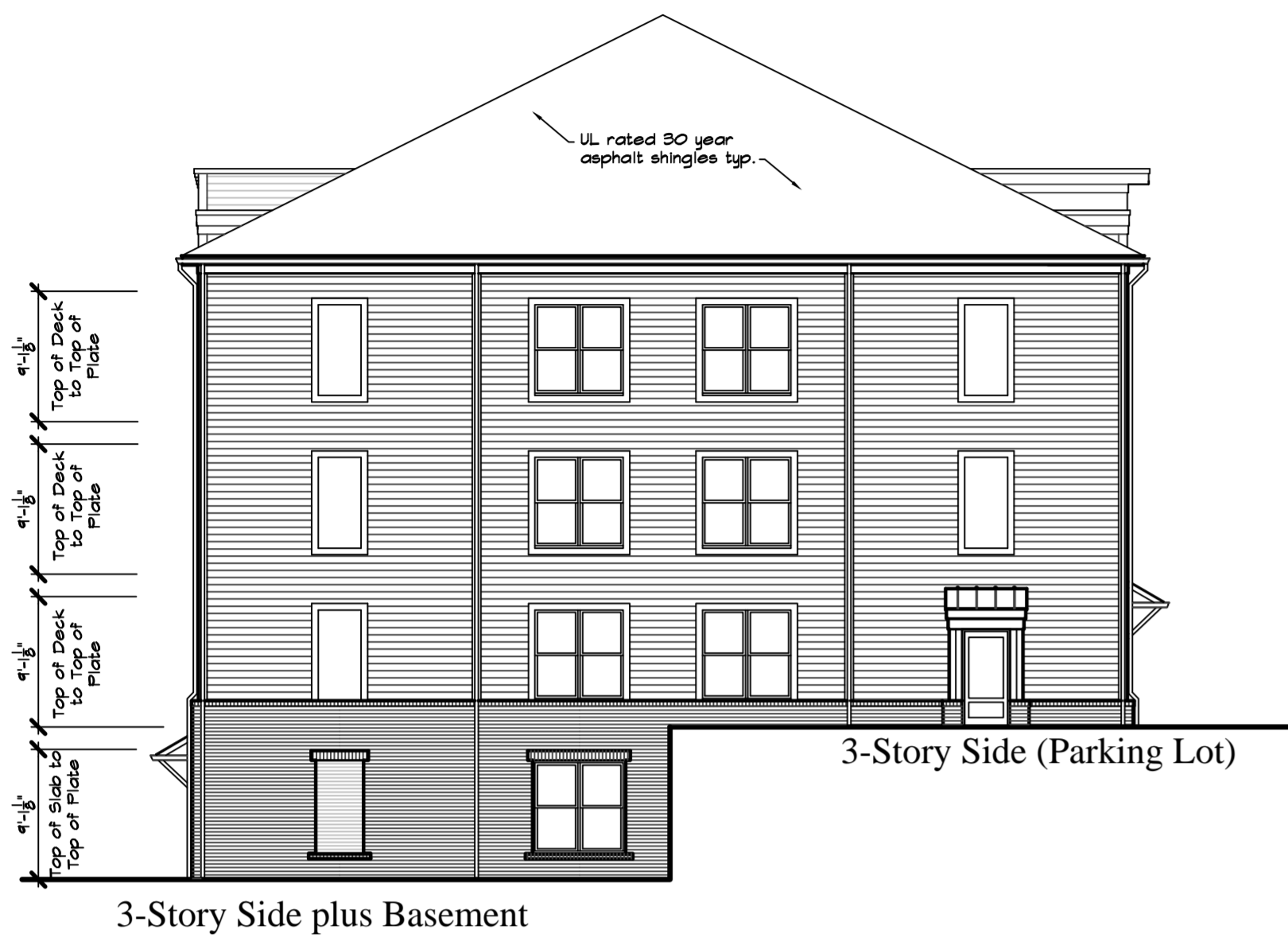


**1 Second & Third Floor Plan (Building 2 & 3)**  
Scale:  $\frac{3/32}{} = 1'-0''$

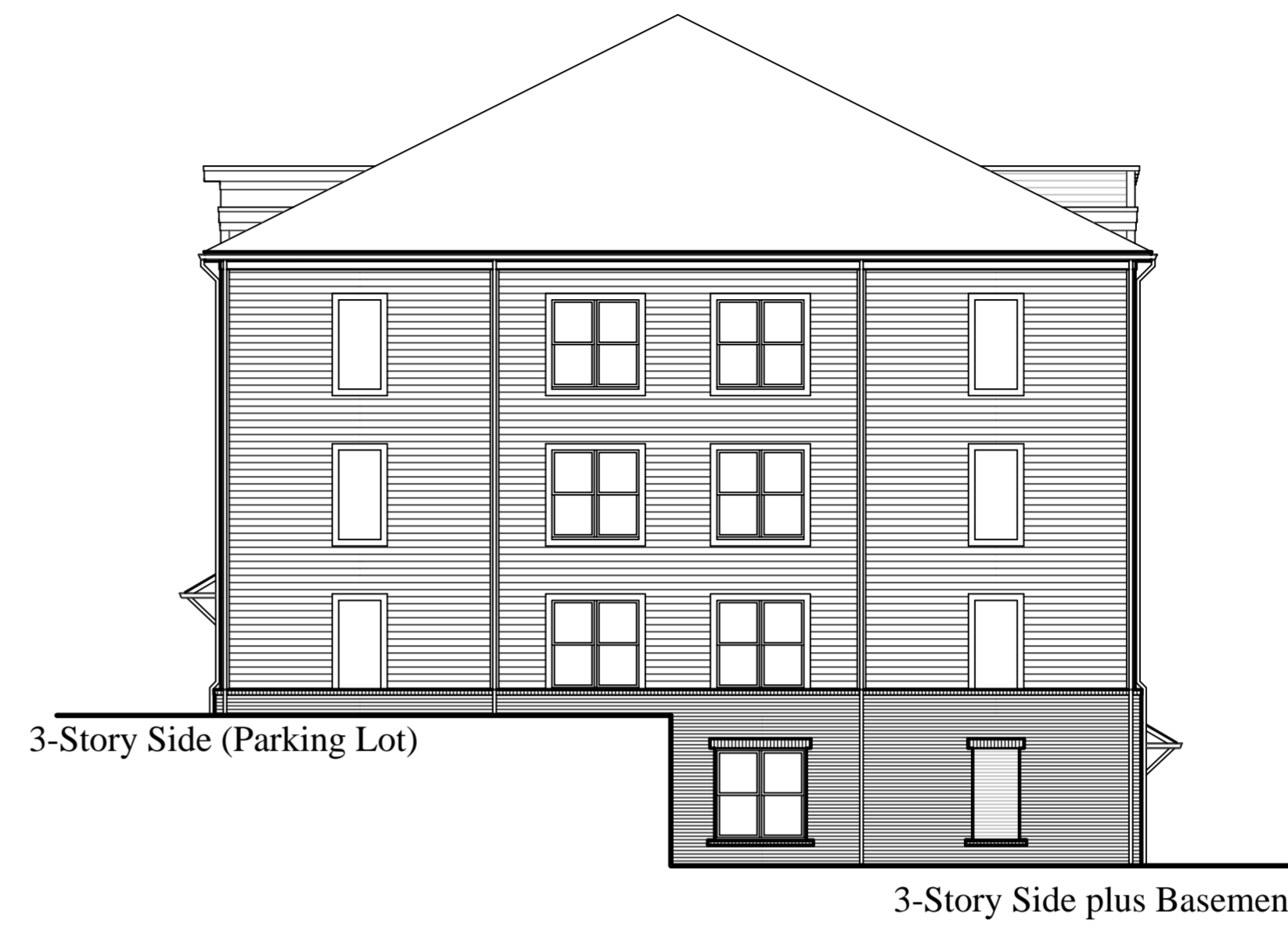


**2 South Elevation (Building 2 & 3)**  
Scale:  $\frac{3/32}{} = 1'-0''$

9-K-17-UR  
Revised: 8/30/2017



