

LOCATION MAP N.T.S.

NOTES

- 1-ELECTRIC POWER AVAILABLE ALONG RACCOON VALLEY ROAD BY KUB.
- 2-WATER AVAILABLE ALONG RACCOON VALLEY ROAD BY HALLSDALE POWELL UTILITY.
- 3-SANITARY SEWER AVAILABLE AT THE CORNER OF PROPOSED LOT 6 BY HALLSDALE POWELL UTILITY.
- 4-TELEPHONE AVAILABLE ALONG RACCOON VALLEY ROAD BY SOUTHCENTRAL BELL TELEPHONE.
- 5-AN INJECTION WELL PERMIT IS NEEDED FROM TDEC TO MAKE ANY ALTERATIONS TO EXISTING SINK HOLE(S).
- 6-ALL DISTANCES ARE APPROXIMATE AND SUBJECT TO CHANGE.
- 7-ALL NEW PROPOSED ROADS TO BE PUBLIC ROADS, WITH A 50 FOOT RIGHT WAY.
- 8-BOUNDARY AS PER DEED.
- 9-TOPO AS PER KNOX COUNTY GIS.
- 10-ENTRANCE PERMIT TO BE OBTAINED FROM THE TENNESSEE DEPARTMENT OF TRANSPORTATION.
- 11-ALL WORK TO BE PERFORMED IN ACCORDANCE WITH KNOX COUNTY HIGHWAY DEPARTMENT, THE TENNESSEE DEPARTMENT OF TRANSPORTATION(TDOT), AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC).
- 12-THIS SUBDIVISION CONTAINS 36.89 ACRES DIVIDED INTO 92 LOTS.
- 13-THIS PROPERTY IS ZONED PR 3.5.
- 14-CENTERLINE RADIUS OF ALL CURVES IS 250 FEET.
- 15-THERE IS A POSSIBLE SINKHOLE LOCATED ON LOT 77. A SINKHOLE DETERMINATION NEEDS TO BE MADE. IF IT IS NOT A SINKHOLE, LOT 77 SHALL BE A BUILDABLE LOT. IF A SINKHOLE EXISTS, LOT 77 IS TO BE COMBINED WITH LOT 78. A SINKHOLE DETERMINATION SHALL BE DONE ON THE LARGER SINKHOLE TO DETERMINE THE LIMITS OF CONSTRUCTION.
- 16-EXISTING HOUSE TO HAVE A NEW DRIVEWAY FACING JOY DENISE LANE.

I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the *Knoxville-Knox County Subdivision Regulations* except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

