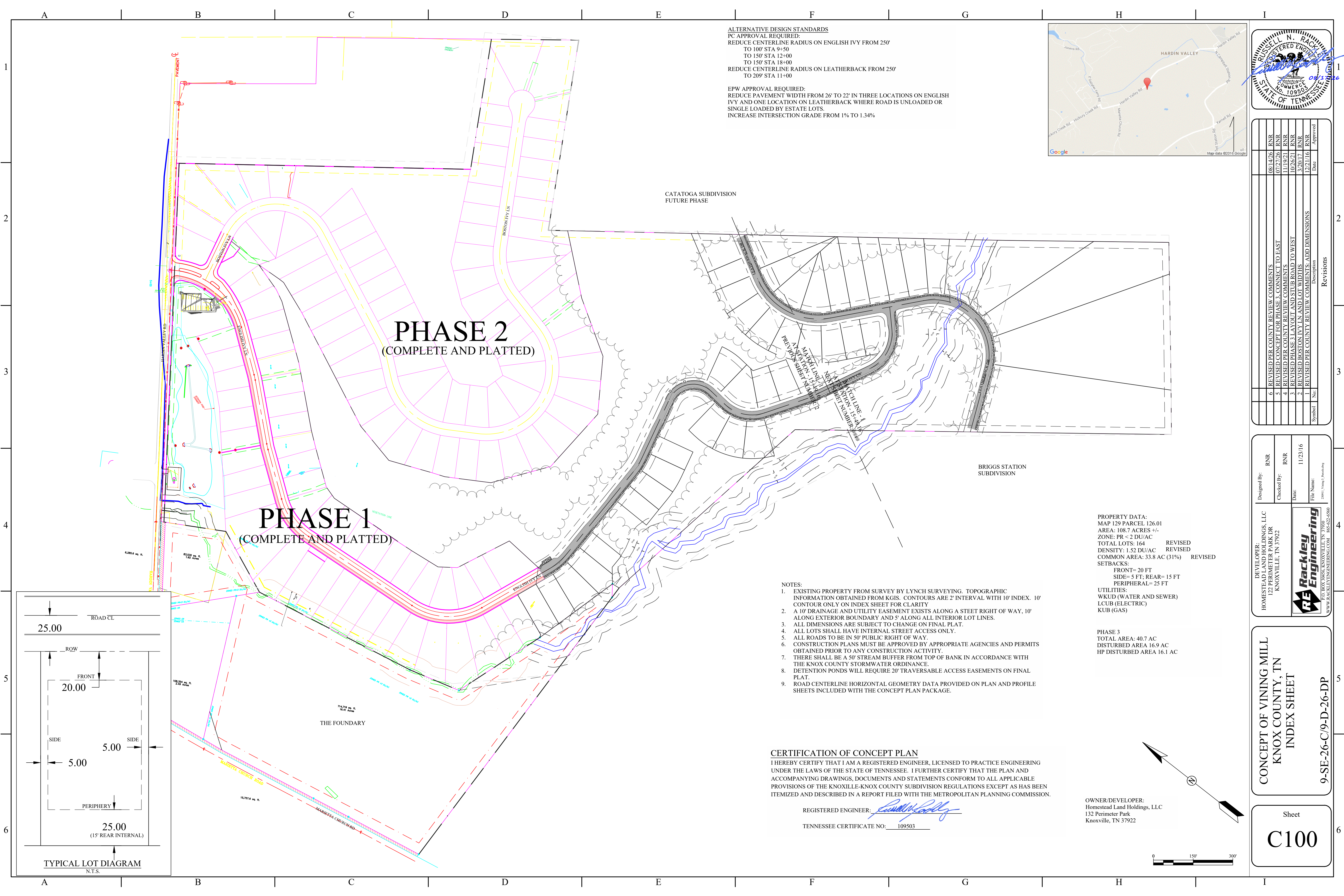
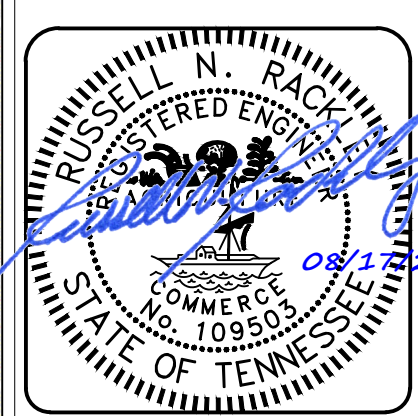
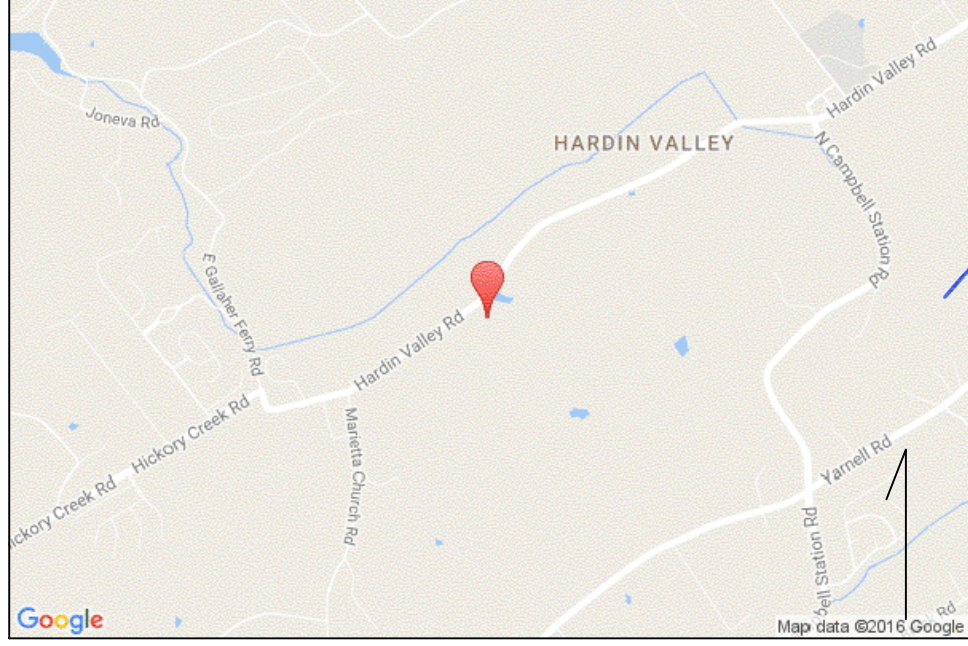