1 West Elevation (Building 2 & 3)  
Scale:  $\frac{3}{32}$ " = 1'-0"



2 East Elevation (Building 2 & 3)  
Scale:  $\frac{3}{32}$ " = 1'-0"

Southside Flats  
2717 East Martin Mill Pike  
Knoxville, Tennessee

ECCG Martin Mill, LP  
118 16th Avenue South  
Nashville, TN 37203



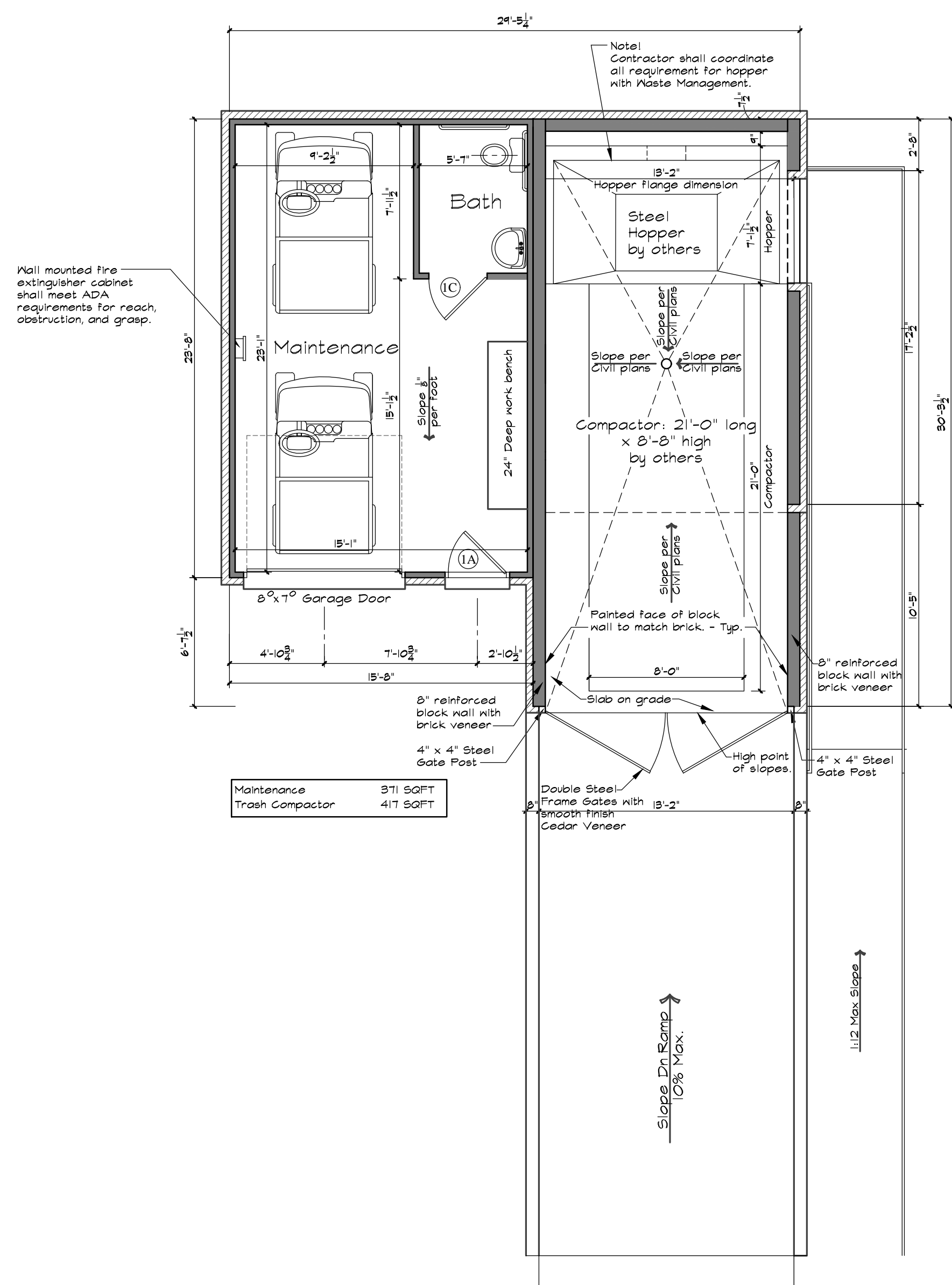