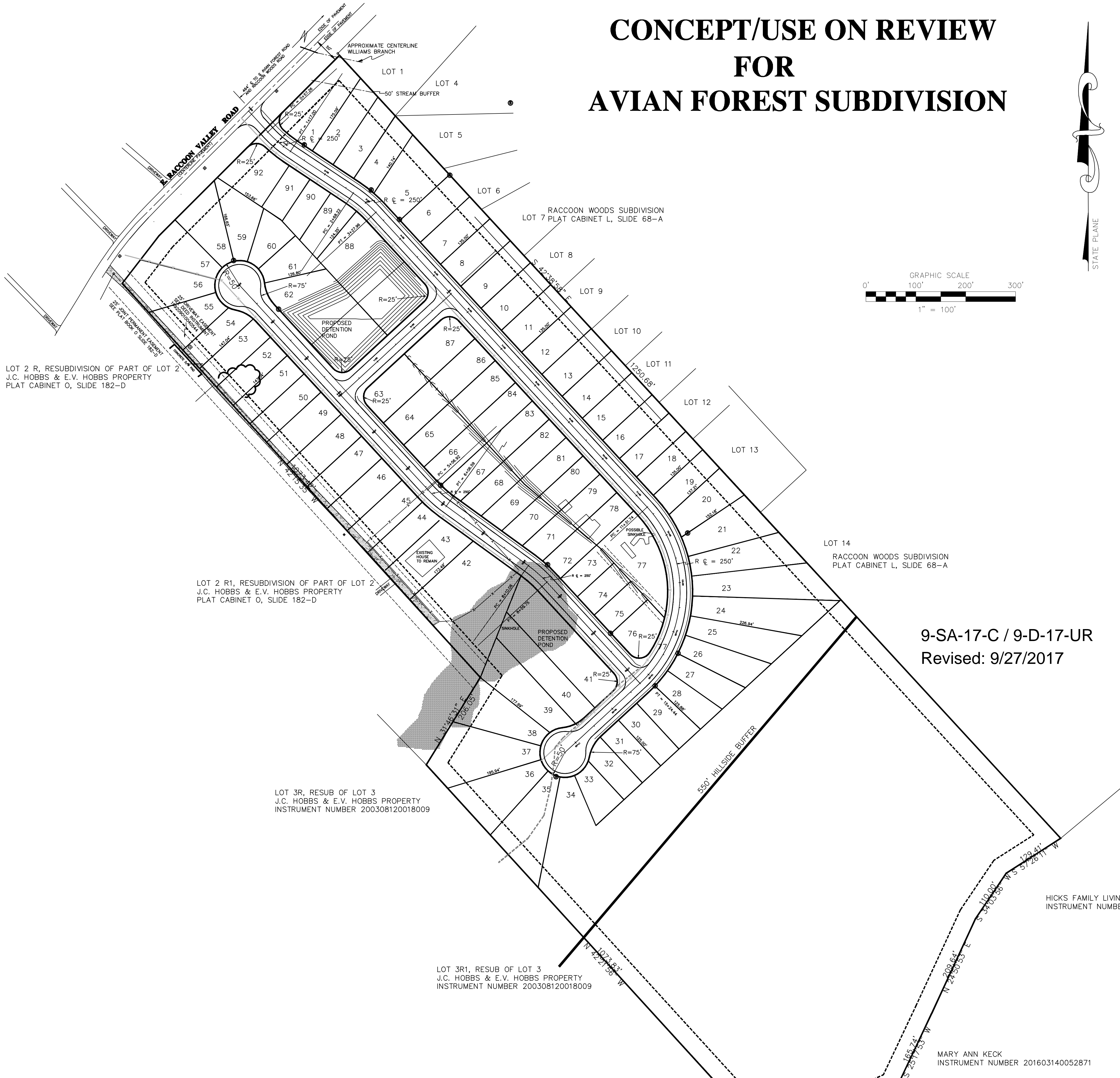
Registered Engineer \_\_\_\_\_

Tennessee Certificate No. 18012

PROPERTY OWNER  
DARRELL & BETTY CLARK  
702 E. RACCOON VALLEY ROAD  
HEISKELL, TN 37754

TAX INFORMATION  
TAX MAP 26, PARCELS 44, 49, & 50

DEED BOOK 2082 PAGE 390  
DEED BOOK 2201 PAGE 337  
INSTRUMENT NUMBER 20160531006923



LOT 2 R, RESUBDIVISION OF PART OF LOT 2  
J.C. HOBBS & E.V. HOBBS PROPERTY  
