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by Professional Land Systems

**CERTIFICATE OF OWNERSHIP AND GENERAL DEDICATION.**

(I, We) the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I, am, we are) the owner(s) in fee simple of the property, and as properly owned, have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat.

Owner(s) Printed Name: \_\_\_\_\_

THOMAS P. BJORHOLM \_\_\_\_\_ DATE \_\_\_\_\_

KATHERINE H. LATVALA \_\_\_\_\_ DATE \_\_\_\_\_

CHAD D. WIGGINS \_\_\_\_\_ DATE \_\_\_\_\_

MEGAN L. THARP \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATION OF FINAL PLAT - ALL INDICATED MARKERS, MONUMENTS AND BENCHMARKS SET.**

I, the undersigned, hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat conforms to the best of my knowledge to all applicable provisions of the Knoxville/Knox County Subdivision Regulations and as has been itemized, described and justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as certified on this plat. The indicated permanent reference markers and monuments, benchmarks and property monuments were in place on the 30th day of April, 2021.

Registered Land Surveyor \_\_\_\_\_

Tennessee License No. 1643 DATE: 12/7/2019

**CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY**

Survey accuracy shall meet the requirements of the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice. I hereby certify that this survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

Registered Land Surveyor \_\_\_\_\_

Tennessee License No. 1643 DATE: 10/7/2019

**CERTIFICATION OF APPROVAL OF PUBLIC SANITARY SEWER SYSTEM - MINOR SUBDIVISIONS**

This is to certify that this subdivision is generally suitable for subsurface sewage disposal systems; and this is to notify that all lots are subject to Sections 68-13-401 thru 68-13-413 of the Tennessee Code, Annotated, and the regulations promulgated thereto.

Knox County Health Department \_\_\_\_\_ Date \_\_\_\_\_

Knox County Property Assessor \_\_\_\_\_ Date \_\_\_\_\_

**TAXES AND ASSESSMENTS**

This is to certify that all property taxes and assessments due on this property have been paid.

Knox County Trustee: \_\_\_\_\_ Date \_\_\_\_\_

**UTILITY PROVIDER**

Authorized Signature for Utility \_\_\_\_\_ Date \_\_\_\_\_

**CERTIFICATION OF APPROVAL OF PUBLIC WATER SYSTEM - MINOR SUBDIVISIONS**

This is to certify that the subdivision shown herein is approved subject to the installation of a public water system, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of water system in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider \_\_\_\_\_ Date \_\_\_\_\_

**OWNER CERTIFICATION FOR PUBLIC SEWER AND WATER SERVICE - MINOR SUBDIVISIONS**

(I, We) the undersigned owner(s) of the property shown herein understand that it is our responsibility to verify with the Utility Provider the availability of public sewer and water systems in the vicinity of the lot(s) and to pay for the installation of the required connections.

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THOMAS P. BJORHOLM \_\_\_\_\_ DATE \_\_\_\_\_

KATHERINE H. LATVALA \_\_\_\_\_ DATE \_\_\_\_\_

CHAD D. WIGGINS \_\_\_\_\_ DATE \_\_\_\_\_

MEGAN L. THARP \_\_\_\_\_ DATE \_\_\_\_\_

**ADDRESSING DEPARTMENT CERTIFICATION**

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville/Knox County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and these regulations.

Signed \_\_\_\_\_ Date \_\_\_\_\_

KNOX COUNTY DEPARTMENT OF ENGINEERING AND PUBLIC WORKS  
The Knox County Department of Engineering and Public Works hereby approves this plat on this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**PLANNING STAFF CERTIFICATION OF APPROVAL FOR RECORDING - FINAL PLAT**

This is to certify that the subdivision shown herein has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat, and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds. Pursuant to Section 13-1-403 of Tennessee Code, Annotated, the approval of this plat by the Planning Commission shall be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

Signed \_\_\_\_\_ Date \_\_\_\_\_

**811**

Call Before You Dig! 1-800-331-1111

Utilities shown were located from actual field evidence, existing utility agency records and other available evidence. Other underground utilities may exist and not be shown or may vary from where shown. No guarantee is expressed or implied as to the location of any utilities shown which are not visible from the surface. Utility data should not be relied upon without verification from the proper utility authority having jurisdiction. (TCA 0820-3-06.)