3 North Elevation (Building 2 & 3)  
Scale:  $\frac{3}{32}$ " = 1'-0"

9-K-17-UR  
Revised: 8/30/2017

Project Number: 16048  
Description: Use on Review Submittal  
Date: 08.04.17

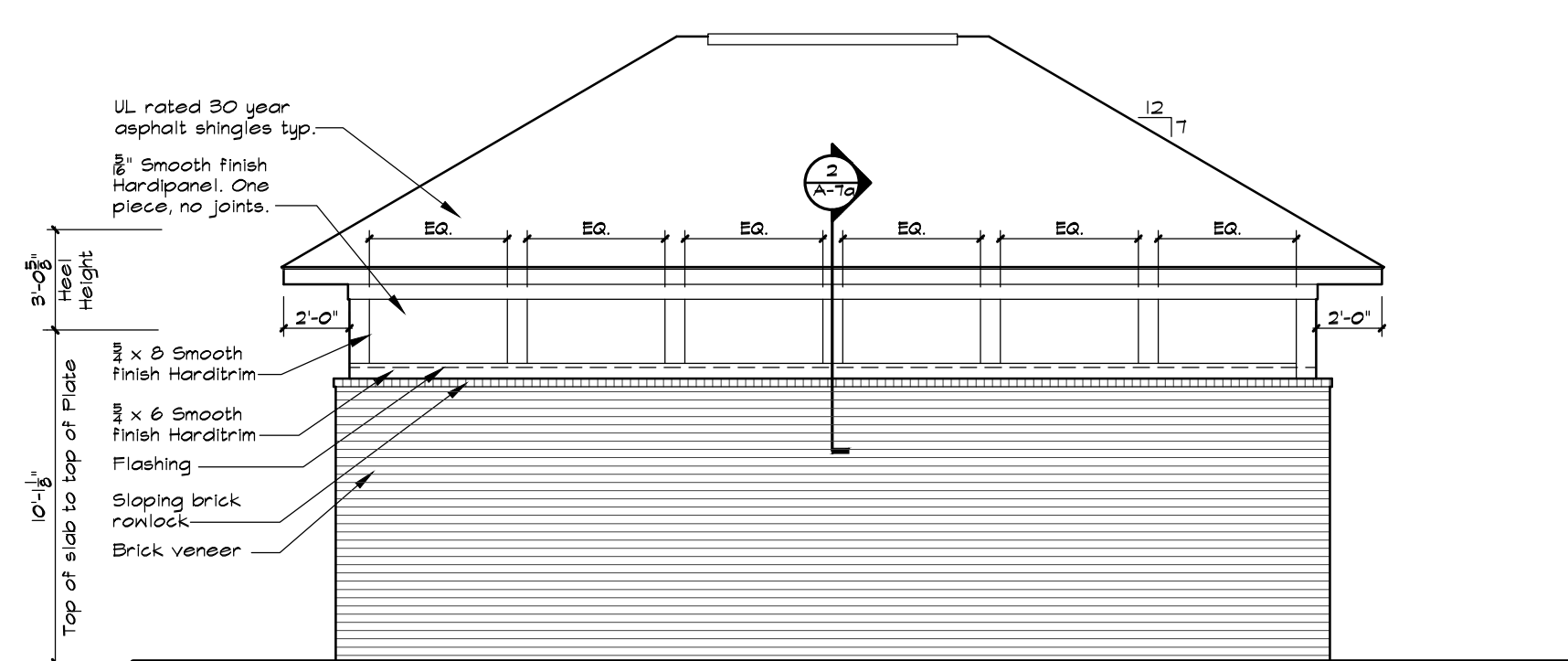
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A-11