PLAT CABINET O, SLIDE 182-D

LOT 2 R1, RESUBDIVISION OF PART OF LOT 2  
J.C. HOBBS & E.V. HOBBS PROPERTY  
PLAT CABINET O, SLIDE 182-D

LOT 3R, RESUB OF LOT 3  
J.C. HOBBS & E.V. HOBBS PROPERTY  
INSTRUMENT NUMBER 200308120018009

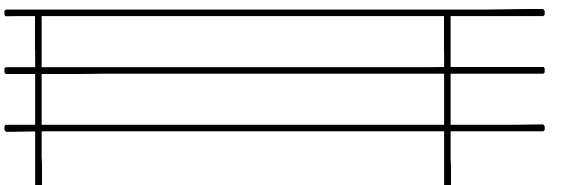
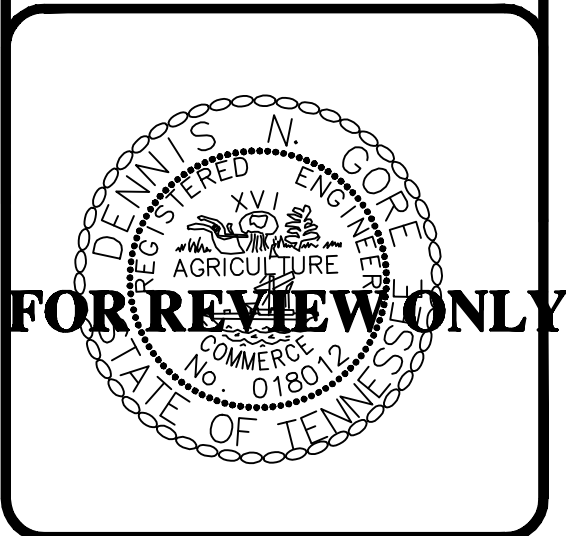
LOT 3R1, RESUB OF LOT 3  
J.C. HOBBS & E.V. HOBBS PROPERTY  
INSTRUMENT NUMBER 200308120018009