**LEGEND**

- ⊗ IRRIGATION CONTROL VALVE
- ★ LIGHT POLE
- CABLE TV BOX
- PROPANE TANK-UNDERGROUND
- ⊠ AIR CONDITIONER
- ← GUY
- UTILITY POLE
- ⊙ CLEAN OUT
- ⊙ MANHOLE
- PHONE BOX
- ⊠ TRANSFORMER
- ⊙ ELECTRIC METER
- ⊙ GAS WARN. POST
- ⊙ WATER METER
- 1/2" IRON PIN FOUND
- 1/2" IRON PIN SET

**SUBSURFACE SEWAGE DISPOSAL SYSTEM**

This is to certify that this subdivision is generally suitable for subsurface sewage disposal systems; and this is to notify that all lots are subject to Sections 68-13-401 thru 68-13-413 of the Tennessee Code, Annotated, and the regulations promulgated thereto.

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**OWNER CERTIFICATION ON RELEASE OF EASEMENT**

(I, We) the undersigned owner(s) of the property shown herein understand that easement rights for any existing facilities are not being released and it is our responsibility to verify with the above parties if there are any existing facilities along the lot lines being eliminated by this plat before digging or constructing any building or structure.

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KATHERINE H. LATVALA \_\_\_\_\_ DATE \_\_\_\_\_

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**PLANNING STAFF CERTIFICATION OF APPROVAL FOR RECORDING - FINAL PLAT**

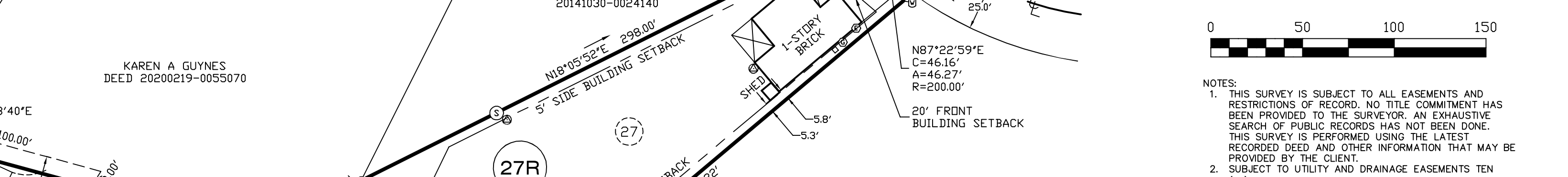
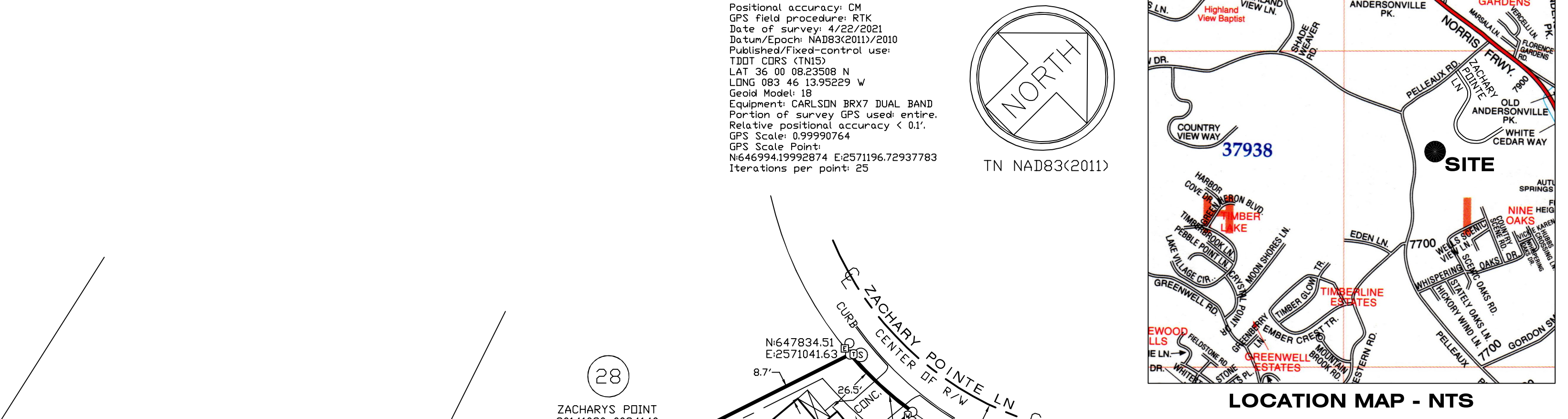
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**NOTES:**

