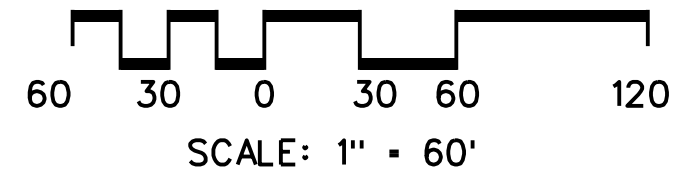
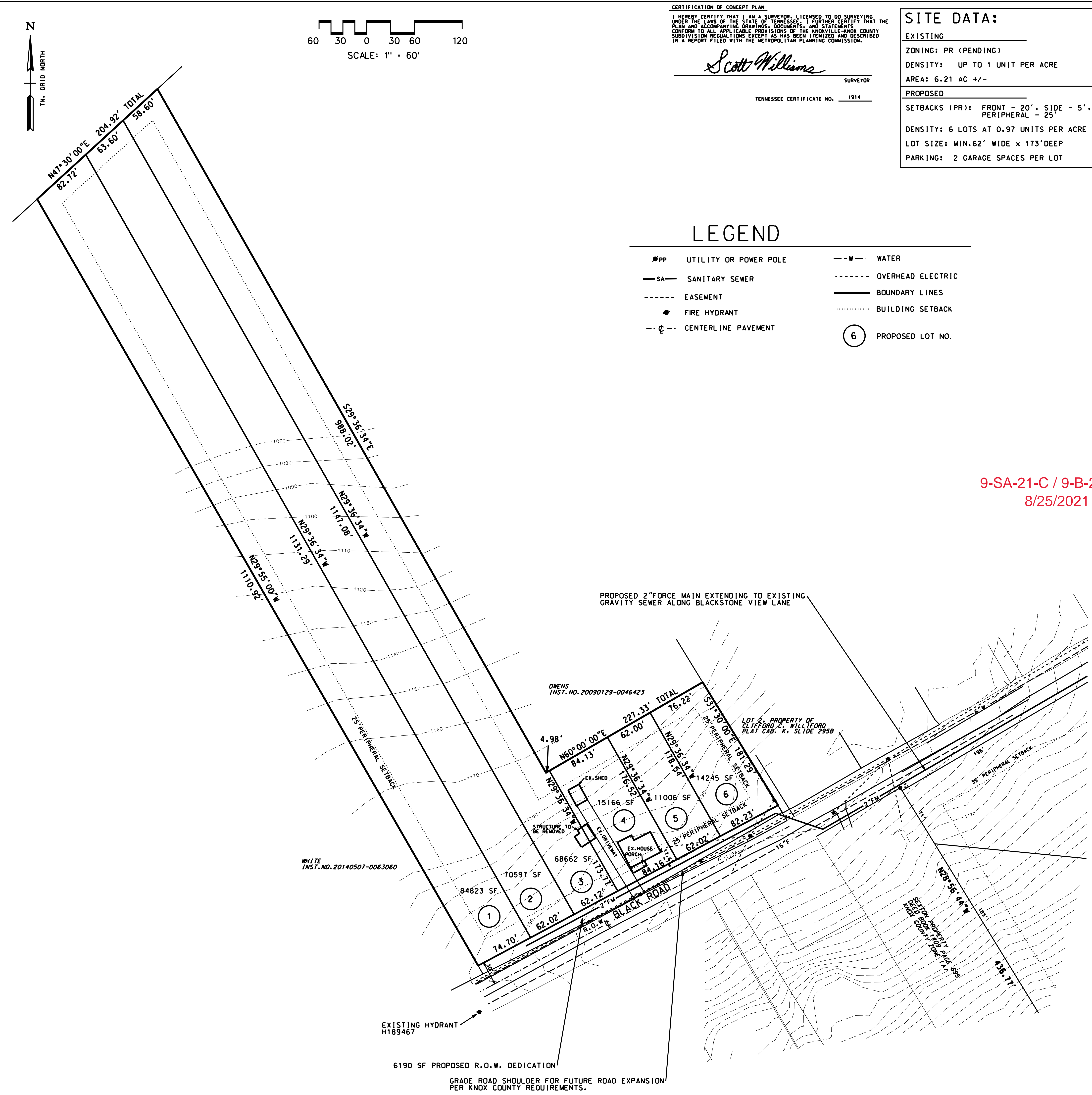


VICINITY MAP



CERTIFICATION OF CONCEPT PLAN
 I HEREBY CERTIFY THAT I AM A SURVEYOR, LICENSED TO DO SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