LOT 14  
RACCOON WOODS SUBDIVISION  
PLAT CABINET L, SLIDE 68-A

9-SA-17-C / 9-D-17-UR  
Revised: 9/27/2017

HICKS FAMILY LIVIN  
INSTRUMENT NUMBE

PROPOSED AVIAN FOREST SUBDIVISION  
RACCOON VALLEY ROAD  
HEISKELL, TENNESSEE



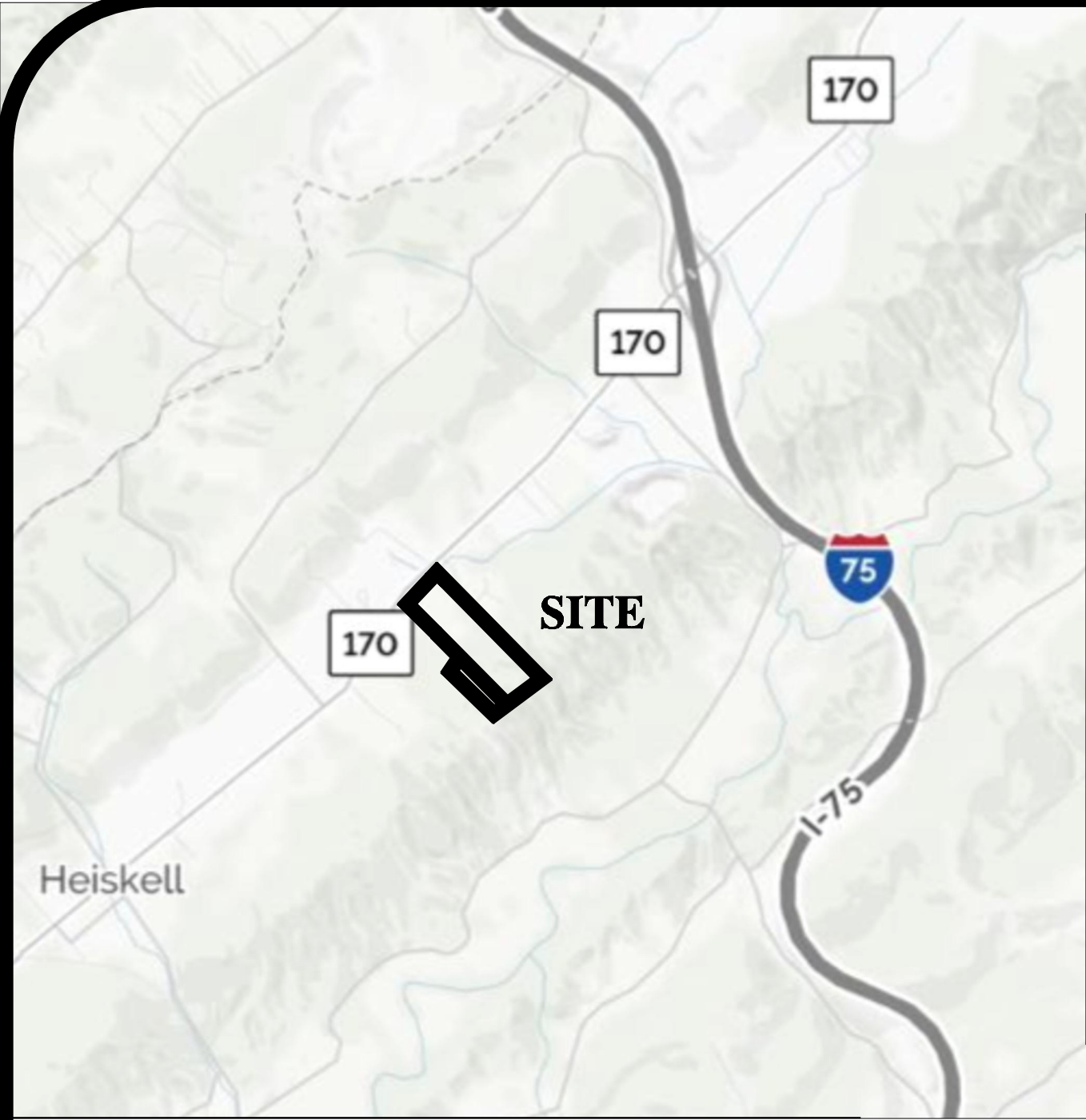
INGRAM, GORE & ASSOCIATES, LLC  
7540 GARY WHITE ROAD  
CORRYTON, TN 37221  
(865) 216-9355  
dennis.gore@yahoo.com