ALTERNATIVE DESIGN STANDARDS
PC APPROVAL REQUIRED:
REDUCE CENTERLINE RADIUS ON ENGLISH IVY FROM 250'
TO 100' STA 9+50
TO 150' STA 12+00
TO 150' STA 18+00
REDUCE CENTERLINE RADIUS ON LEATHERBACK FROM 250'
TO 200' STA 11+00

EPW APPROVAL REQUIRED:
REDUCE PAVEMENT WIDTH FROM 26' TO 22' IN THREE LOCATIONS ON ENGLISH IVY AND ONE LOCATION ON LEATHERBACK WHERE ROAD IS UNLOADED OR SINGLE LOADED BY ESTATE LOTS.
INCREASE INTERSECTION GRADE FROM 1% TO 1.34%



No	Symbol	Description	Date	Revisions
6		REVISED PER COUNTY REVIEW COMMENTS	08/14/26	RNR
5		REVISED CONCEPT FOR PHASE 3, CONNECT TO EAST	07/27/26	RNR
4		REVISED PER COUNTY REVIEW COMMENTS	11/19/21	RNR
3		REVISED PHASE 3 LAYOUT AND STUB ROAD TO WEST	10/26/21	RNR
2		REVISED BOSTON IVY LN AND LOT WIDTHS	3/20/17	RNR
1		REVISED PER COUNTY REVIEW COMMENTS, ADD DIMENSIONS	12/21/16	RNR

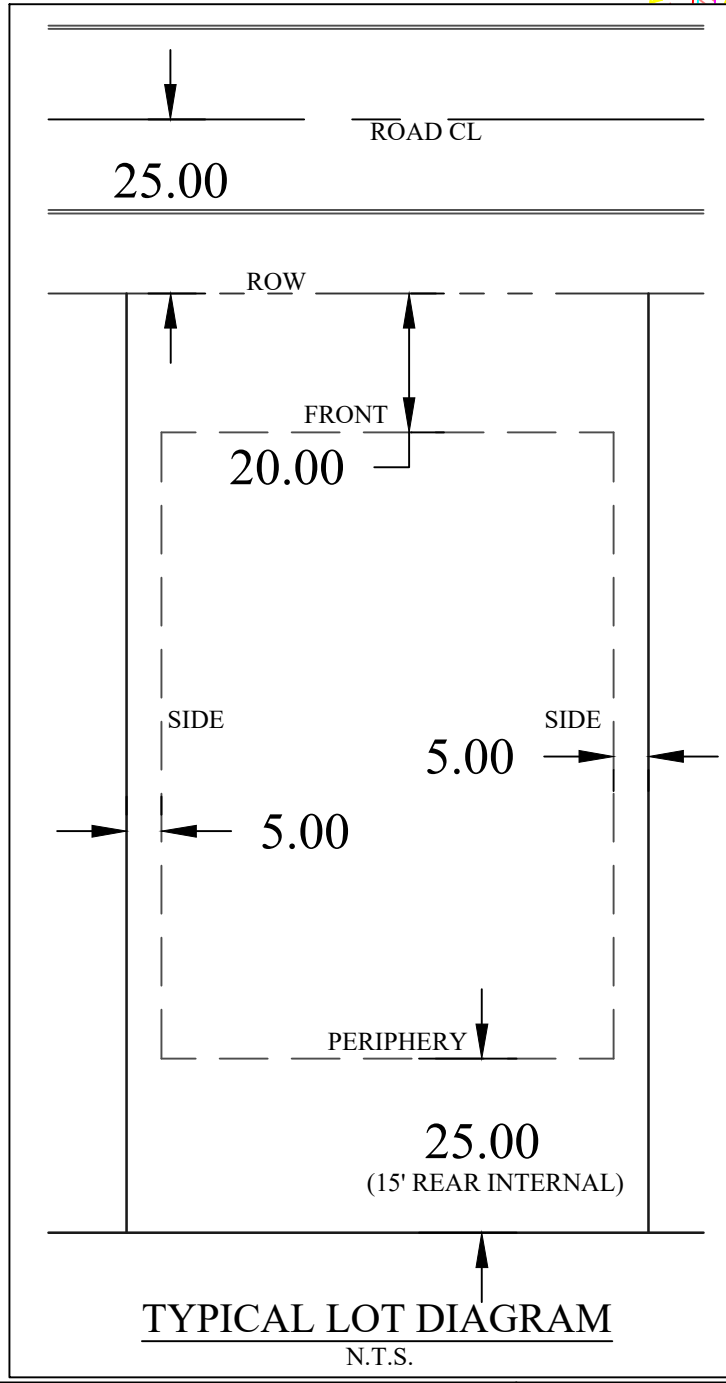
DESIGNED BY: RNR
CHECKED BY: RNR
DATE: 11/23/16
FILE NAME: 200111_Vining_Mill_PlanSet.dwg