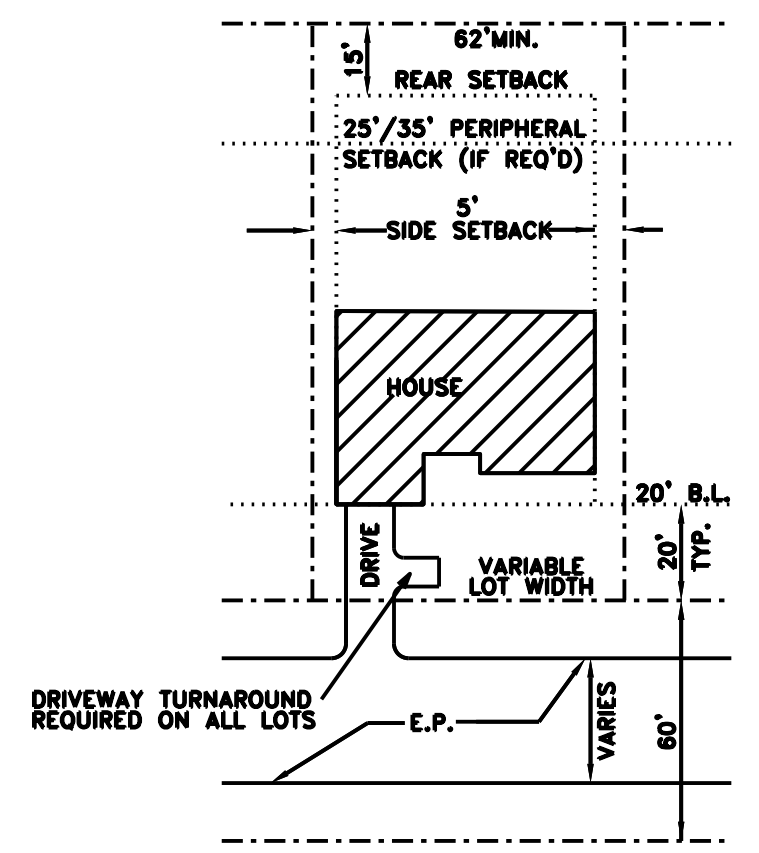
Scott Williams
 SURVEYOR
 TENNESSEE CERTIFICATE NO. 1914

SITE DATA:

EXISTING	
ZONING:	PR (PENDING)
DENSITY:	UP TO 1 UNIT PER ACRE
AREA:	6.21 AC +/-
PROPOSED	
SETBACKS (PR):	FRONT - 20', SIDE - 5', REAR - 15', PERIPHERAL - 25'
DENSITY:	6 LOTS AT 0.97 UNITS PER ACRE
LOT SIZE:	MIN. 62' WIDE x 173' DEEP
PARKING:	2 GARAGE SPACES PER LOT

LEGEND

- PP UTILITY OR POWER POLE
- SA SANITARY SEWER
- EASEMENT
- FIRE HYDRANT
- C CENTERLINE PAVEMENT
- W WATER
- OVERHEAD ELECTRIC
- BOUNDARY LINES
- BUILDING SETBACK
- PROPOSED LOT NO.



TYPICAL LOT LAYOUT AND DRIVEWAY CONNECTION

NOTES:
 THIS PLAN IS TO SHOW A PROPOSED CONCEPTUAL SUBDIVISION LAYOUT. THE MAXIMUM NUMBER OF LOTS AT MINIMUM LOT DIMENSIONS DETAILED HAVE BEEN SHOWN. FINAL DESIGN FACTORS INCLUDING ROAD AND LOT GRADES, DETENTION FACILITIES, ETC. MAY CAUSE A REDUCTION IN THE FINAL NUMBER OF BUILDABLE LOTS. FINAL LOT DIMENSIONS ARE APPROXIMATE AND MAY VARY UPON FINAL PLAT.

THIS PROPERTY IS ZONED PR PENDING WITH HILLSIDE PROTECTION IN KNOX COUNTY.

BOUNDARY INFORMATION TAKEN FROM DEED AND IS APPROXIMATE. TOPOGRAPHY TAKEN FROM KGIS AERIAL TOPOGRAPHY. CONTOUR INTERVAL IS 2'.

PROPERTY IS MOSTLY WOODED WITH A GRASS YARD AROUND THE HOUSE.

FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION.

WATER AND SEWERAGE CONNECTIONS PROVIDED BY FIRST UTILITY DISTRICT. UTILITIES SHOWN FOR APPROXIMATE LOCATION ONLY.

ALL LOTS TO ACCESS BLACK ROAD AND REQUIRE A DRIVEWAY TURNAROUND.

ALL LOTS TO HAVE MIN. 2 CAR GARAGE EXCEPT EXISTING HOUSE ON LOT 4.

THERE SHALL BE A UTILITY AND DRAINAGE EASEMENT OF TEN (10) IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHT-OF-WAYS AND FIVE (5) FEET IN WIDTH SHALL BE PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES.

9-SA-21-C / 9-B-21-UR
 8/25/2021

REVISIONS

NO.	DATE	DESCRIPTION
1	8/24/21	PC COMM.

CONCEPT PLAN
 11751 BLACK ROAD
 CLT. MAP 130 PARCEL 44
 DIST. AC 16.1 KNOX COUNTY, TN
 9-SA-21-C / 9-B-21-UR



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 OFFICE: 615-855-3726

ORIGINAL ISSUE:
 JULY 22, 2021

SHEET NO.
CC1

JOB NO. 2111

NOT FOR CONSTRUCTION