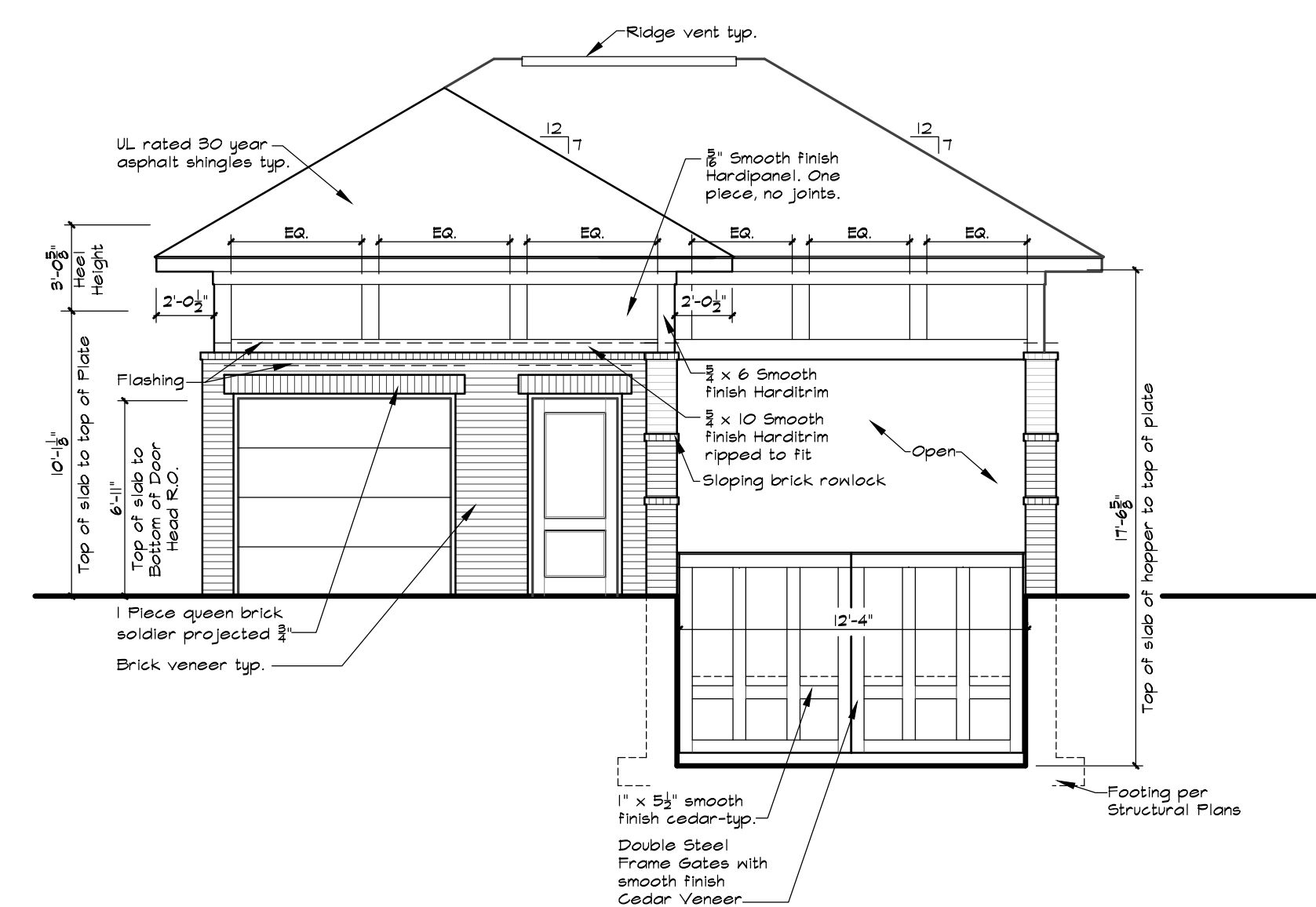
1 Trash Compactor & Maintenance Building Floor Plan