DEVELOPER: HOMESTEAD LAND HOLDINGS, LLC
122 PERIMETER PARK DR
KNOXVILLE, TN 37922

P.O. BOX 3656, KNOXVILLE, TN 37930
WWW.RACKLEYENGINEERING.COM 865-422-5500

CONCEPT OF VINING MILL
KNOX COUNTY, TN
INDEX SHEET
9-SE-26-C/9-D-26-DP

Sheet
C100



- NOTES:
- EXISTING PROPERTY FROM SURVEY BY LYNCH SURVEYING. TOPOGRAPHIC INFORMATION OBTAINED FROM KGIS. CONTOURS ARE 2' INTERVAL WITH 10' INDEX. 10' CONTOUR ONLY ON INDEX SHEET FOR CLARITY.
 - A 10' DRAINAGE AND UTILITY EASEMENT EXISTS ALONG A STREET RIGHT OF WAY, 10' ALONG EXTERIOR BOUNDARY AND 5' ALONG ALL INTERIOR LOT LINES.
 - ALL DIMENSIONS ARE SUBJECT TO CHANGE ON FINAL PLAT.
 - ALL LOTS SHALL HAVE INTERNAL STREET ACCESS ONLY.
 - ALL ROADS TO BE IN 50' PUBLIC RIGHT OF WAY.
 - CONSTRUCTION PLANS MUST BE APPROVED BY APPROPRIATE AGENCIES AND PERMITS OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITY.
 - THERE SHALL BE A 50' STREAM BUFFER FROM TOP OF BANK IN ACCORDANCE WITH THE KNOX COUNTY STORMWATER ORDINANCE.
 - DETENTION PONDS WILL REQUIRE 20' TRAVERSABLE ACCESS EASEMENTS ON FINAL PLAT.
 - ROAD CENTERLINE HORIZONTAL GEOMETRY DATA PROVIDED ON PLAN AND PROFILE SHEETS INCLUDED WITH THE CONCEPT PLAN PACKAGE.

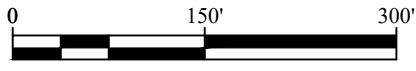
CERTIFICATION OF CONCEPT PLAN
I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

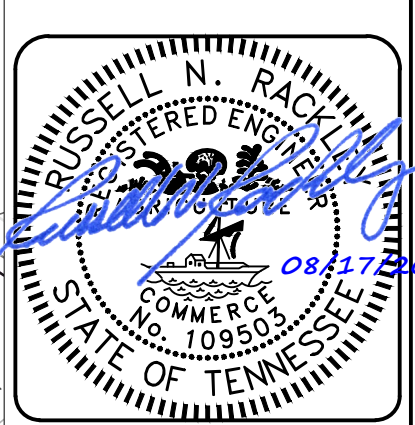
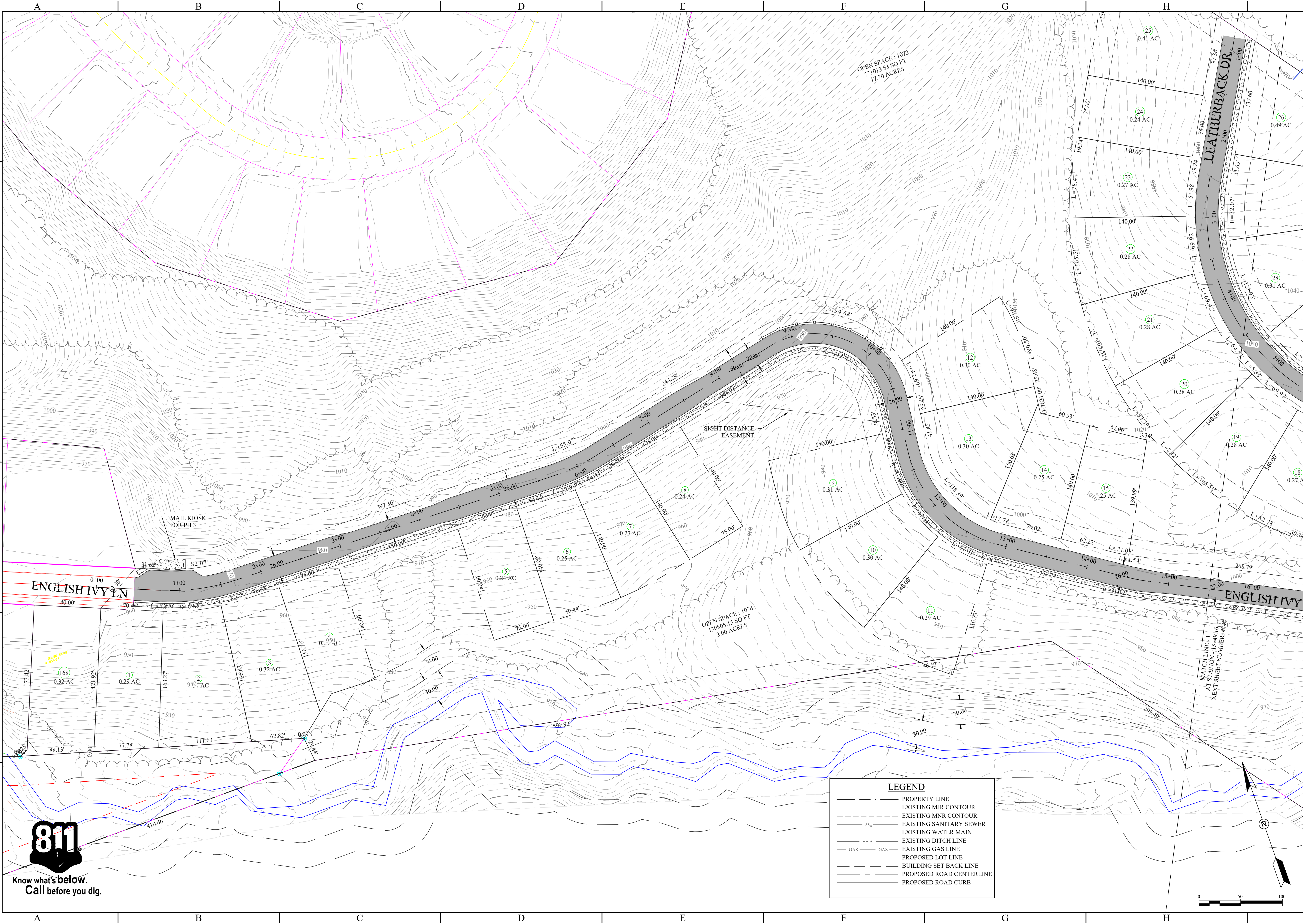
REGISTERED ENGINEER:
TENNESSEE CERTIFICATE NO.: 109503