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Drawn by	Check by
9-25-2017	1 OF 6
Scale	AS SHOWN

MARY ANN KECK  
INSTRUMENT NUMBER 201603140052871





LOCATION MAP N.T.S.

NOTES

- 1-ELECTRIC POWER AVAILABLE ALONG RACCOON VALLEY ROAD BY KUB.
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- 12-THIS SUBDIVISION CONTAINS 35.89 ACRES DIVIDED INTO 93 LOTS.
- 13-THIS PROPERTY IS ZONED PR 3.5.
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LOT 2 R, RESUBDIVISION OF PART OF LOT 2  
J.C. HOBBS & E.V. HOBBS PROPERTY  
PLAT CABINET O, SLIDE 182-D

I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the *Knoxville-Knox County Subdivision Regulations* except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

Registered Engineer \_\_\_\_\_

Tennessee Certificate No. 18012

PROPERTY OWNER  
DARRELL & BETTY CLARK  
702 E. RACCOON VALLEY ROAD  
HEISKELL, TN 37754

TAX INFORMATION  
TAX MAP 26, PARCELS 44, 49, & 50

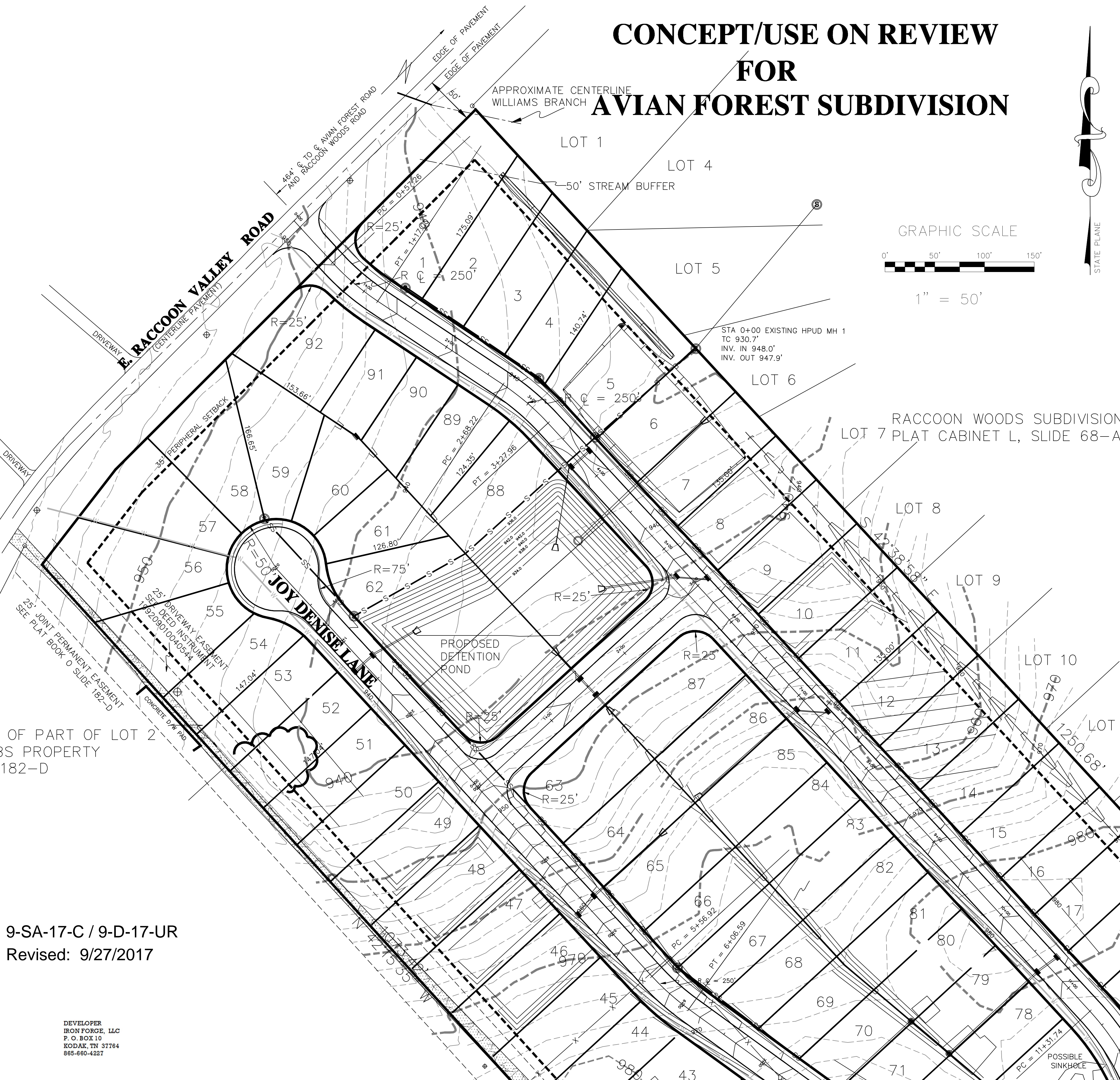
DEED BOOK 2082 PAGE 390  
DEED BOOK 2201 PAGE 337  
INSTRUMENT NUMBER 20160531006923