Scale:  $\frac{3}{16}'' = 1'-0''$



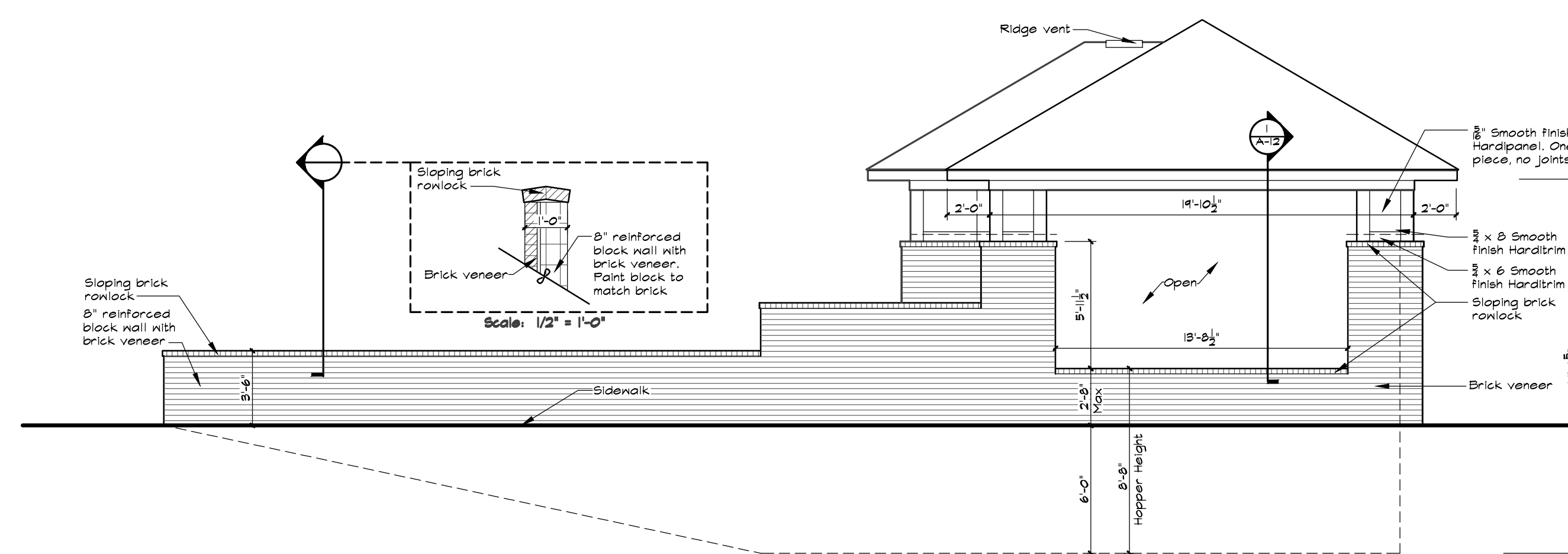
4 Trash Compactor & Maintenance Building North Elevation

Scale:  $\frac{3}{16}'' = 1'-0''$



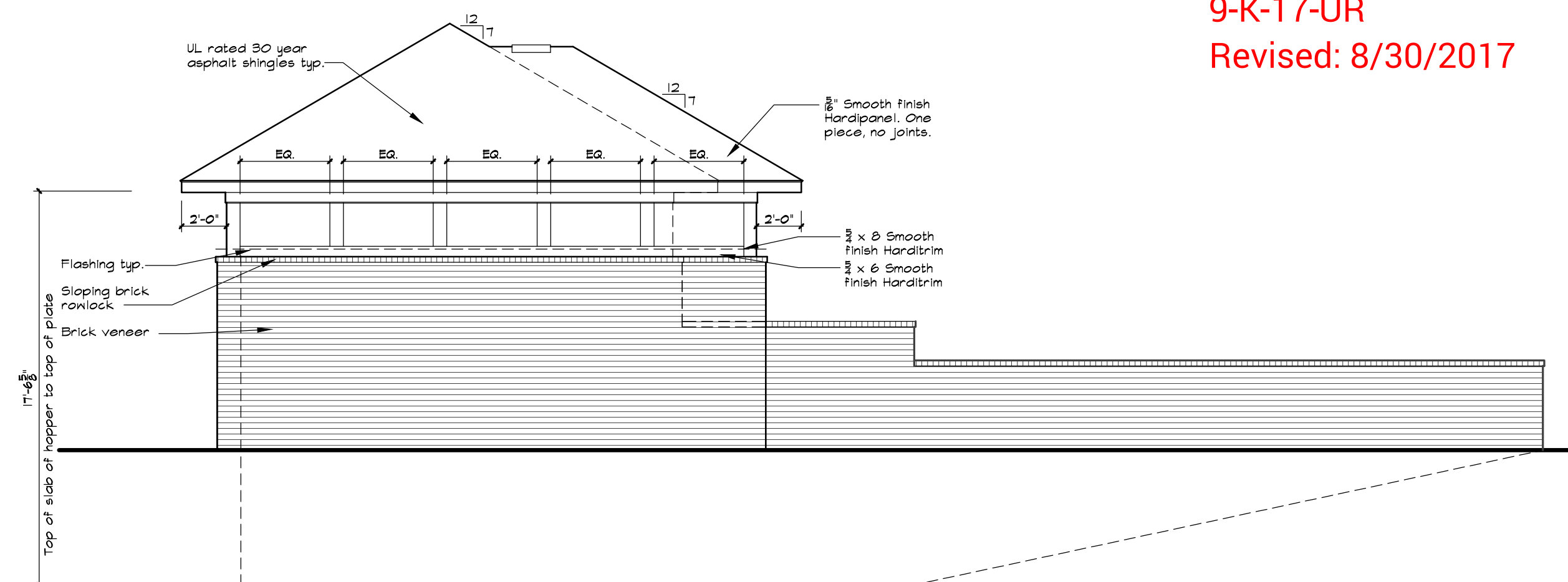
2 Trash Compactor & Maintenance Building South Elevation