PROPERTY DATA:
MAP 129 PARCEL 126.01
AREA: 108.7 ACRES +/-
ZONE: PR <2 DU/AC
TOTAL LOTS: 164
DENSITY: 1.52 DU/AC
COMMON AREA: 33.8 AC (31%)
SETBACKS:
FRONT= 20 FT
SIDE= 5 FT; REAR= 15 FT
PERIPHERAL= 25 FT
UTILITIES:
WKUD (WATER AND SEWER)
LCUB (ELECTRIC)
KUB (GAS)

PHASE 3
TOTAL AREA: 40.7 AC
DISTURBED AREA 16.9 AC
HP DISTURBED AREA 16.1 AC

OWNER/DEVELOPER:
Homestead Land Holdings, LLC
132 Perimeter Park
Knoxville, TN 37922





Revisions			
No.	Description	Date	Approval
1	REVISED PER COUNTY REVIEW COMMENTS	08/14/26	RNR

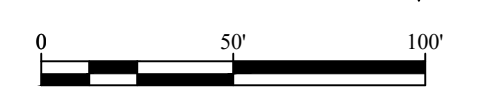
Designed By:	RNR
Checked By:	RNR
Date:	07/27/26
File Name:	20001_Young & Bucknag
DEVELOPER: HOMESTEAD LAND HOLDINGS, LLC 122 PERIMETER PARK DR KNOXVILLE, TN 37922	



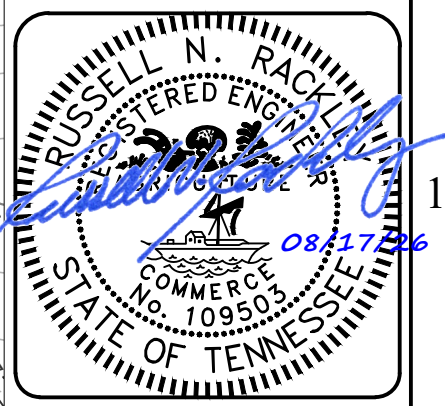
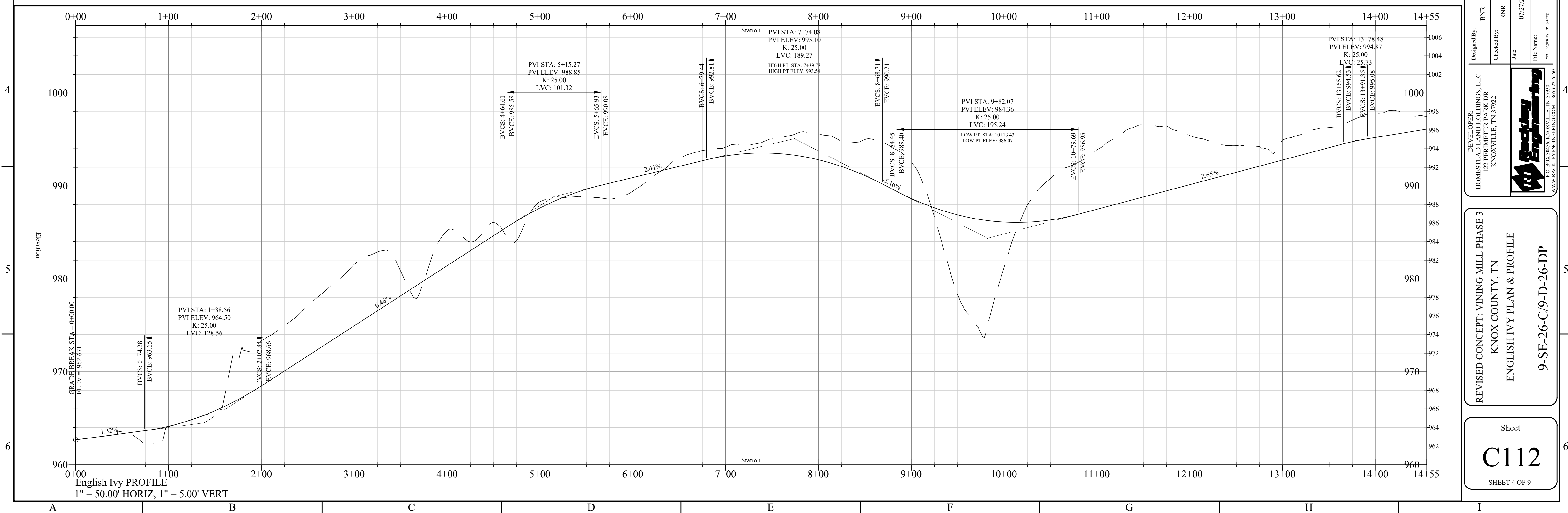
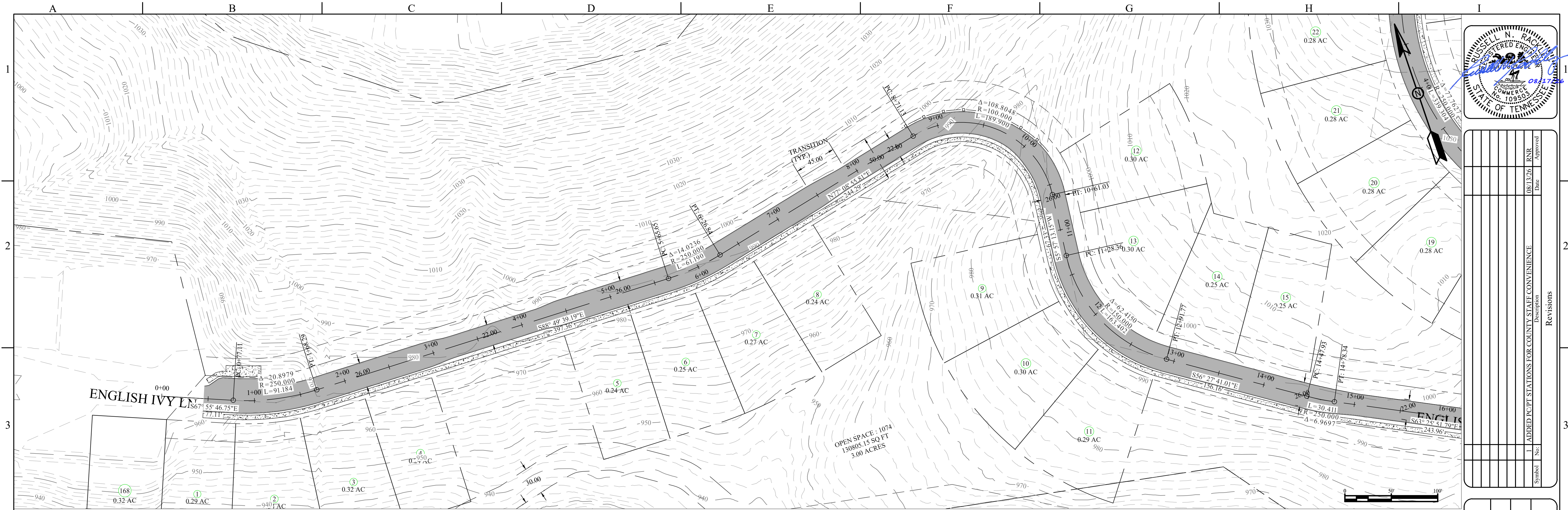
REVISED CONCEPT: VINING MILL PHASE 3 KNOX COUNTY, TN SITE PLAN	9-SE-26-C/9-D-26-DP
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LEGEND	
	PROPERTY LINE
	EXISTING M/R CONTOUR
	EXISTING MNR CONTOUR
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING DITCH LINE
	EXISTING GAS LINE
	PROPOSED LOT LINE
	BUILDING SET BACK LINE
	PROPOSED ROAD CENTERLINE
	PROPOSED ROAD CURB