- THIS SURVEY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE COMMITMENT HAS BEEN PROVIDED TO THE SURVEYOR. AN EXHAUSTIVE SEARCH OF PUBLIC RECORDS HAS NOT BEEN DONE. THIS SURVEY IS PERFORMED USING THE LATEST RECORDED DEED AND OTHER INFORMATION THAT MAY BE PROVIDED BY THE CLIENT.
- SUBJECT TO UTILITY AND DRAINAGE EASEMENTS TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY (INCLUDING JOINT PERMANENT EASEMENTS), EASEMENTS OF FIVE (5) FEET IN WIDTH ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES, EXCEPT AS MODIFIED BY THE SUBDIVISION WAIVER, THESE EASEMENTS ARE NOT REQUIRED ALONG SPECIFIC LOT LINES FOR PROPERTY THAT IS ZONED TO ALLOW LESS THAN A FIVE (5) FOOT BUILDING SETBACK.
- DEEDS 20121116-0032300, 20160330-005963, 2188-218, 19990924-0024489.
- PROPERTY IS ZONED A AND PR.
- 5 LOTS CONTAINING 9.44 ACRES.
- THE APPROVAL OF THIS PLAT DOES NOT INCREASE ANY ZONING NON-COMPLIANCE FOR THE EXISTING STRUCTURES ON THE PROPERTY NOR DOES IT CHANGE THE NON-COMPLIANCE STATUS OF THE EXISTING STRUCTURES. DOCUMENTATION AS TO THE LEGAL STATUS OF THE STRUCTURES OR VARIANCES FROM THE BOARD OF ZONING APPEALS MAY BE REQUIRED AT SOME TIME LATER FOR PERMIT APPLICATIONS OR OTHER DEVELOPMENT APPROVALS.
- THIS SURVEY INDICATES A PROPERTY BOUNDARY ENCROACHMENT. IT HAS NOT BEEN ADDRESSED BY PLAT REVIEWING AGENCIES. OWNERS ARE RESPONSIBLE FOR RESOLVING PROPERTY BOUNDARY CONFLICTS.
- BY EXECUTING THIS PLAT, THE KNOX COUNTY ENGINEERING DEPARTMENT HEREBY APPROVES THE FOLLOWING WAIVER: (1) TO REMOVE THE STANDARD DRAINAGE AND UTILITY EASEMENT UNDER THE EXISTING BARN FROM 5- FEET TO THE DISTANCE AS SHOWN ON THE PLAT.
- SUBDIVISION REGULATIONS VARIANCE REQUEST: (1) TO REDUCE THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS AND ALLOW LOT 1 TO BE SERVED BY THE EXISTING, DEEDED 16' WIDE ACCESS STRIP. APPROVED 9/9/2021.

**JOINT PERMANENT EASEMENT NOTES:**

- J.P.E. IS A PRIVATE ROAD AND WILL NOT BE MAINTAINED BY KNOX COUNTY.
- J.P.E. WILL ALSO FUNCTION AS A UTILITY EASEMENT.

**NEED D. FERGUSON**  
REGISTERED LAND SURVEYOR  
COMMERCIAL  
5/24/2021  
TENNESSEE NO. 1843

**9-SA-21-F**

FINAL PLAT  
BJORVALA FARMS  
AND RESUB. OF LOT 27 ZACHARYS POINTE

PLAT REF: L249-B; N351-D; N-381A; 20141030-0024140  
PARCEL(S): 0281C027; MAP 028 PARCELS 03401, 03403, 03404, 032  
COUNTY/DISTRICT: KNOX/6 SCALE: 1"=50'  
CITY: N/A WARD/BLCK: N/A DATE: 5/24/2021

Need D. Ferguson, R.L.S.  
205 Lamar Avenue  
Clinton, TN 37716  
Phone: (865) 689-6169  
Fax: (888) 232-8718 Toll Free  
www.PLSurvey.com

When you need to know, knowing is our business.

OWNERS:  
THOMAS P. BJORHOLM & KATHERINE H. LATVALA  
PO BOX 70452  
KNOXVILLE, TN 37938  
865.604.9315

CHAD D. WIGGINS & MEGAN L. THARP  
3025 ZACHARYS POINT LN  
KNOXVILLE, TN 37938

KNO Drawings\2021\03-21\BD321 7944 PELLELAUX RD\BD321.dwg 09/15/2021 01:13 PM

DRAWING NO. 8D321