Scale:  $\frac{3}{16}'' = 1'-0''$



3 Trash Compactor & Maintenance Building East Elevation

Scale:  $\frac{3}{16}'' = 1'-0''$



5 Trash Compactor & Maintenance Building West Elevation

Scale:  $\frac{3}{16}'' = 1'-0''$

9-K-17-UR  
Revised: 8/30/2017

**Southside Flats**  
2717 East Martin Mill Pike  
Knoxville, Tennessee

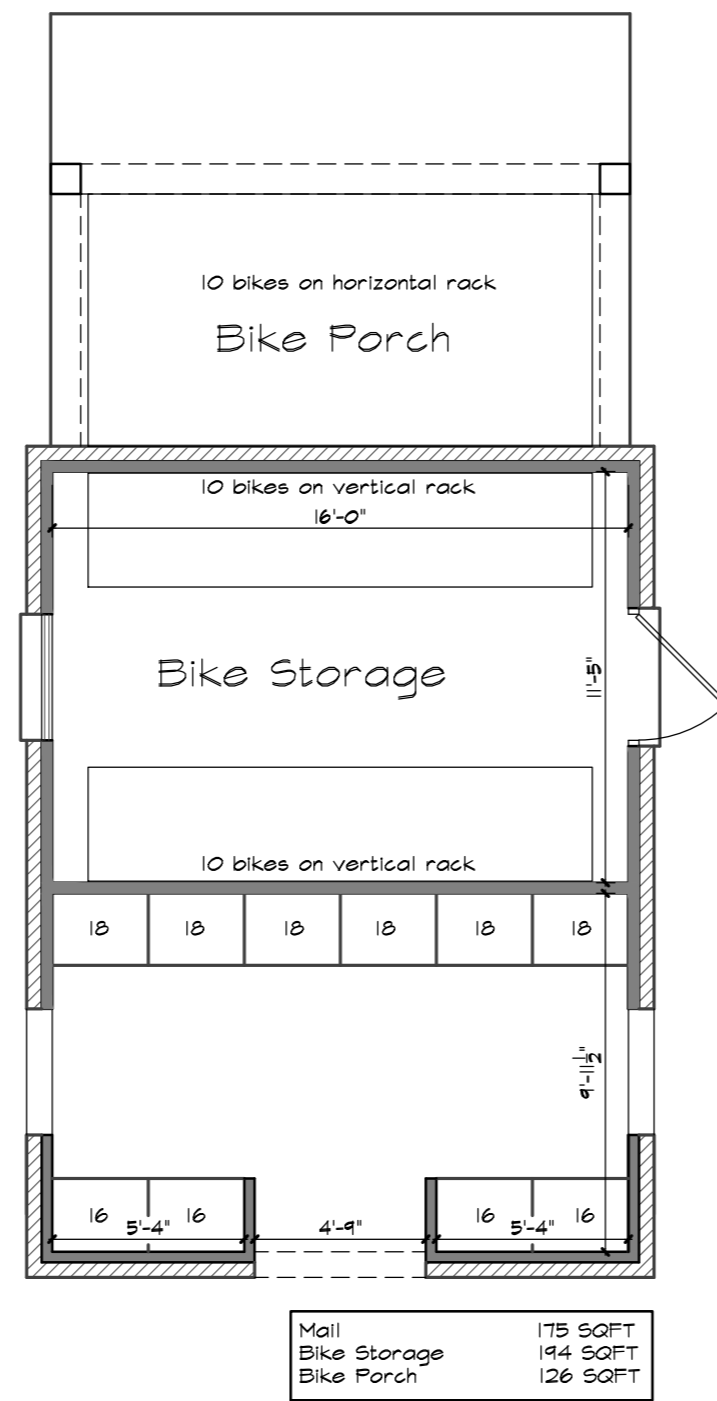
**ECCG Martin Mill, LP**  
118 16th Avenue South  
Nashville, TN 37203