Revisions		
No.	Description	Date
1	ADDED PCPT STATIONS FOR COUNTY STAFF CONVENIENCE	08/13/26

Designed By:
RNR

Checked By:
RNR

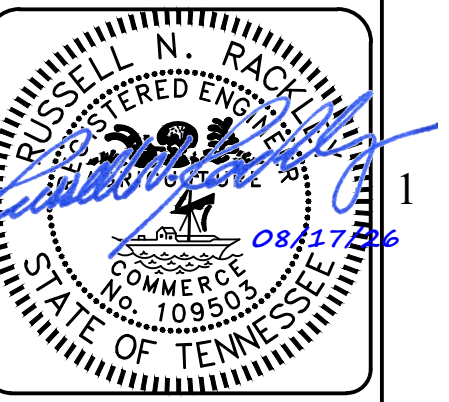
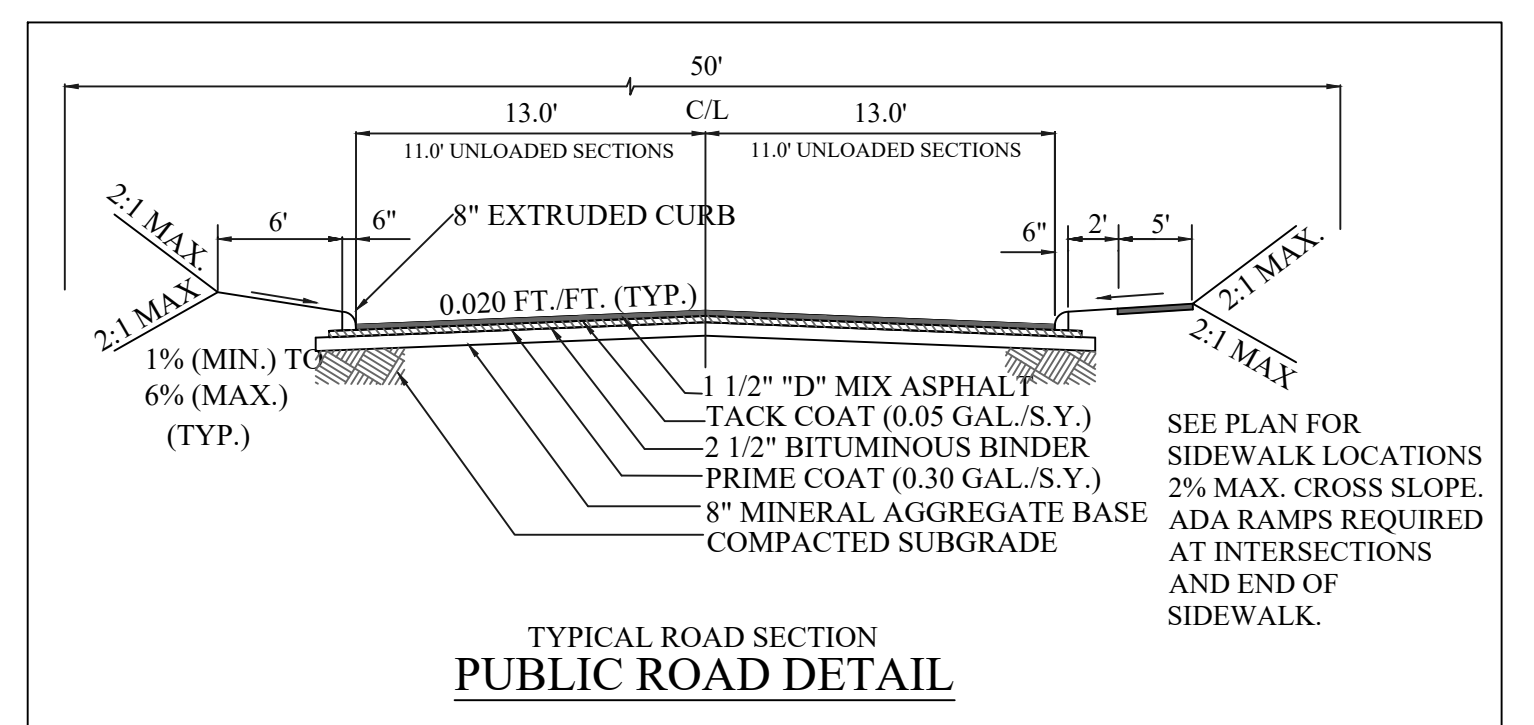
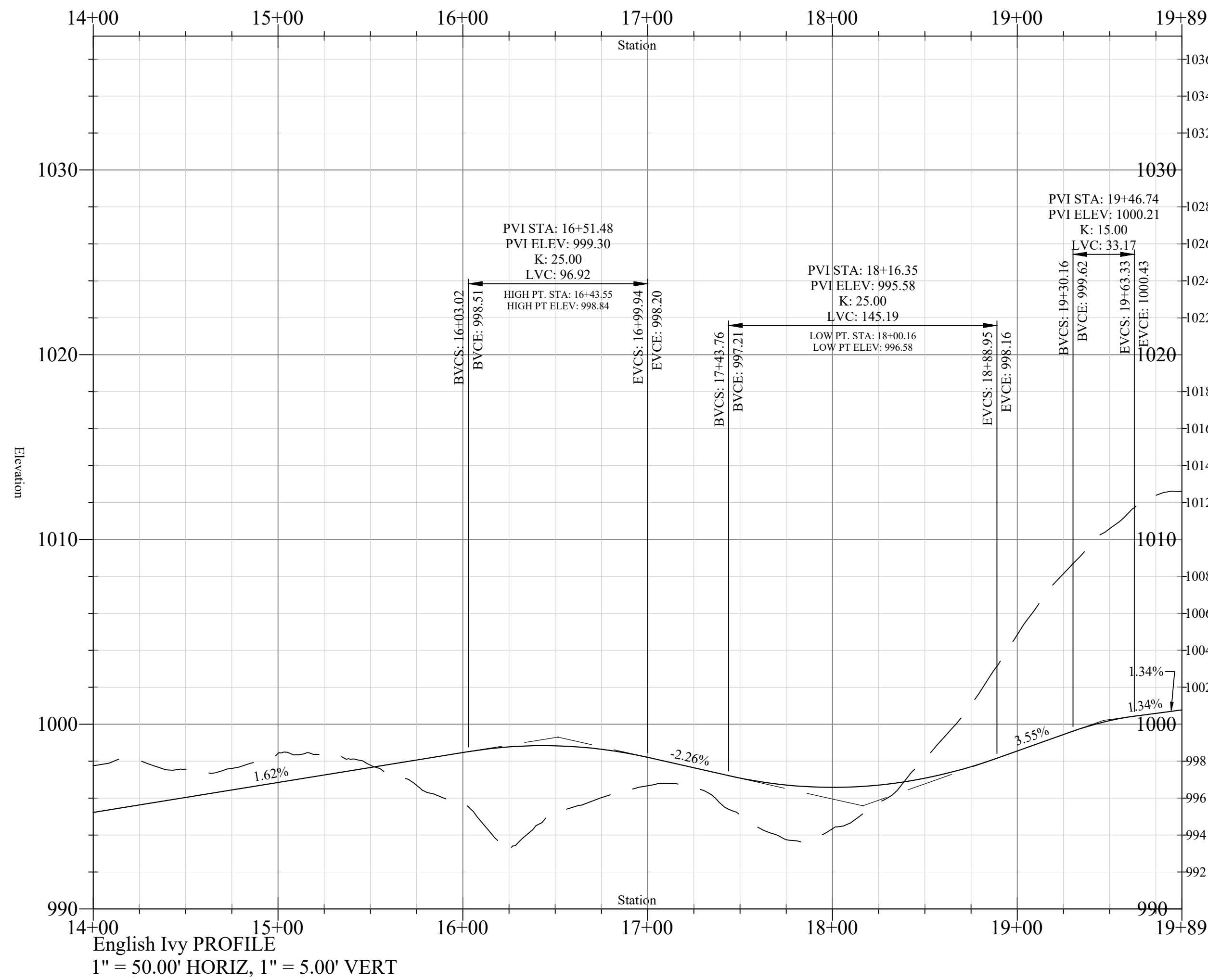
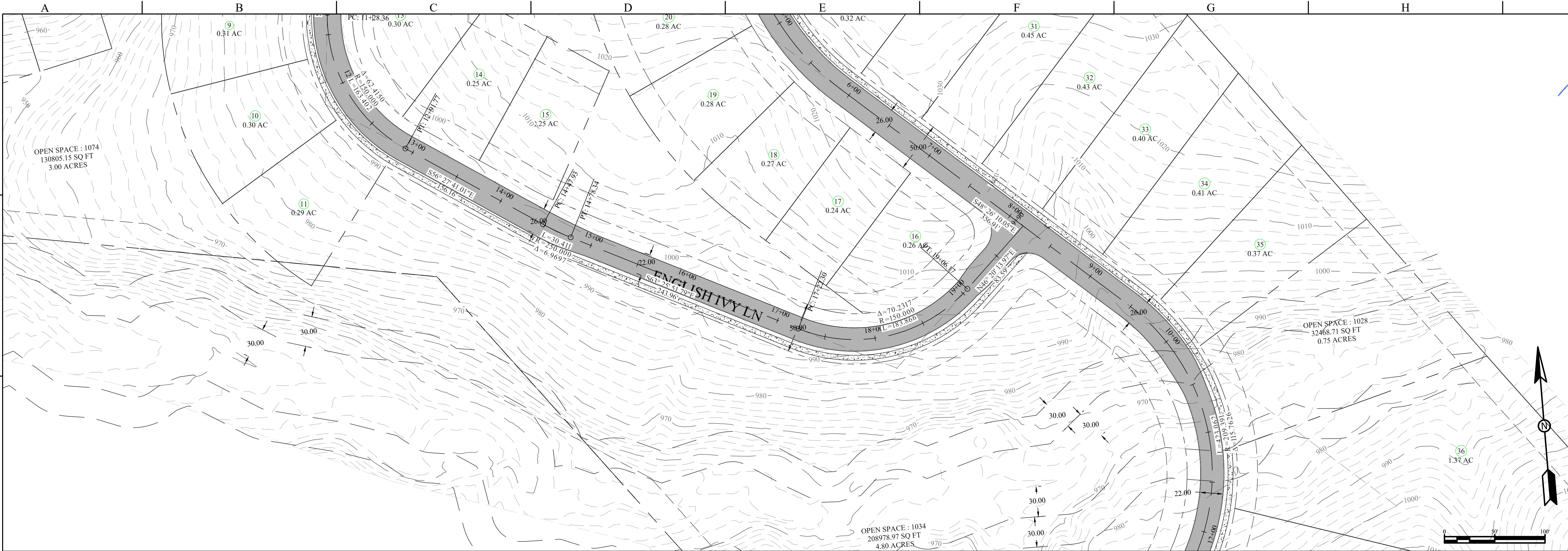
Date:
07/27/26