DEVELOPER  
IRON FORGE, LLC  
P.O. BOX 10  
KODAK, TN 37764  
865-860-4227

9-SA-17-C / 9-D-17-UR

Revised: 9/27/2017

# CONCEPT/USE ON REVIEW FOR AVIAN FOREST SUBDIVISION



GRAPHIC SCALE



1" = 50'



PROPOSED AVIAN FOREST SUBDIVISION  
RACCOON VALLEY ROAD  
HEISKELL, TENNESSEE



FOR REVIEW ONLY



FOR REVIEW ONLY

INGRAM, GORE & ASSOCIATES, LLC  
7540 GARY WHITE ROAD  
CORRYTON, TN 37221  
(865) 216-9355  
dennis.gore@yahoo.com

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DATE	9-25-2017	2 OF 6
SCALE	AS SHOWN	

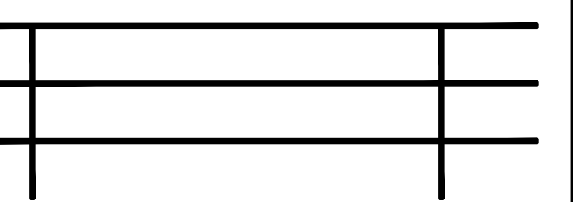


LOT 2 R1, RESUBDIVISION OF PART OF LOT 2  
J.C. HOBBS & E.V. HOBBS PROPERTY  
PLAT CABINET O, SLIDE 182-D

LOT 3R, RESUB OF LOT 3  
J.C. HOBBS & E.V. HOBBS PROPERTY  
INSTRUMENT NUMBER 200308120018009

9-SA-17-C / 9-B-17-UR  
Revised: 9/27/2017

PROPOSED AVIAN FOREST SUBDIVISION  
RACCOON VALLEY ROAD  
HEISKELL, TENNESSEE



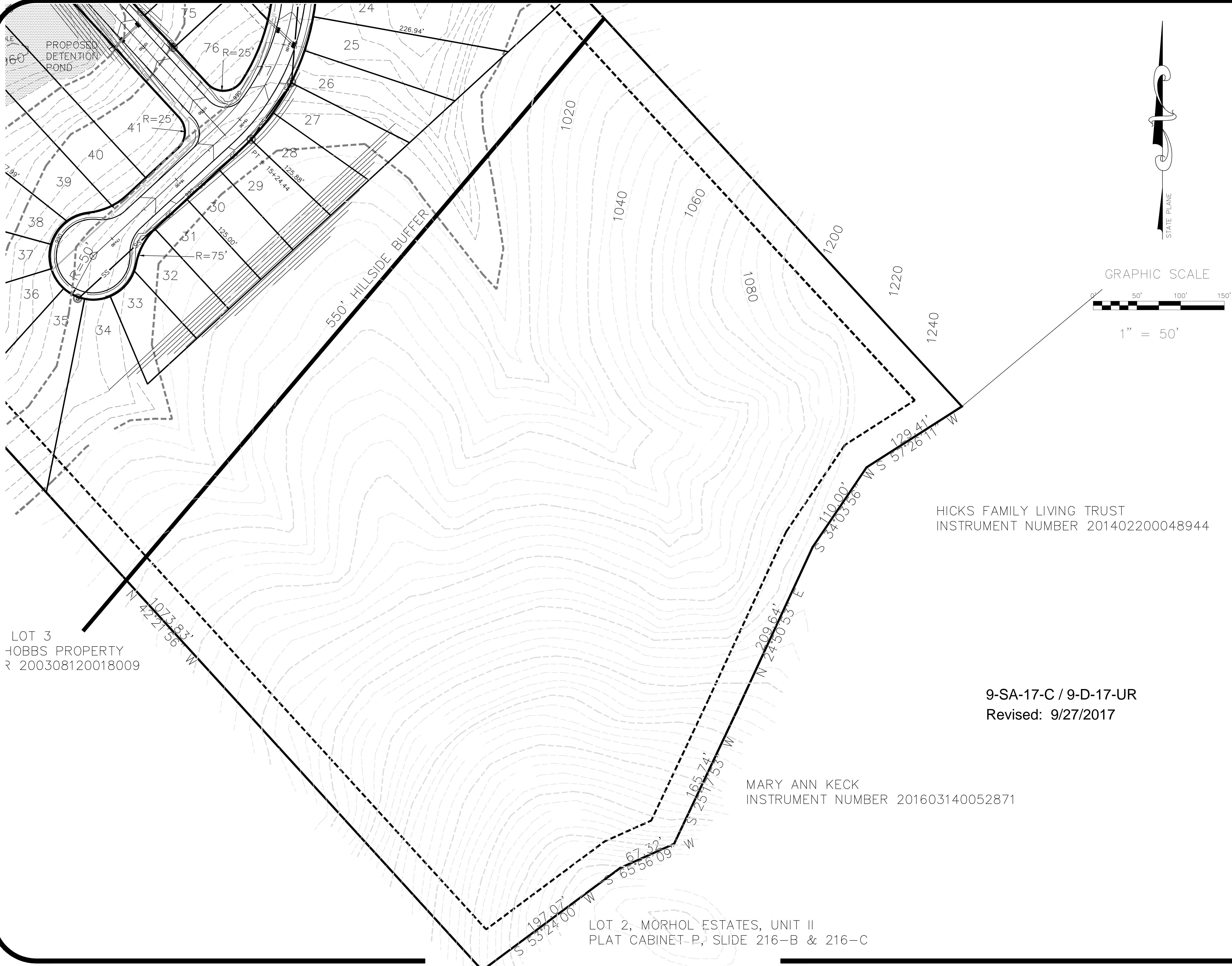
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Scale	AS SHOWN	

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GRAPHIC SCALE



1" = 50'

HICKS FAMILY LIVING TRUST  
INSTRUMENT NUMBER 201402200048944

9-SA-17-C / 9-D-17-UR  
Revised: 9/27/2017

MARY ANN KECK  
INSTRUMENT NUMBER 201603140052871

LOT 2, MORHOL ESTATES, UNIT II  
PLAT CABINET P, SLIDE 216-B & 216-C

LOT 3  
HOBBS PROPERTY  
R 200308120018009

PROPOSED AVIAN FOREST SUBDIVISION  
RACCOON VALLEY ROAD  
HEISKELL, TENNESSEE



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9-25-2017	4 OF 6
Scale	AS SHOWN