Revision 1 - 8.30.17

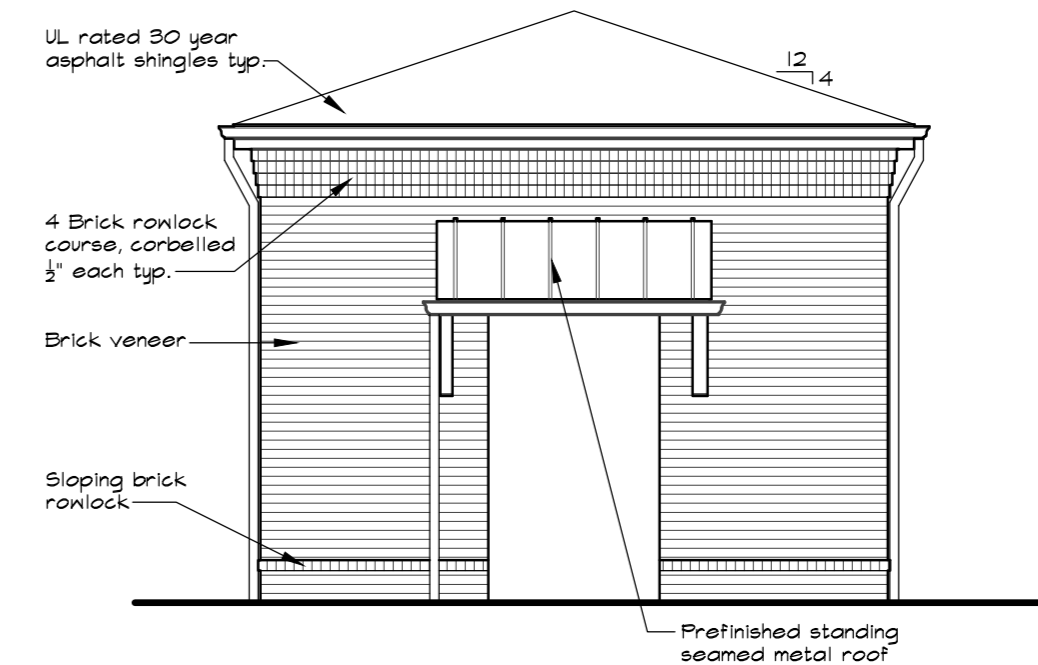
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Description: Use on Review Submittal  
Date: 08.04.17

Sheet Number:

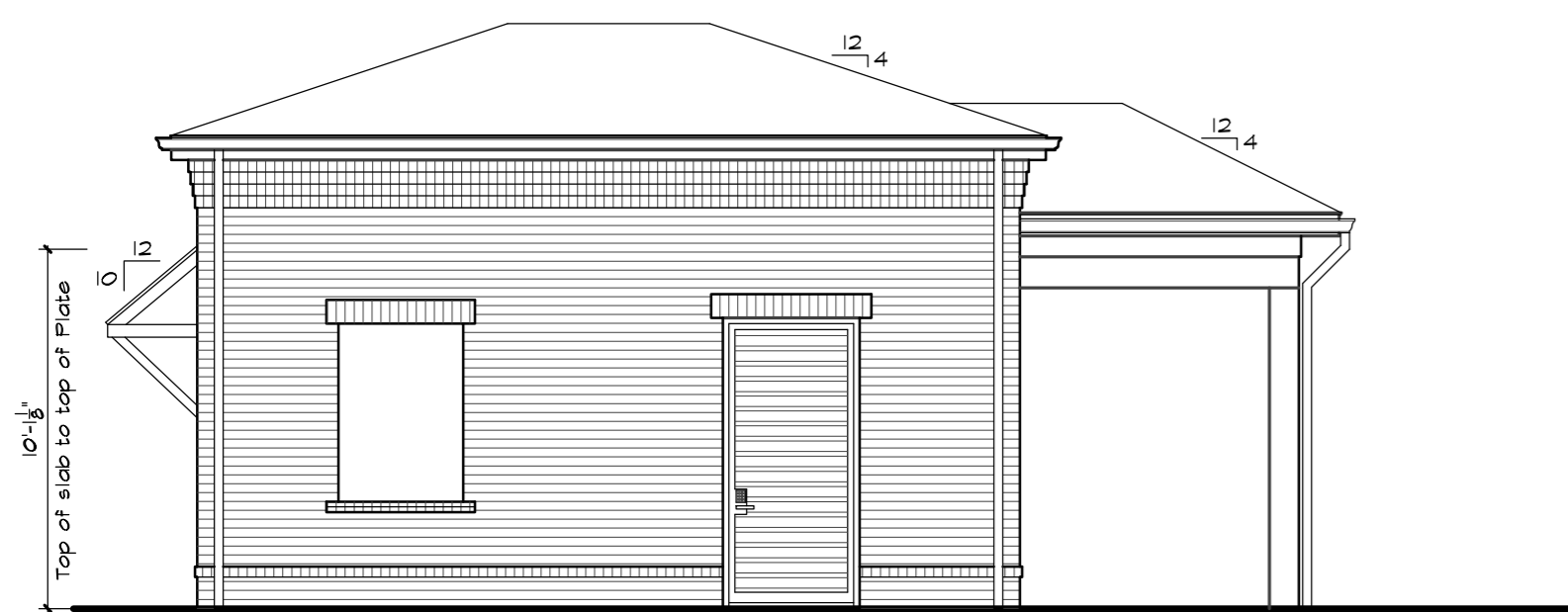
A-13



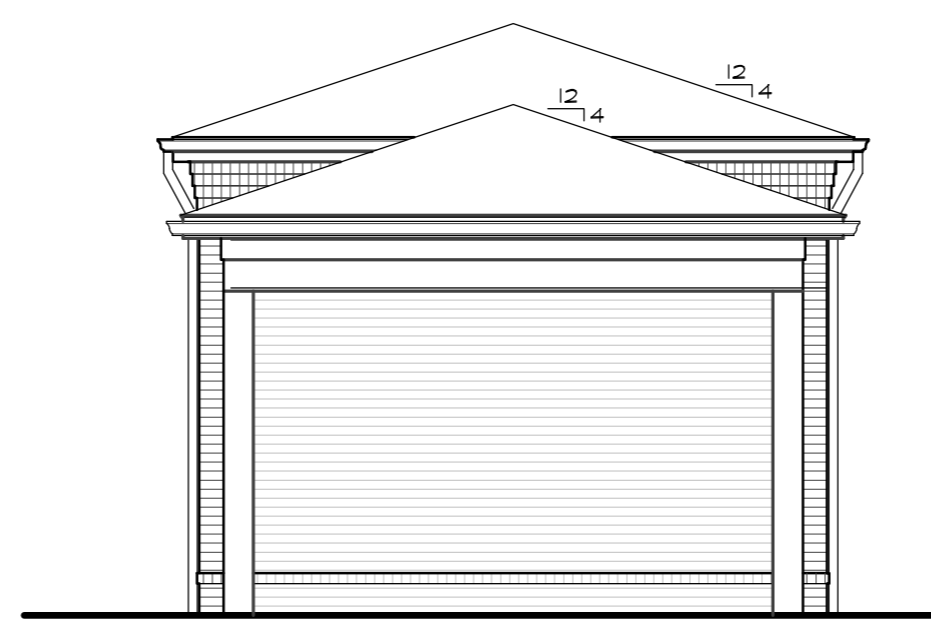
1 Mail Building Floor Plan  
Scale:  $\frac{3}{16}" = 1'-0"$



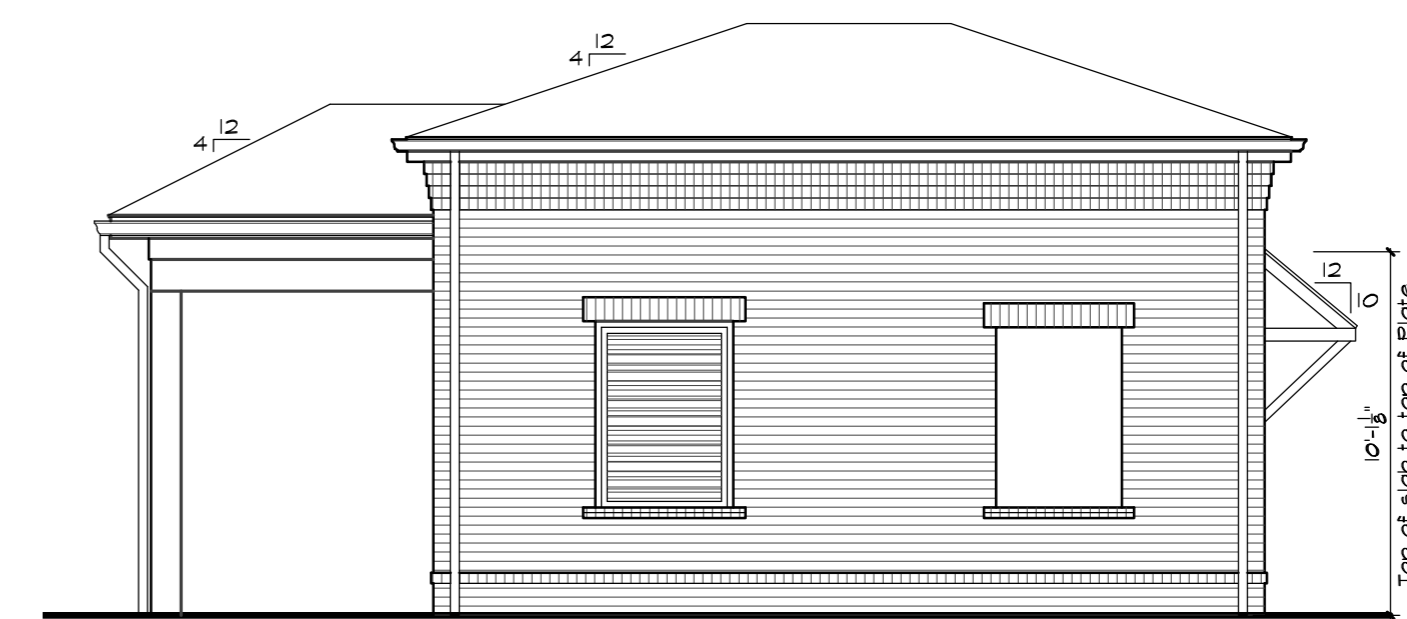
2 Mail Building South Elevation  
Scale:  $\frac{3}{16}" = 1'-0"$



3 Mail Building East Elevation  
Scale:  $\frac{3}{16}" = 1'-0"$



4 Mail Building North Elevation  
Scale:  $\frac{3}{16}" = 1'-0"$



5 Mail Building West Elevation  
Scale:  $\frac{1}{4}" = 1'-0"$