File Name:
9-SE-26-C/9-D-26-DP

DEVELOPER:
HOMESTEAD LAND HOLDINGS, LLC
122 PERIMETER PARK DR
KNOXVILLE, TN 37922

P.O. BOX 30658, KNOXVILLE, TN 37930
WWW.RACKLEYENGINEERING.COM 865-622-5560

REVISED CONCEPT: VINING MILL PHASE 3
KNOX COUNTY, TN
ENGLISH IVY PLAN & PROFILE
9-SE-26-C/9-D-26-DP



Symbol	No.	Description	Date	Approval
1	ADDED PC/PT STATIONS FOR COUNTY STAFF CONVENIENCE		08/13/26	RNR

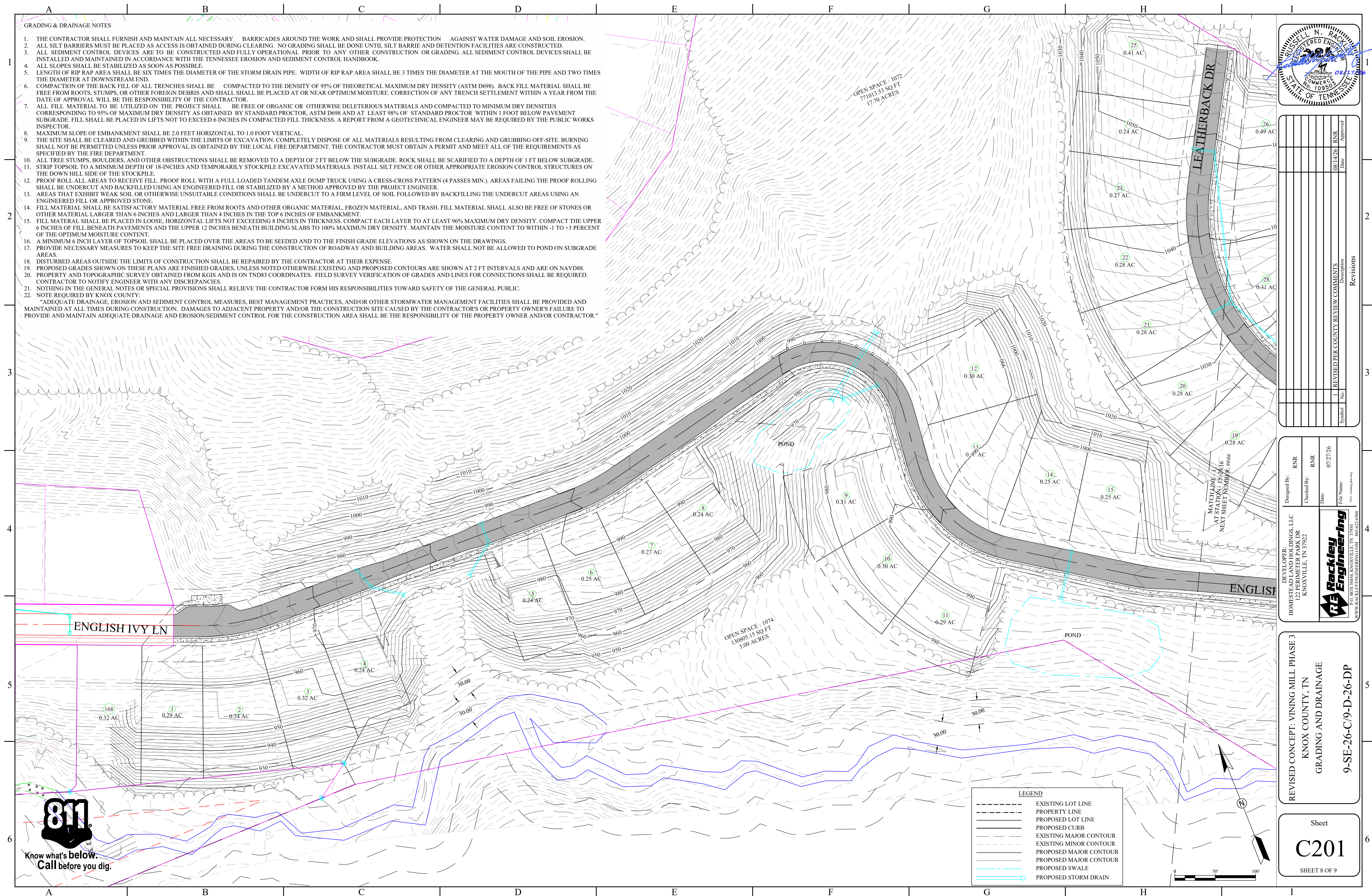
Revisions

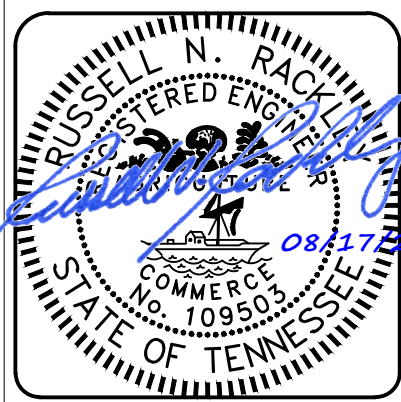
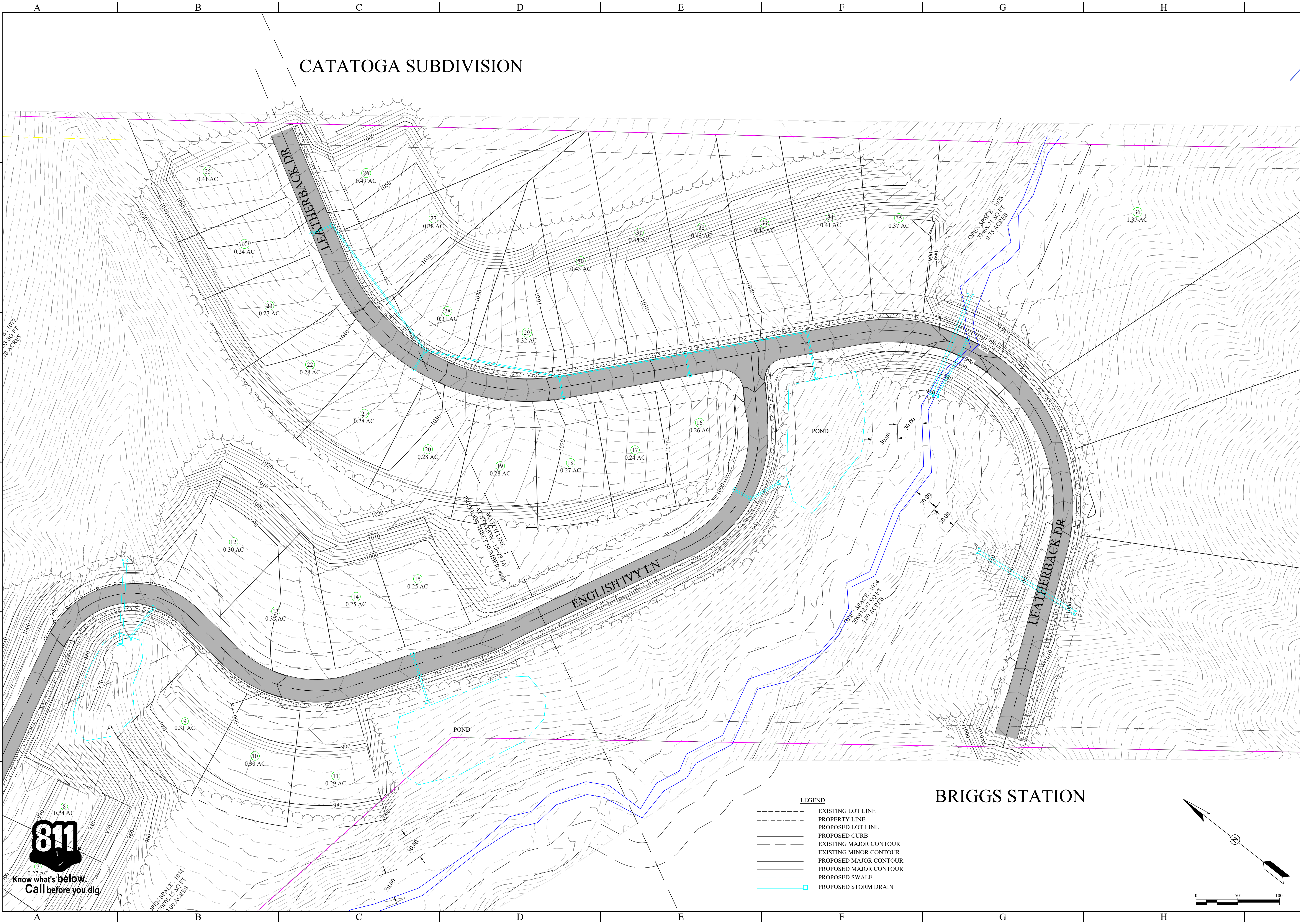
Designed By:	RNR
Checked By:	RNR
Date:	07/27/26
File Name:	9-SE-26-C-9-D-26-DP
File Path:	\\P:\Projects\9-SE-26-C-9-D-26-DP\9-SE-26-C-9-D-26-DP.dwg

DEVELOPER:
HOMESTEAD LAND HOLDINGS, LLC
122 PERIMETER PARK DR
KNOXVILLE, TN 37922

Rockwell Engineering
P.O. BOX 3055, KNOXVILLE, TN 37930
WWW.ROCKWELLEN지니어ING.COM 865-622-5560

REVISED CONCEPT: VINING MILL PHASE 3
KNOX COUNTY, TN
ENGLISH IVY PLAN & PROFILE
9-SE-26-C-9-D-26-DP





Revisions			
Symbol	No.	Description	Approval
	1	REVISED PER COUNTY REVIEW COMMENTS	RNR
		Date	08/14/26

Designed By: RNR	Checked By: RNR	Date: 07/27/26	File Name: VMS - Grading plan.dwg
DEVELOPER: HOMESTEAD LAND HOLDINGS, LLC 122 PERIMETER PARK DR KNOXVILLE, TN 37922			
 P.O. BOX 3848, KNOXVILLE, TN 37930 WWW.RACKLEYENGINEERING.COM 865-622-5560			

REVISED CONCEPT: VINING MILL PHASE 3
KNOX COUNTY, TN
GRADING AND DRAINAGE
9-SE-26-C/9-D-26-DP

Sheet
C202
SHEET 9 OF 9



- LEGEND**
- EXISTING LOT LINE
 - - - PROPERTY LINE
 - PROPOSED LOT LINE
 - PROPOSED CURB
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED SWALE
 - PROPOSED STORM DRAIN

